

THE CORPORATION OF THE
CITY OF NORTH BAY

RESTRICTED AREA (ZONING) BY-LAW NO. 28-80

BEING A BY-LAW TO REGULATE THE USE OF LAND, AND
THE CHARACTER, LOCATION AND USE OF BUILDINGS AND
STRUCTURES IN THE CITY OF NORTH BAY

WHEREAS authority is granted under Section 35 of
The Planning Act, Chapter 349, R.S.O. 1970 and
Amendments thereto, subject to the approval of
The Ontario Municipal Board, to pass this By-law;

AND WHEREAS it is deemed appropriate to provide
minimum requirements for the promotion of the
health, safety, comfort, convenience and general
welfare of the inhabitants of the Municipality;

AND WHEREAS it is deemed desirable to provide a
Comprehensive Restricted Area (Zoning) By-law
for the City of North Bay;

AND WHEREAS it is deemed desirable to designate
certain areas in the City of North Bay as site
plan control areas, by reference to certain land
use designations contained in this By-law, pur-
suant to section 35a of The Planning Act.

NOW THEREFORE THE COUNCIL OF THE CORPORATION OF
THE CITY OF NORTH BAY HEREBY ENACTS AS FOLLOWS:

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CITY OF NORTH BAY

ZONING BY-LAW NO. 28-80

THIS BY-LAW INCORPORATES THE FOLLOWING AMENDMENTS APPROVED PREVIOUS TO APRIL 1, 1998:

- | | | |
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| 1) | 165-80 | First General Amendment |
| 2) | 171-81 | Second General Amendment |
| 3) | 179-81 | Consolidated Site Amendments |
| 4) | 21-81 | Blackburn |
| 5) | 70-81 | Macedo |
| 6) | 120-81 | Precast |
| 7) | 138-81 | Perut |
| 8) | 160-81 | Perrin |
| 9) | 167-81 | McLachlan & Sangster |
| 10) | 168-81 | Colvin & Colvin |
| 11) | 182-81 | Marshall Park - Blair Street |
| 12) | 186-81 | Roh Boh |
| 13) | 28-82 | Bliss |
| 14) | 31-82 | Pinewood Village Ltd. |
| 15) | 33-82 | Monarch Management |
| 16) | 80-82 | Brown |
| 17) | 100-82 | Trevor Bywater |
| 18) | 110-82 | Bradford |
| 19) | 127-82 | Northern Brick & Tile |
| 20) | 130-82 | Kingold Towers Ltd. |
| 21) | 140-82 | Creech |
| 22) | 150-82 | Laurentian Ski Club |
| 23) | 211-82 | Delarosabel - Harvey at Copeland |
| 24) | 5-83 | City Industrial Park - Seymour Street |
| 25) | 24-83 | Leroys |
| 26) | 31-83 | Journeys End |
| 27) | 34-83 | Fairview Mobile Home Park |
| 28) | 35-83 | Leisure World |
| 29) | 39-83 | Tom Thumb |
| 30) | 80-83 | D'Agostino |
| 31) | 88-83 | Butch's Gateway Garage |
| 32) | 117-83 | Cortina Pizza |
| 33) | 119-83 | Walsh |

34)	120-83	St. Amand
35)	122-83	Piche
36)	123-83	Golden Age Club
37)	135-83	Aquanorth
38)	146-83	Sugar Shack
39)	155-83	Residential Conversion By-law
40)	156-83	Sunoco - Main Street East
41)	158-83	John's Plumbing & Heating
42)	163-83	Old Feronia School
43)	164-83	Official Plan Amendment No. 32
44)	168-83	Elks Club
45)	2-84	Mayco Homes - Cassells Street
46)	13-84	Chadbourne
47)	14-84	Golden Estates - Ski Club Road
48)	18-84	Millford Development - Beaver Crescent
49)	26-84	Bayshore Motel
50)	29-84	Oickle
51)	43-84	Kelly - Douglas Street
52)	52-84	GAP Construction - Pellinore Park Extension
53)	63-84	Molyneaux
54)	94-84	Bernachi
55)	98-84	Weiskopf
56)	123-84	Peltomaa
57)	124-84	Church of Jesus Christ of the Latter Day Saints
58)	125-84	489322 Ontario Ltd. - Lakeshore Drive
59)	137-84	Delfino - Fourth Application
60)	151-84	Tentera Inc.
61)	18-85	591661 Ontario Ltd. - Main Street East
62)	22-85	Tignanelli - Lovell Avenue
63)	23-85	Futuric Investments
64)	33-85	Corpus Christi Court - Cassells Street
65)	34-85	Delfino - 5th Application
66)	42-85	Millford Development Ltd. - Main at Foran
67)	44-85	Millford Development Ltd. - Main at Plouffe
68)	48-85	Pelinore Park Extension - GAP Construction
69)	49-85	Family and Childrens Services
70)	51-85	Armstrong
71)	56-85	Mayco Homes - Sherwood Forest
72)	57-85	Royal Canadian Legion
73)	71-85	Perrotta
74)	73-85	Hebert

75)	78-85	Mary Delfino
76)	100-85	Wallace Heights Ltd.
77)	101-85	Gerbasi
78)	134-85	Gateway Restaurant
79)	136-85	McNabb
80)	137-85	L'Ami
81)	168-85	E. Lot
82)	1-86	Goodyear
83)	2-86	510650 Ontario Inc.
84)	3-86	D'Agostino
85)	13-86	City Industrial Park
86)	25-86	Metz Furniture
87)	35-86	Wm. McMullen
88)	37-86	Pinewood United Church
89)	38-86	T. Scott
90)	49-86	Golden Estates
91)	61-86	Wilson
92)	65-86	Marshall Park - Labreche Drive Extension
93)	66-85	Netherton
94)	71-86	Stanfel
95)	83-86	New Era Homes
96)	94-86	Charbonneau - Little Down Lane
97)	95-86	Charbonneau - Carmichael Drive
98)	111-86	Vim Investments
99)	115-86	Crea & Pellanda
100)	120-86	Flood & Erosion Areas
101)	136-86	Spina
102)	145-86	Kilran Ltd.
103)	146-86	Blakely
104)	181-86	Wm. Avery
105)	182-86	Helen Norman
106)	184-86	E. Bremermann
107)	185-86	Petrolia
108)	207-86	GAP Construction - Gardiner Avenue
109)	210-86	J. Guillemette
110)	227-86	Official Plan Amendment No. 41
111)	228-86	City Owned - Seymour Street
112)	229-86	Monestime
113)	231-86	Sherwood Forest - Phase I, Stage III
114)	1-87	Waterfront Redevelopment
115)	31-87	A. Papolis Ent.

116)	37-87	G. Boivin
117)	38-87	Marshall Park - East of West Ferris Secondary School
118)	40-87	Waterfront Redevelopment
119)	44-87	Dupont Canada Inc.
120)	68-87	Price
121)	69-87	M. Blanchard
122)	93-87	Official Plan Amendment No. 43
123)	94-87	Cerisano
124)	114-87	Whitney Northern Leasing
125)	121-87	Vim Investments - Main Street
126)	122-87	D. Mascioli
127)	123-87	D.E. Somerville
128)	127-87	Ireton Bradley
129)	129-87	Markwood Estates
130)	130-87	Marshall Park - East of West Ferris Secondary School
131)	132-87	D'Agostino
132)	151-87	J.S. Redpath Holdings - Hwy. 11 N.
133)	160-87	Hillview Park - State III
134)	161-87	McLean Lake Properties
135)	166-87	R.S. Doan
136)	170-87	Golden Estates - McKeown Avenue
137)	174-87	Bonik Inc./R. Martin
138)	176-87	Farelli/Berg
139)	192-87	J.S. Redpath - Bond & McKeown
140)	194-87	Hillview - Floodplain
141)	201-87	Jacques/Thibault
142)	204-87	Prato Construction
143)	7-88	Kenwood Hills
144)	21-88	J.G. Giroux
145)	23-88	Bonic Inc.
146)	26-88	Memorial Gardens
147)	27-88	Doublerinks
148)	28-88	Estate of D. MacKenzie
149)	29-88	Churchills
150)	36-88	Perut - Main Street
151)	46-88	G. Rivard
152)	48-88	688569 Ontario Limited
153)	75-88	H. Norman
154)	80-88	Plutino
155)	106-88	Perut - Cassells Street
156)	110-88	Cutsey Business Systems

157)	117-88	J.K. O'Kane & Associates
158)	124-88	Mr. Gas
159)	136-88	Metz Furniture
160)	138-88	E. Sohm
161)	146-88	Golden Age Club
162)	163-88	Saunders - Heron Park
163)	167-88	A. Marsh
164)	168-88	S. Ricci
165)	13-89	Ellendale Subdivision
166)	14-89	Perrotta
167)	16-89	Tedesco - Duke Street West
168)	17-89	Costakos - O'Brien
169)	29-89	Forced Road Setback
170)	30-89	McDonald - Bonny Vu Motel
171)	34-89	A.M. Grant
172)	43-89	Ferreira Lakeshore Drive
173)	44-89	Stockfish
174)	61-89	739047 Ontario Limited
175)	72-89	V. Battaglia
176)	75-89	S. Crea - Regina
177)	79-89	A. Morin
178)	82-89	Delfino - Duke Street West
179)	110-89	Bay Contracting
180)	112-89	North Bay Municipal Non-Profit Housing Corp.
181)	113-89	Pitman - Gormanville Road
182)	120-89	Sweetbee Childcare
183)	124-89	Candeloro - O'Brien
184)	139-89	McLean Lake Properties
185)	153-89	Singleton
186)	155-89	Belisle
187)	156-89	North Bay Mazda
188)	158-89	North Bay Toyota
189)	168-89	Borden Chemicals
190)	199-89	Ray-Gordon Equipment - Wallace Road
191)	201-89	Tedesco - Lakeshore Drive
192)	203-89	Holy Name Church
193)	220-89	B. & L. Tutton Holdings Limited
194)	224-89	Trask Et Al - Ross Drive
195)	7-90 & 23-90	Klein/Partridge/Schumacher - Main Street
196)	15-90	D'Agostino - Greenwood Avenue
197)	32-90	Supreme Habitats - Victoria Street

198)	50-90	Unisel Manufacturing - Commerce Court
199)	59-90	Holman - Highway 17 East
200)	60-90	Plutino - Seymour Street
201)	62-90	Poulin - Birchs Road
202)	64-90	Brinkman & Associates - Highway 11 N.
203)	69-90	Tignanelli - O'Brien Street
204)	71-90	Lamb - High Street
205)	72-90	Leclair - Front Street
206)	74-90	Miller - Lakeshore Drive
207)	75-90	Tedesco - Little Down Lane
208)	88-90	Nu-North Developments - Thelma Avenue
209)	98-90	Vandusseldorp - Hazelton Lane
210)	108-90	Satellite Dish Antennae
211)	124-90	K. Landry - High Street
212)	126-90	K. Gerbasi - Chippewa Street West
213)	128-90	S. Schaffner - High Street
214)	129-90	Y. Giroux - Cholette Street
215)	131-90	A. Cline - Oak Street West
216)	144-90	Mayco Homes - Lindsay Street
217)	146-90	Jacques & Thibeault - Drew Street
218)	148-90	844214 Ontario Limited - Bond Street
219)	150-90	Smith - Four Mile Lake Road
220)	159-90	Off Site Parking
221)	168-90	Gentile - Cassells Street
222)	170-90	Amy-Co Investments - First Avenue
223)	174-90	B. & L. Tutton Holdings Ltd. - Pinewood Park Drive
224)	177-90	City of North Bay - Johnston Road
225)	183-90	Mino - Worthington Street East
226)	194-90	OMB Order - Trout Lake Front Yard Setbacks
227)	199-90	Children's Aid Society - Oak Street West
228)	215-90	Adult Entertainment Parlours
229)	218-90	Lawlor - Fraser Street
230)	225-90	Micor Holdings - Drury Lane
231)	242-90	Hebert - Journey's End - Lakeshore Drive
232)	15-91	Millford - Lakeview Park
233)	27-91	Amy-Co Investments - First Avenue
234)	35-91	Tignanelli - O'Brien Street
235)	37-91	Perron - Fisher Street
236)	45-91	OMB Order - North Bay Christian Fellowship - Charles Street
237)	47-91	Sangster - Worthington Street
238)	49-91	Candeloro - Duke Street West

239)	52-91	Laferriere/St. Pierre - Drury Lane
240)	64-91	Caisse Populaires - Bond Street
241)	66-91	Driscoll/204995 Ontario Ltd. - Fisher Street
242)	69-91	Jehovah's Witnessess - Anita Avenue
243)	155-91	Leisure World - William Street
244)	157-91	Belisle Investments - Fisher Street
245)	163-91	Ski Ridge Estates
246)	164-91	Decoma Construction - Duke Street
247)	177-91	Miller - Lakeshore Drive
248)	179-91	E.T.I. Explosives Technologies International
249)	182-91	Trout Lake Mall Inc. - Trout Lake Road
250)	183-91	La Seigneurie Inc. - Harris Drive
251)	205-91	L Landry - Tower Drive
252)	214-91	Rov-Ken Development - Cartier Street
253)	220-91	Jack Ralph Construction - Booth Road
254)	12-92	McGirr/Dell - Franklin Street
255)	32-92	H. Norman - Northmount Road
256)	34-92	Algonquin Square - Phase II, McKeown Avenue
257)	45-92	Depencier - Wallace Road
258)	59-92	Lafontaine/O'Hare - Kehoe Street
259)	68-92	(O.M.B. Order) M. Perrotta - Trout Lake Road
260)	76-92	Boaro - Lakeshore Drive
261)	81-92	Sherwood Forest - Stage VI
262)	91-92	Boileau - Bromley Avenue
263)	102-92	Taki's Investment - Gormanville Road
264)	138-92	Booth - O'Brien Street
265)	142-92	Koselek - Carmichael Drive
266)	154-92	C. Warren Holdings Ltd. - Pinewood Park Drive
267)	158-92	Dolata - Lakeshore Drive
268)	160-92	Chatelain - Highway 11 N.
269)	165-92	Phara - Oakwood Avenue
270)	192-92	Piche & Son - Industrial Avenue
271)	208-92	T. Tignanelli - Hutcheson Avenue
272)	212-92	T. Sale - Highway No. 63
273)	232-92	Ouellette/Lamarche - Collins Drive
274)	235-92	Ski Ridge - Stage III, Janey Avenue
275)	240-92	E. MacGregor - John Street
276)	242-92	Industrial Business Park (MBP) Zone
277)	13-93	S. Marmina - Landsdowne Avenue
278)	27-93	Canadore College - Commerce Crescent
279)	40-93	Indian Friendship Centre - Fifth Avenue W.

280)	42-93	Apollo Gymnastics - Tenth Avenue
281)	48-93	B. Driscoll - Fisher Street
282)	49-93	North Bay Police Association - Highway No. 63
283)	51-93	P. Regimbald - Birchs Road
284)	78-93	D. McLeod - Champlain Street
285)	83-93	H. Norman - Little Down Lane & Carmichael Drive
286)	126-93	R. & P. Sheedy - Birchs Road
287)	153-93	Golden Estates/Canadian Tire Corporation - McKeown Avenue
288)	155-93	R. & H. Kudlak - Lakeshore Drive
289)	157-93	R. Ciccirelli - Wallace Road
290)	4-94	AM-CLA Properties Limited - Lakeshore Drive
291)	30-94	Marshall Park Development - Booth Road
292)	39-94	P & G Auto Sales - Gormanville Road
293)	56-94	Crisis Centre - Pinewood Park Drive
294)	60-94	D. Odorizzi - Carmichael Drive
295)	70-94 (OMB)	Rocheforte Construction Ltd. - Seymour Street
296)	85-94	B. Avery - Haig Street
297)	93-94	Trout Lake Square Inc. - Trout Lake Road
298)	95-94	ProNorth Transportation - Pinewood Park Drive
299)	97-94	P. Mathews - Frost Street
300)	108-94	H. Norman - Carmichael Drive
301)	129-94	H. Hoo - Third Avenue West
302)	138-94	P. Brooks - Highway 11 North
303)	2 - 95	G. Miller - Lakeshore Drive
304)	17-95	Belisle Investments - Fisher Street
305)	19-95	D.B.C. Aggregates - Marsh Drive
306)	35-95	Consolidated Homes - Sugarbush Village
307)	36-95	P.S. Seamen - Carlo Crescent
308)	38-95	A. & T. Fava - Trout Lake Road
309)	79-95	A. & J. Ferreira Homes Ltd. - Harris Drive
310)	83-95	918544 Ontario Limited - 116 Highland Road
311)	99-95	R. Bainbridge - Grey's Road
312)	106-95	C. & S. Ferguson - Algonquin Avenue
313)	111-95	E.T.I. and Niroc Construction - Pinewood Park Drive
314)	113-95	M. Lemay - Highway 11 North
315)	133-95	R. Lalonde - 1289 Airport Road
316)	142-95	Height of Accessory Buildings
317)	150-95	Ontario Hydro - 590 Graham Drive
318)	152-95	Norman, Foster, Woltz & Norman - Carmichael Drive
319)	172-95	Hansman/Alouette Bus Lines - Main Street West
320)	5-96	M. Van Nood - Airport Road

321)	30-96	S. Crea - McKeown Avenue
322)	33-96	North Bay Golf and Country Club - Tupper Drive/Airport Road
323)	53-96	G. Paleczny - 775 Algonquin Avenue
324)	55-96	O. & J. Norman - Tupper Drive
325)	69-96	R. Carson - 1410 Chapais Street
326)	76-96	R. Porter - 1875 Seymour Street
327)	79-96	R. Belisle - Hammond Street
328)	100-96	L. Alarie and Sons - Marsh Drive
329)	121-96	R. Claveau - Highway 11 North
330)	123-96	M. Corbeil/MacDonalds TV and Furniture - 111 Drury Street
331)	125-96	331265 Ontario Limited/G & P Welding - Seymour Street
332)	137-96	P. Gass/BPF Holdings Ltd. - 1183 and 1193 Fisher Street
333)	145-96	L. Erwin/Ontario Realty Corporation - 1353 Gorman Street
334)	139-96	Claudio, Sisca, Toffolon - Lakeshore Drive at Birchs Road
335)	164-96	City Bakery of North Bay Limited - 506 McGaughey Avenue
336)	15-97	A.E. Abercrombie - Riverbend Road
337)	27-97	D. Haws - 466 Aubrey Street
338)	28-97	S. Cerisano - Lavery Street
339)	43-97	Superior Propane Inc. - 1366 Main Street West
340)	69-97	C. Fortier - 1 Ferris Drive
341)	99-97	Zoning By-law Review
342)	104-97	R. Thomsen - Pinewood Park Drive
343)	122-97	J. Cutsey - Airport Road
344)	5-98	D.J. Venasse Construction Limited - Cholette Street
345)	12-98	D. Fudge - Roy Drive

ILLUSTRATIONS

The following illustrations are included for information only and do not constitute a part of City of North Bay Zoning By-law No. 28-80. These illustrations should be considered in the context of the definitions contained within Section 2 of Zoning By-law No. 28-80.

BASEMENT AND CELLAR DEFINITIONS

Refer to Subsections 2.11 and 2.28

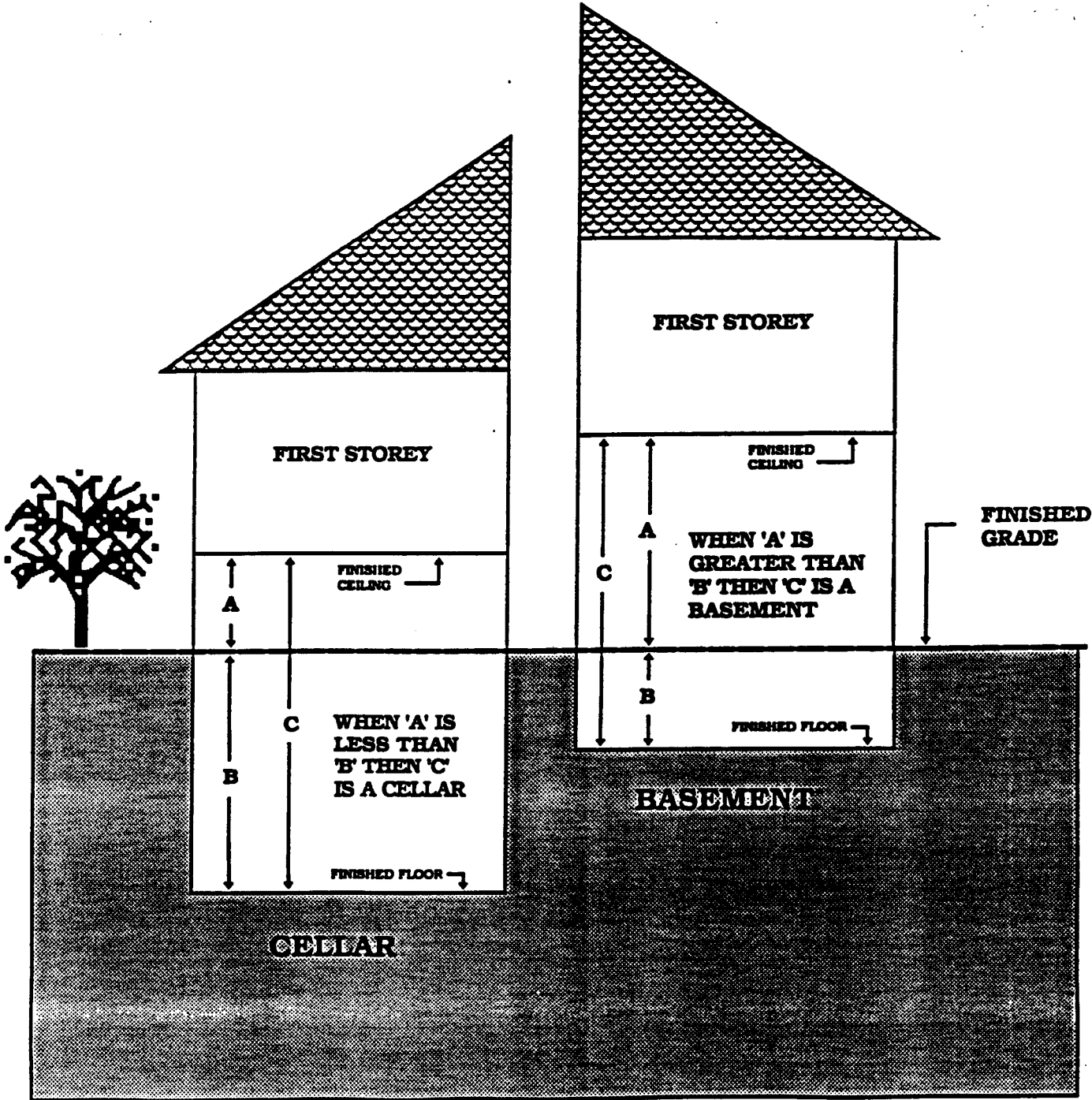
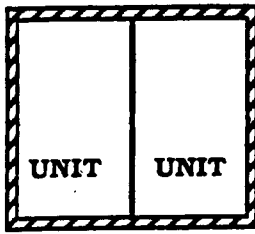
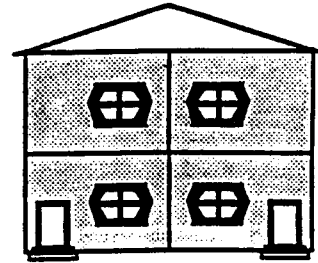


ILLUSTRATION OF TYPES OF DWELLINGS

Refer to Subsection 2.51



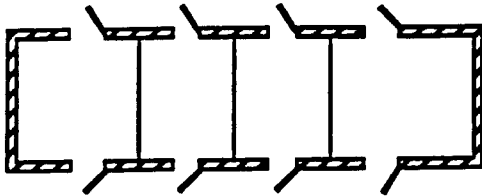
TOP VIEW



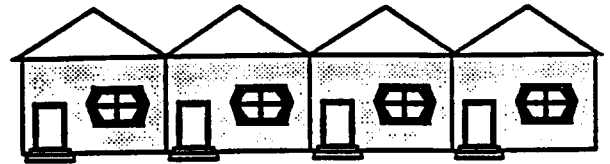
FRONT VIEW

FOURPLEX DWELLINGS

(Double Duplex Dwellings)



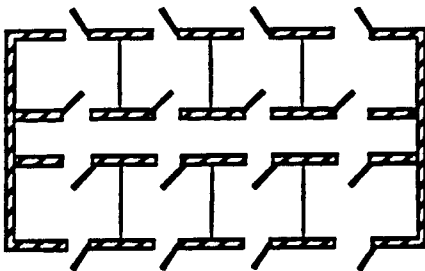
SIDE VIEW



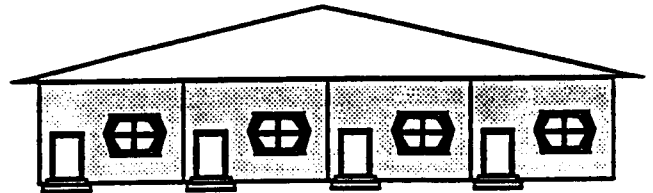
TOP VIEW

TOWNHOUSE DWELLINGS

(Row House Dwellings)

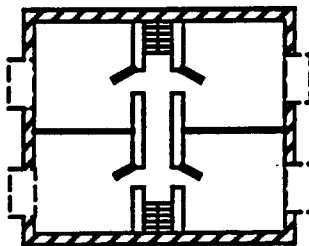


SIDE VIEW

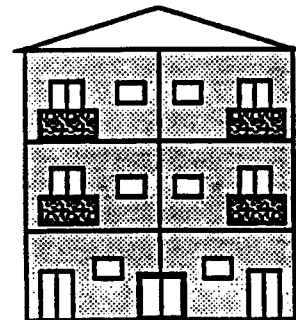


TOP VIEW

MAISONETTE DWELLINGS



TOP VIEW

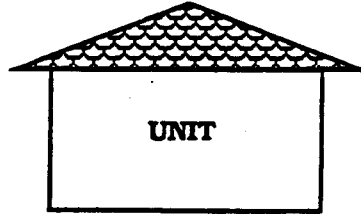


SIDE VIEW

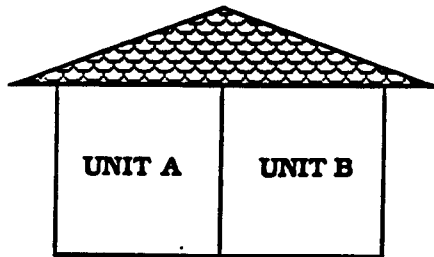
APARTMENT DWELLINGS

ILLUSTRATIONS OF DWELLING TYPES

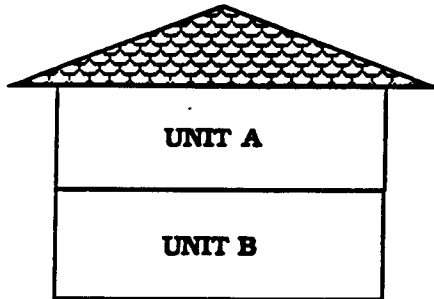
Refer to Subsection 2.51



DETACHED UNIT

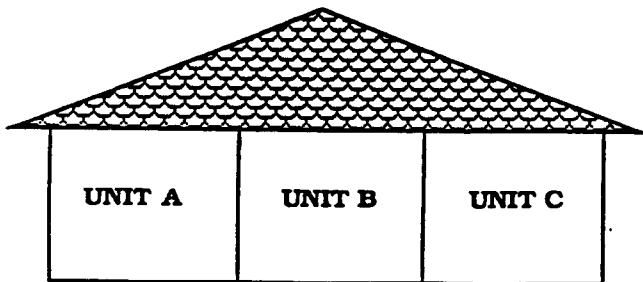


SEMI-DETACHED

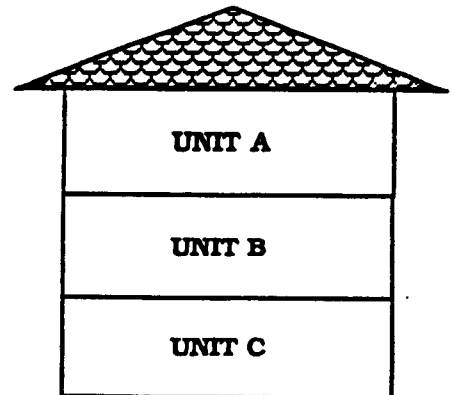


DUPLEX

TRIPLEX

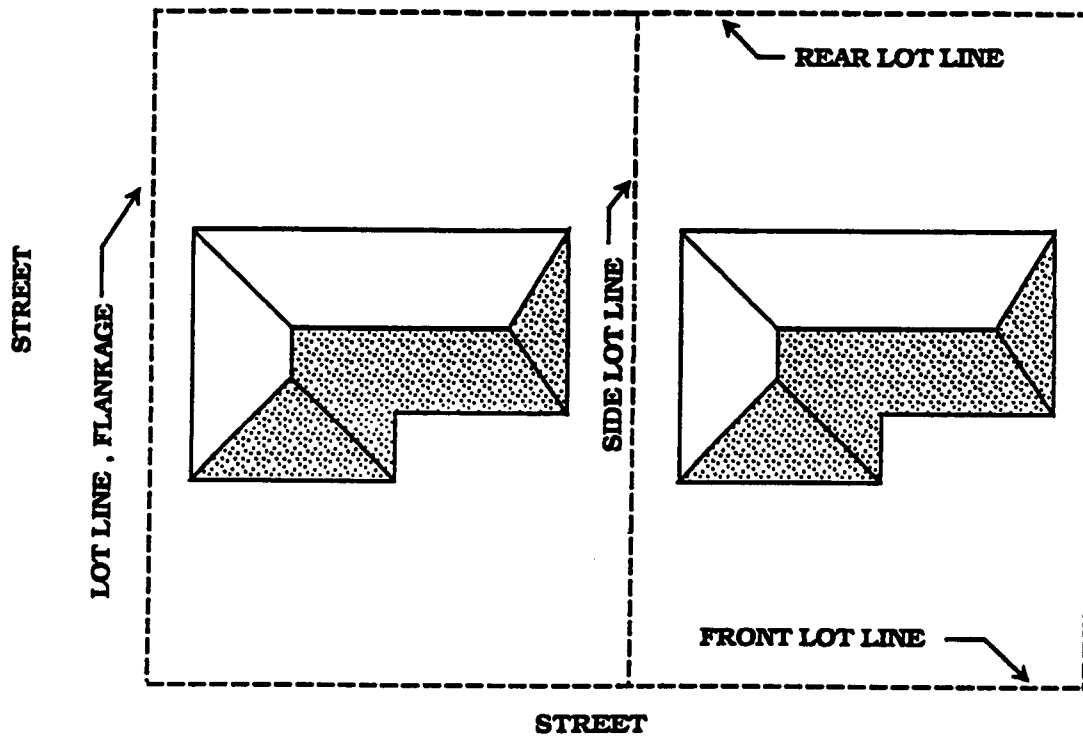


OR



LOT LINE DESCRIPTIONS

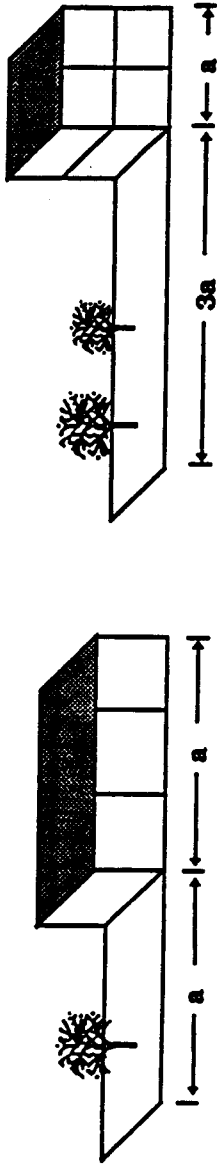
Refer to Subsection 2.92



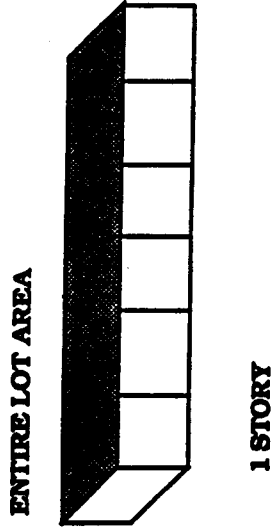
FLOOR AREA RATIO (Floor Space Index) EXAMPLES

Refer to Subsection 2.63

0.5

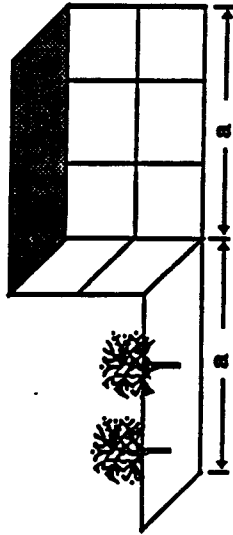


1.0

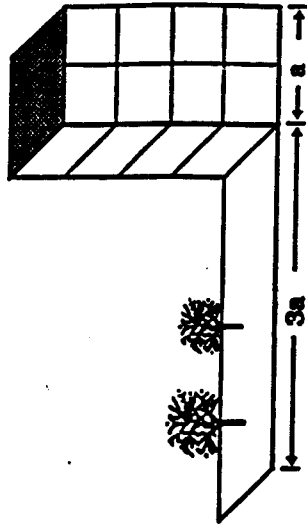


1 STORY

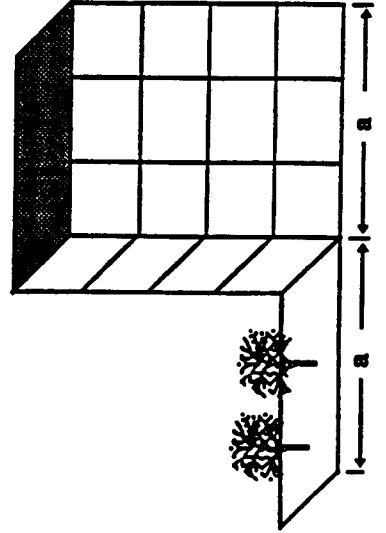
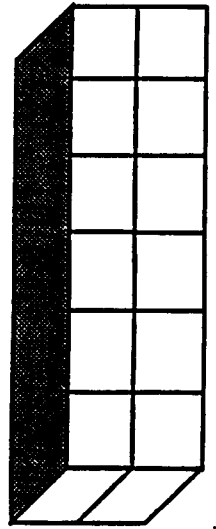
2 STORIES



4 STORIES



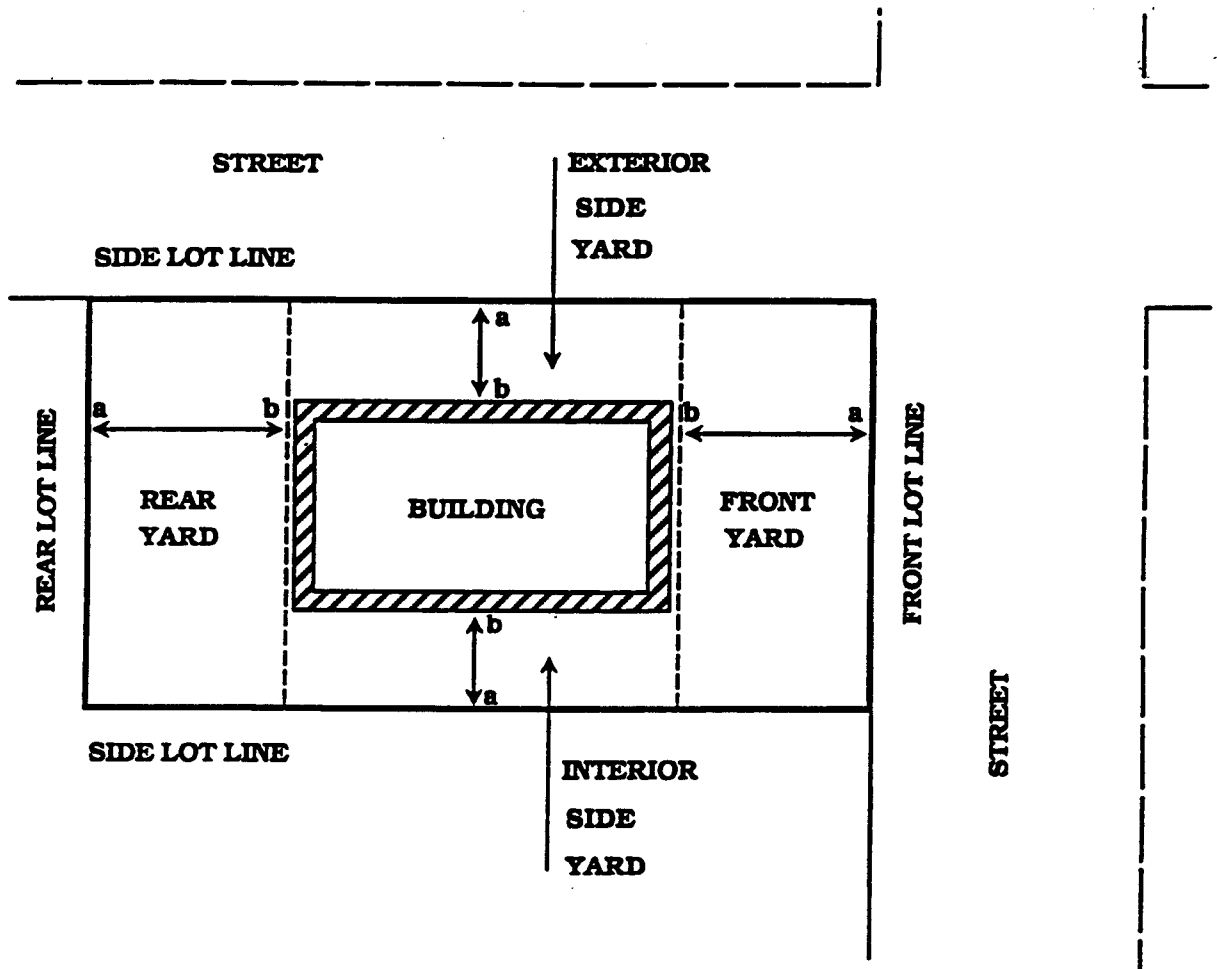
2.0



3a

CORNER LOT PARALLEL LOT LINES YARD DEFINITIONS

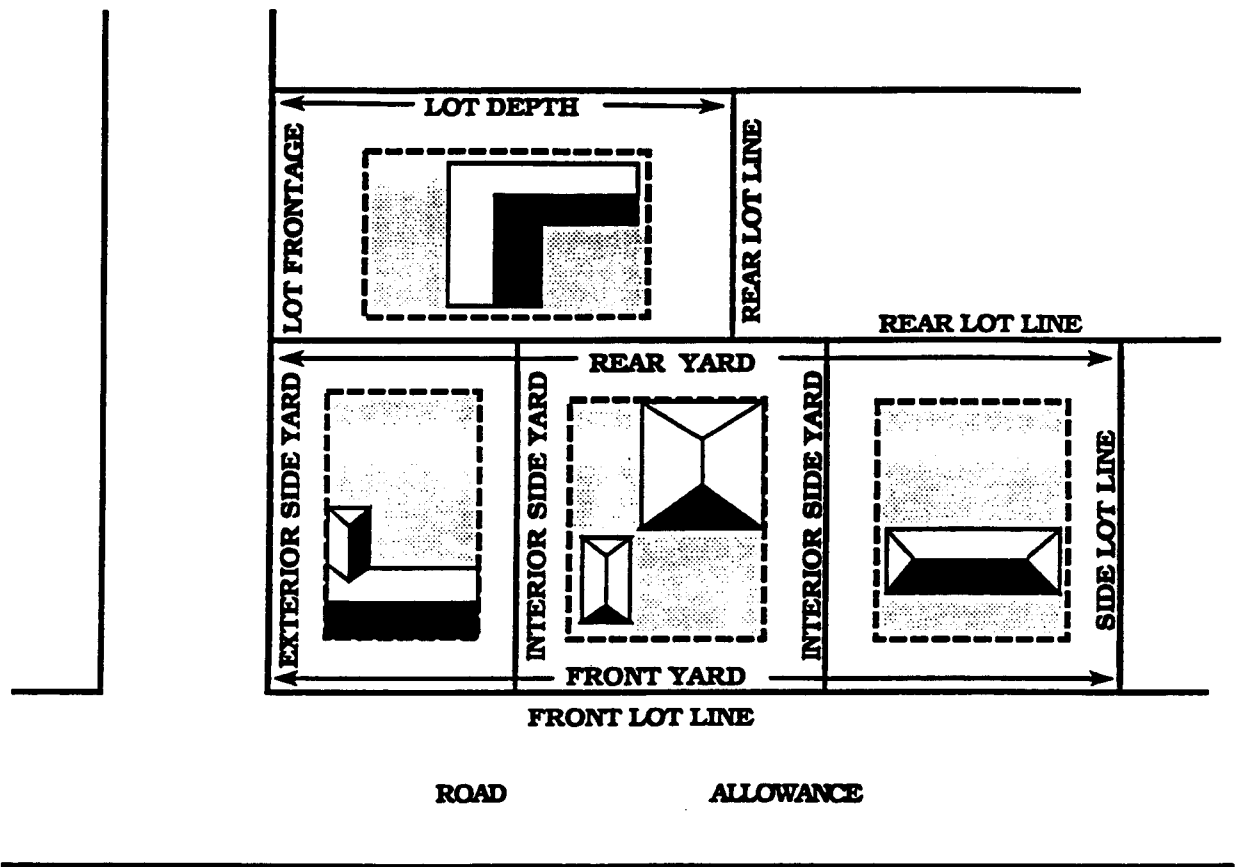
Refer to Subsection 2.90.2



DISTANCE ab REPRESENTS THE DEPTH OF THE REQUIRED YARD MEASURED AS LEAST HORIZONTAL DIMENSION BETWEEN LOT LINE AND NEAREST PART OF MAIN BUILDING. DISTANCE ab MUST BE THE MINIMUM DISTANCE SPECIFIED IN BY-LAW.

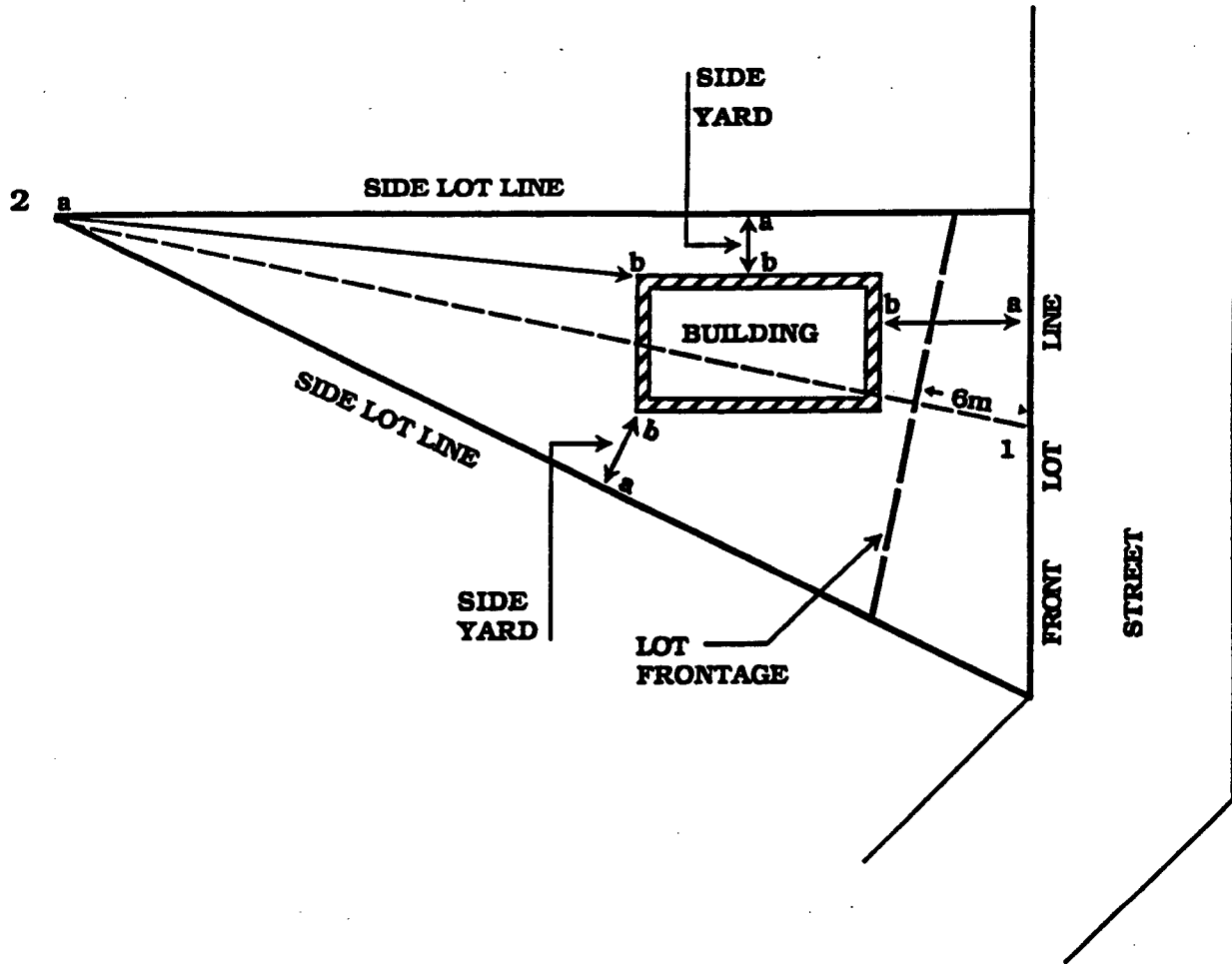
EXAMPLE OF YARD DEFINITIONS

Refer to Subsection 2.160



IRREGULAR LOT NO REAR LOT LINE YARD DEFINITIONS

Refer to Subsection 2.160



LOT FRONTAGE

1. MID POINT OF FRONT LOT LINE.
2. MID POINT OF REAR LOT LINE.

LOT FRONTAGE MEASURED AT RIGHT ANGLES TO THE LINE JOINING POINTS 1 AND 2 AT A DISTANCE OF 6 METRES FROM THE FRONT LOT LINE.

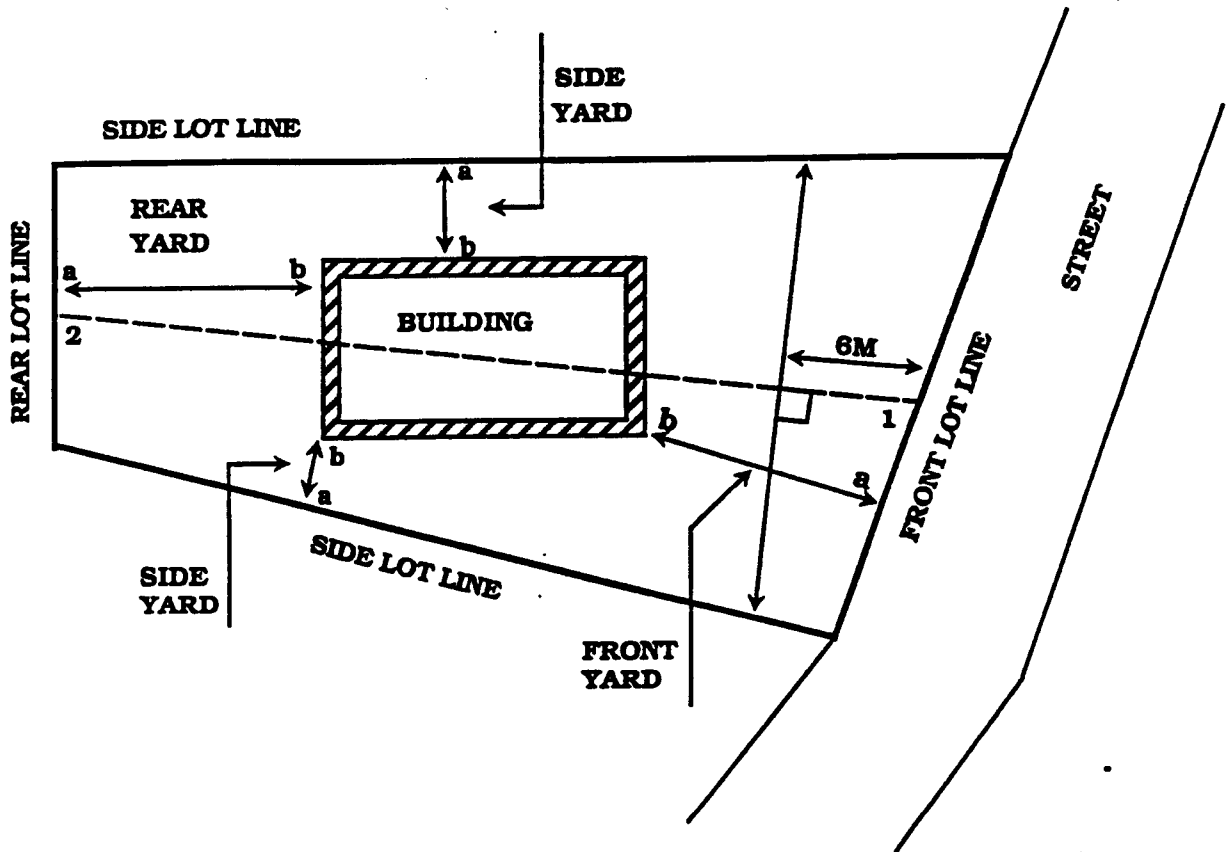
DISTANCE ab REPRESENTS THE SHORTEST DISTANCE MEASURED BETWEEN THE LOT LINE AND NEAREST PART OF THE MAIN BUILDING. DISTANCE ab MUST BE THE MINIMUM DISTANCE SPECIFIED IN THE BY-LAW.

IRREGULAR LOT

NO PARALLEL LOT LINES

YARD DEFINITIONS

Refer to Subsection 2.160



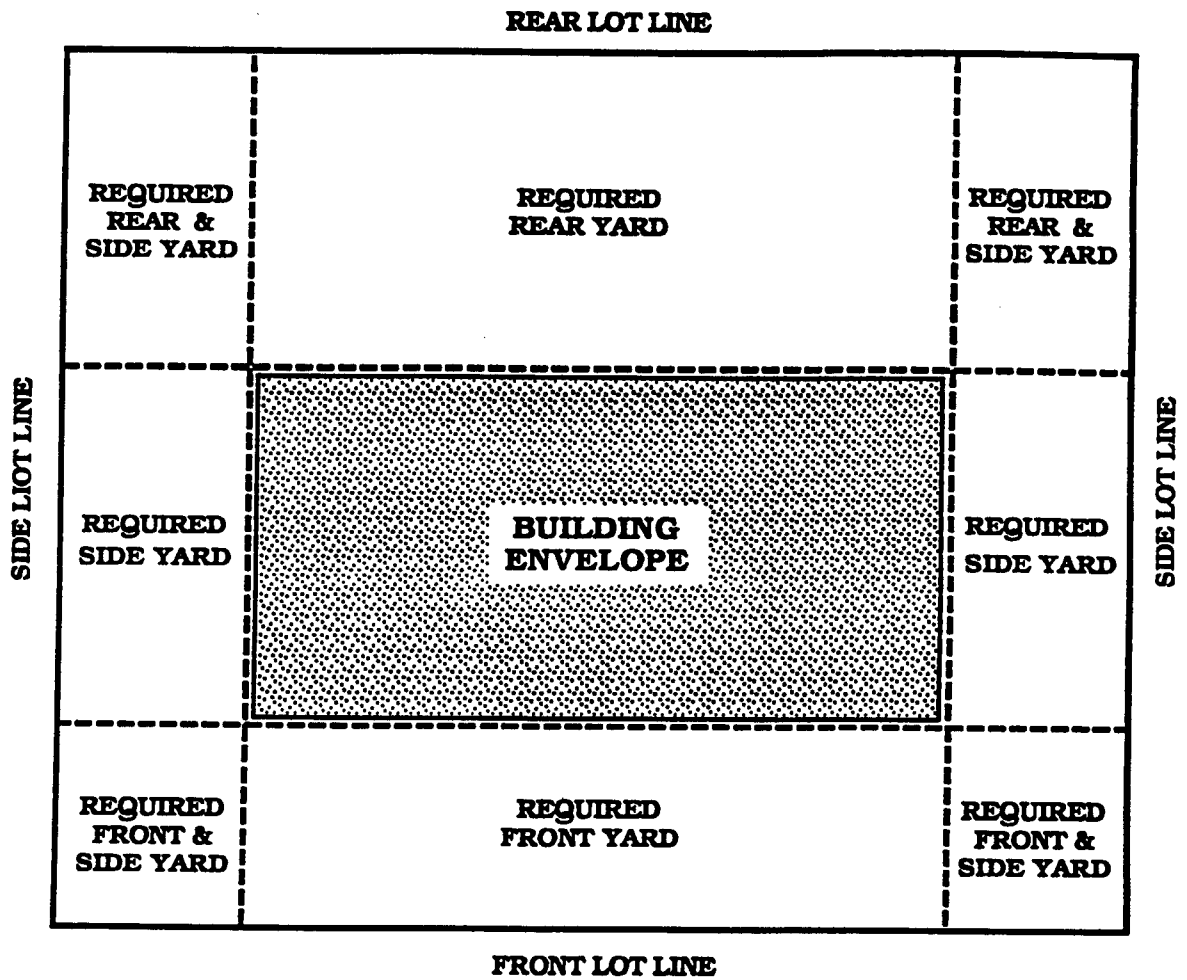
LOT FRONTAGE

1. MID POINT OF FRONT LOT LINE.
2. MID POINT OF REAR LOT LINE.

LOT FRONTAGE MEASURED AT RIGHT ANGLES TO THE LINE JOINING POINTS 1 AND 2 AT A DISTANCE OF 6 METRES FROM THE FRONT LOT LINE.

DISTANCE ab REPRESENTS THE SHORTEST DISTANCE MEASURED BETWEEN THE LOT LINE AND NEAREST PART OF THE MAIN BUILDING. DISTANCE ab MUST BE A MINIMUM DISTANCE SPECIFIED IN BY-LAW.

BUILDING ENVELOPE



INTERPRETATION

AND

ADMINISTRATION

SECTION 1 - INTERPRETATION AND ADMINISTRATION

- | | | |
|-----|--|--|
| 1.1 | The short title of this By-law is The City of North Bay Zoning By-law. | SHORT TITLE |
| 1.2 | This By-law does not affect the rights of any part of any land concerned in any action, litigation or other proceeding pending on the date of the final passage thereof, except to the extent to be determined in the final adjudication of such action, litigation or other proceedings. | LITIGATION |
| 1.3 | Except as permitted by the Planning Act, no building, structure or land shall be used, and no building or structure shall be hereafter erected, placed, structurally altered or enlarged within the limits of the Municipality except in conformity with this By-law. | USE OF LAND
RESTRICTED |
| 1.4 | This By-law shall be administered by the Director of Planning and Development, the Zoning Administrator and such other persons as Council may designate from time to time. | ADMINISTRATION |
| 1.5 | No permit for the use of land or for the erection or use of any building or structure or approval of any application for any Municipal Licence shall be issued or given, where the proposed building, structure or use would violate any provision of this By-law. | ENFORCEMENT |
| 1.6 | The Director of Planning and Development, the Zoning Administrator, and such other persons designated from time to time are hereby authorized with consent, upon proper notice being given to enter between the hours of 9:30 o'clock a.m. and 4:30 o'clock p.m., Monday to Friday upon any property or premises or structure for the purpose of discharging his duties and obligations under this By-law if there are reasonable and probable grounds to believe that this By-law is not being complied with. | RIGHT OF
ENTRY
(SECTION 41
BY-LAW NO.
165-80) |

- 1.7 Unless the context otherwise requires, the expression "use" or "to use" in this By-law includes anything done or permitted by the owner or occupant of any land, building or structure, directly or indirectly, or by or through any trustee, tenant, servant or agent of such owner or occupant for the purpose of making use of the said land, building or structure.
- 1.8 In this By-law the word "shall" shall always be construed as being mandatory.
- 1.9 Words importing the singular number or the masculine gender only include more persons, parties or things of the same kind than one, and females as well as males, and the converse.
- 1.10 Where any word or abbreviation is not otherwise defined in this By-law, such word or abbreviation shall have the meaning set out in the Shorter Oxford Dictionary.
- 1.11 No building shall be moved within the limits of the Municipality, except in conformity with this By-law and the Building By-law of the City of North Bay.
- 1.12 A sign permit issued pursuant to the regulations contained in the City of North Bay Sign By-law as amended is required for the erection of any sign upon private or public property which shall only be issued if such sign is in conformity with the regulations therein applicable.
- 1.13 Every person who contravenes any provision of this By-law is guilty of an offence and is subject to penalties applicable under the Planning Act, R.S.O. 1990.
- 1.14 Where any person contravenes any provision of this By-law and a conviction is entered therefore, the City Solicitor may, in addition to any other remedy and to any penalty imposed by this By-law, request an Order prohibiting the continuation or repetition of the offence by the person convicted.

**MEANING OF
"USE"**

**USE OF
WORD "SHALL"**

IDEM

DEFINITIONS

**BUILDINGS
TO BE
MOVED**

**VIOLATION
AND
PENALTY**

1.15 Where any building or structure is or is proposed to be erected, placed, altered, reconstructed, extended or enlarged, or any building or structure or part thereof is or is proposed to be used, or any land is or is proposed to be used in contravention of the provisions of this By-law, the same may be restrained by action at the instance of the Council of the Municipality, or any resident of the City, pursuant to the provisions of the Planning Act, R.S.O. 1970, Chapter 349 and Amendments thereto.

REMEDIES

1.16 If any provision of this By-law, including any of the zones, as herein established and as shown on the Schedules to this By-law are for any reason held to be invalid, it is hereby declared to be the intention that all the remaining provisions and regulations shall remain in full force and effect until repealed, notwithstanding that one or more provisions and regulations shall have been declared to be invalid.

SEVERABILITY

1.17 Upon the final approval of this By-law by The Ontario Municipal Board, all other Zoning By-laws in force in the Municipality are hereby repealed, specifically By-law No. 1097 of the former Township of Widdifield and Amendments thereto, being By-laws No. 1204, 1215, 1253, 76-79, 77-69, 13-70, 15-70, 16-70, 71-69, 14-70, 32-70, 74-70, 82-70, 42-70, 29-71, 51-71, 82-71, 96-71, 24-72, 54-72, 53-73, 58-73, 74-73, 55-75, 76-73, 63-74, 20-74, 26-74, 30-75, 126-74, 28-75, 50-75, 52-75, 84-75, 77-76, 95-75, 27-76, 28-76, 29-76, 17-76, 92-75, 57-76, 53-76, 56-76, 65-76, 80-76, 86-76, 88-76, 97-76, 11-77, 22-77, 78-77, 137-77, 10-77, 36-78, 7-78, 32-78, 38-78, 33-78, 56-78, 75-78, 77-78, 107-78, 111-78, 113-78, 115-78, 130-78, 35-79 and 101-79; By-law No. 907 of the former Township of West Ferris and Amendments thereto, being By-laws No. 64-69, 120-71, 2-71 74-71, 1-73, 75-73, 44-74, 47-74, 32222-73, 68-75, 60-74, 43-75, 31-75, 71-75, 113-75, 55-76, 144-76, 53-77, 26-77, 28-77, 35-77, 92-77, 93-77, 91-77, 121-77, 15-78, 8-78, 14-78 and 91-79; and By-law No. 9-69 of The City of North Bay and Amendments thereto being By-laws No. 58-69, 59-69, 104-71, 97-71, 89-70, 19-71, 79-71, 41-73, 28-71,

REPEALS

102-71, 22-71, 103-71, 19-73, 14-73, 8-73, 24-73,
51-73, 45-74, 43-74, 62-74, 61-74, 20-71, 83-72,
11-75, 27-75, 26-75, 63-76, 62-76, 86-77, 93-76,
98-76, 96-76, 12-77, 36-77, 74-77, 99-77, 122-77,
134-77, 13-78, 139-77, 5-78, 6-78, 9-78, 23-78,
34-78, 133-78 and 39-79.

DEFINITIONS

SECTION 2 - DEFINITIONS

For the purposes of this By-law the definitions and interpretation given in this Section shall govern:

- 2.1 **ACCESSORY** means a use, building or structure that is naturally and normally incidental, subordinate and exclusively devoted to the principal use, building or structure and located on the same lot therewith.
- 2.2 a) **ADULT ENTERTAINMENT PARLOUR** means any premises or part thereof in which is provided, in pursuance of a trade, calling, business or occupation, services appealing to or designed to appeal to erotic or sexual appetites or inclinations;
- b) "services" includes activities, facilities, performances, exhibitions, viewings and encounters, but does not include the exhibition of film approved under the Theatres Act;
- c) "services designed to appeal to erotic or sexual appetites or inclinations" includes,
- i) services of which a principal feature or characteristic is the nudity or partial nudity of any person;
- ii) services in respect of which the word "nude", "naked", "topless", "bottomless", "sexy" or any other word or any picture, symbol or representation having like meaning or implication is used in any advertisement.
- 2.3 **AGRICULTURAL USE** means the cultivation of the soil and animal husbandry for profit or commercial purposes including the slaughter, packaging or processing of animals or produce incidental to such uses, but not including the commercial slaughter, processing or packaging of animals or agricultural produce.
- 2.4 **AGRICULTURAL SERVICES** means a use, building or structure devoted to the purposes of buying and selling commodities and services as required by an agricultural use.

(Section 42
By-law No.
165-80)

- 2.5 **AGRICULTURAL STORAGE** means a use, building or structure for the housing of livestock, feed, seed, grain, seedlings and other supplies required in an agricultural use. This shall include a building or structure accessory to the principal agricultural use devoted to the shelter of equipment and produce of an agricultural use. **DEFINITIONS**
- 2.6 **AMUSEMENT ARCADE** means a building or part of a building in which four or more pinball machines, video games, or other similar coin or token operated devices are provided for public amusement.
- 2.7 **ANIMAL HOSPITAL** means a building or structure where animals, including birds and livestock are treated and where domestic animals, including birds are kept for treatment and shall include a veterinary establishment and a veterinary clinic, but not a kennel.
- 2.8 **ATTACHED** means a building otherwise complete in itself, which depends for structural support or complete enclosure upon a division wall or walls shared in common with an adjacent building or buildings.
- 2.9 **AUTOMOBILE SERVICE STATION** means a building or a clearly defined space on a lot where gasoline, oil, grease, anti-freeze, tires, tubes, tire accessories, electric light bulbs, spark plugs and batteries for motor vehicles are stored or kept for sale, or where motor vehicles may be oiled, greased or washed, or have their ignition adjusted, tires inflated or batteries charged or where only minor or running repairs essential to the actual operation of motor vehicles are executed or performed.
- 2.10 **AUTOMOBILE WASHING ESTABLISHMENT** means a building or part thereof used for the operation of automobile washing equipment with a capacity to wash more than ten (10) cars per hour, but does not include an Automobile Service Station or a Gas Bar.
- 2.11 **BASEMENT** means that space of the dwelling that is partly below grade which has more than one-half of its interior height measured from floor to ceiling above the average finished grade around the exterior of the building.

- 2.12 **BED AND BREAKFAST** means a detached dwelling in which the operator resides, used to provide accommodation and meals to transient travellers and includes a tourist home, but does not include a boarding house, rooming house, domiciliary hostel, group home, hotel or motel.
- 2.13 **BOARDING AND/OR ROOMING HOUSE** means any building or part thereof in which the proprietor supplies for hire or gain to more than three (3) other persons lodging or meals or both (exclusive of the lessee or owner thereof or members of his family), and may include a children's home, home for the aged, or other similar establishment, and shall exclude a hotel, hospital or nursing home.
- 2.14 **BOAT HOUSE** means an accessory building or structure located on a waterfront lot, the sole use of which is the provision of shelter or protection to a boat or other form of water transport.
- 2.15 **BUFFER ZONE** means a landscaped or naturally vegetated strip of land devoted exclusively to the provision of visual amenity and a physical barrier between adjacent uses.
- 2.16 **BUILDING** means any structure, whether temporary or permanent, used or built for the shelter, accommodation or enclosure of persons, animals or chattels, other than a lawful boundary wall or fence, and shall include any structure, loading dock, staging gallery, wall, excavation, storage tank, gasoline pump, pump island, bleacher, fence, swimming pool, grandstand, tent, awning, bin, bunker or platform, vessel or vehicle used for any of the said purposes is deemed a building.
- 2.17 **BUILDING AREA** means the maximum projected horizontal area of a building above grade measured to the centre of party walls and to the outside of other walls including stairwells and all other spaces within the building.
- 2.18 **BUILDING INSPECTOR** means the officer or employees of the Municipality charged with the duty of enforcing the provisions of The Building Code Act, 1974, as amended.
- 2.19 **BUILDING LINE** means any line regulating the position of a building or structure on a lot relative to the property lines or established by the setback regulations of this By-law.
- 2.20 **BUILDING, MAIN** means the building designed or used for the principal use on the lot.

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- 2.21 **BULK SALES ESTABLISHMENT** means the use of land, structure or building for the purpose of buying and selling fuels, building materials, ice and allied commodities, but does not include any manufacturing, assembling or processing uses.
- 2.22 **BULK STORAGE CONTAINER** means an above ground container used for the storage of liquid chemicals, compressed gases, petroleum products and other related materials for subsequent resale to distributors or retail dealers.
- 2.23 **BUS STORAGE** means an area with or without a building for the storage and/or sheltering of buses and may incorporate the servicing of such vehicles.
- 2.24 **CABIN** means a separate building designed to provide only sleeping accommodation for the travelling or vacationing public.
- 2.25 **CABIN, HOUSEKEEPING** means a separate building designed to provide sleeping accommodations and facilities for the preparation and cooking of food for the travelling or vacationing public.
- 2.26 **CAMPING ESTABLISHMENT** means an area used for a range of overnight camping experiences, from tenting to serviced trailer sites, including accessory facilities which support the use, such as administration offices, laundry facilities, but not including the use of mobile homes or trailers on a permanent, regular or year-round basis.
- 2.27 **CARPORT** means a covered structure attached to the wall of the main building and used for the storage of private passenger motor vehicles wherein neither servicing for profit is indicated nor storage of commercial vehicles in excess of 1 ton is permitted. The roof of the said structure shall be supported only by piers or columns so it is open on at least two sides.
- 2.28 **CELLAR** means that space of the building that is partly or entirely below grade which has less than one-half of its height measured from floor to ceiling above the average finished grade around the exterior of the building.

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- 2.29 **CEMETERY** means land that is set apart or used as a place for interment of the dead in accordance with The Cemeteries Act, R.S.O. 1970, and amendments thereto. A cemetery may include such accessory uses as mausoleums, crematoriums and columbariums.
- 2.30 **CLINIC** means a building or part of a building used for the medical, dental, surgical, psychiatric or therapeutical treatment of human beings, but does not include a public or private hospital or a professional office of a doctor located in his residence.
- 2.31 **CLUB** means a use, building or structure devoted to an association of persons, whether incorporated or not, united by some common interest, meeting periodically for cooperation or conviviality.
- 2.32 **COMMERCIAL PARKING LOT** means an open area, other than a street, used for the temporary parking of two or more vehicles for profit or gain.
- 2.33 **COMMERCIAL USE** means the use of land, structure or building for the purposes of buying or selling commodities and supplying services, as distinguished from such uses as manufacturing or assembling of goods, warehousing and contractor's yards.
- 2.34 **COMMON WALL** means a vertical wall separating two dwelling units between the top of the footings to the underside of the roof deck, and shall be mutually common to both dwelling units over forty (40) percent of the depth of each dwelling between the front and rear yard of each dwelling.
- 2.35 **COMMUNITY CENTRE** means any tract of land or building used for community activities which may be used for ancillary commercial purposes and the control of which is vested in the municipality, local board or commission thereof.
- 2.36 **CONSERVATION AUTHORITY** means the Government body responsible for the administration of a Conservation Area as established and defined by The Conservation Authorities Act, R.S.O. 1970, and amendments thereto.
- 2.37 **CONTRACTOR'S YARD** means an area with or without buildings used for the storage of materials and equipment related to the construction industry where a contractor may perform shop or assembly work ancillary to the main use.

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- 2.38 **CONVERSION** means the alteration or change of use of a building.
- 2.39 **COTTAGE** means a single detached dwelling which may be on private services and/or private roads.
- 2.40 **COUNCIL** means the Council of The Corporation of the City of North Bay.
- 2.41 **COURT** means an open, uncovered, unoccupied space appurtenant to a building and bounded by two or more sides thereby. **DEFINITIONS**
- 2.42 **CREMATORIUM** means a building fitted with the proper appliances for the purposes of the cremation of human remains and includes everything incidental or ancillary thereto.
- 2.43 **DANGEROUS TRADES** means a use which is likely to create danger to health or danger from fire or explosion which, without limiting the generality of the foregoing, shall include storage or manufacture of:
- Acids
 - Benzene
 - Burning Fluid
 - Coal Oil
 - Dualine
 - Dynamite
 - Gas
 - Gunpowder
 - Naptha
 - Nitro-Glycerine
 - Petroleum and Petroleum Products
 - Rock Oil
 - Water Oil
- (Section 43
By-law No.
165-80)
- 2.44 **DAY NURSERY** means a premises that receives more than five children who are not of common parentage, primarily for the purpose of providing temporary care, or guidance, or both temporary care and guidance, for a continuous period not exceeding twenty-four hours, where the children are,
- a) under eighteen years of age in the case of a day nursery for children with a developmental handicap, and
 - b) under ten years of age in all other cases;

but does not include,

- c) part of a public school, separate school, private school or a school for trainable retarded children under the Education Act ("garderie").

- 2.45 **DAYLIGHT CORNER** means a corner lot located at the intersection of two streets where no visual obstruction will be permitted such that it will obstruct the vision of any motorist.
- 2.46 **DECK** means a structure without a roof having a foundation to hold it erect, and attached to or abutting one or more walls of a building or constructed separate from a building, with or without direct access to the ground, the floor of which is greater than 0.3 metres above finished grade, and which is designed and intended for use as a sundeck, but shall not include a landing or a stair.
- 2.47 **DRIVE OR DRIVEWAY** means that portion of a lot used to provide parking or access from the street to a parking space or spaces and which has been graded and gravelled or surfaced with concrete asphalt, crushed stone or other hard surface and dustless materials.
- 2.48 **DRIVING RANGE** means a public or private area operated for the purpose of developing golfing techniques, including miniature golf courses, but excluding golf courses.
- 2.49 **DRY CLEANING DEPOT** means a building or structure used for the purpose of collection and/or distribution of articles or goods of fabric to be subjected to the process of dry cleaning, dry dyeing, cleaning, spotting and stain removal, and for the pressing and alterations of any such articles or goods which have been subjected to any of the above-noted processes elsewhere at a dry cleaning establishment.
- 2.50 **DRY CLEANING ESTABLISHMENT** means a building or structure used for the purpose of collection, distribution and/or the processing of articles or goods of fabric to be subjected to the process of dry cleaning, dry dyeing, cleaning, spotting and stain removal, and for the pressing and alterations of any such articles or goods which have been subjected to any such process.

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- 2.51 **DWELLING** means a building, occupied or capable of being occupied as a home, residence or sleeping place by one or more persons, but shall not include hotels, boarding and rooming houses, motels and institutions.
- 2.51.1 **DWELLING, APARTMENT** means a building consisting of four or more dwelling units, which units have a common entrance from the street level and the occupants of which have the right to use, in common, halls and/or stairs and/or elevators and yards.
- 2.51.2 **DWELLING, CONVERTED** means a building which has been altered by the creation of more dwelling units than existed originally, with each dwelling unit having its own sanitary facilities and cooking facilities.
- 2.51.3 **DWELLING, DOUBLE DUPLEX** means a building that consists of two duplexes attached to each other by a common wall.
- 2.51.4 **DWELLING, Duplex** means a separate building that is divided horizontally into two dwelling units, each of which has an independent entrance from outside the building.
- 2.51.5 **DWELLING, MAISONETTE** means a building that is divided into three or more dwelling units, each of which has an independent entrance, one to a common corridor and the other directly to the outside yard area adjacent to the said dwelling unit. A maisonette is not considered an apartment building for the purposes of this By-law.
- 2.51.6 **DWELLING, MULTIPLE** means a building designed, intended and used for residential occupancy containing three or more dwelling units, but excludes an apartment dwelling, a maisonette dwelling, a triplex dwelling and a double duplex dwelling.
- 2.51.7 **DWELLING, ROW HOUSE** means a building that is divided vertically by common walls into three or more dwelling units,

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each of which has independent entrances, to a front and rear yard immediately abutting the front and rear walls of each dwelling unit.

2.51.8 **DWELLING, SEMI-DETACHED** means a building that is divided vertically by a common wall into two dwelling units, each of which has an independent entrance, either directly or through a common vestibule.

2.51.9 **DWELLING, SINGLE FAMILY DETACHED** means a completely detached dwelling unit to which entrance is gained only by a private entrance directly from outside the building and where not more than three (3) persons, excluding domestic servants, receive lodging or board for compensation.

2.51.10 **DWELLING, TRIPLEX** means a building that is divided horizontally into three dwelling units, each of which has an independent entrance from outside the building.

2.52 **DWELLING GROUP** means a building which is part of a group of dwellings on the same lot, which group of dwellings is comprised of multiple dwellings or row house dwellings, or maisonettes, or apartments, or any combinations thereof.

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2.53 **DWELLING UNIT** means a suite of habitable rooms which:

- i) is in a building;
- ii) is used or intended to be used by one or more persons as a single, independent and separate household unit;
- iii) contains food preparation and sanitary facilities for the exclusive common use of the occupants, and
- iv) has a private entrance directly from outside the building or from a common hallway or stairway inside the building.

2.54 **EASEMENT** means a vested or acquired right by statute or registered agreement at The Land Registry Office to use land other than as a tenant for a specific

purpose, such right being held by someone other than the registered owner.

- 2.55 **ERECT** means to build, to construct, to reconstruct, to alter, to enlarge or to relocate and, without limiting the generality of the foregoing, includes any associated physical operation such as excavating, grading, structurally altering any existing building or structure by an addition, deletion, enlarging or extension.
- 2.56 **ESTABLISHED BUILDING LINE** means the average distance from the street line of existing buildings in any block where more than half the frontage has been built upon at the date of the passing of this By-law.
- 2.57 **EXISTING** means a use, building or structure present on or before the date of the passing of this By-law.
- 2.58 **FLEA MARKET** means a building or open area in which stalls or sales areas are set aside and rented or otherwise provided, and which are intended for use by various unrelated individuals to sell articles that are either homemade, homegrown, handcrafted, old, obsolete, or antique, and may include the selling of goods at retail by businesses or individuals who are generally engaged in retail trade.
- 2.59 **FLOOR AREA, DWELLING** means the sum of the areas of all floors of a dwelling unit measured between the internal faces of the exterior walls, excluding the basement or cellar.
- 2.60 **FLOOR AREA** means the space of any storey of a building between exterior walls and required fire walls, including the space occupied by interior walls and partitions. A fire wall located on a property line separating two properties under separate ownership shall, for the purpose of this By-law, be considered an exterior wall.
- 2.61 **FLOOR AREA, GROSS** means the sum of all floor areas above grade, except in the case of an apartment building where part of the area of the basement is used for a dwelling unit(s), in which case the said area constitutes part of the gross floor area measured between the internal faces of the exterior walls of the building at the level of each floor, including any part of the building above grade used for the storage or parking of motor vehicles, locker

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storage and laundry facilities, but excluding any part of the building used for mechanical purposes which are an integral part of the building.

- 2.62 **FLOOR SPACE, COMMERCIAL (OR GROSS LEASEABLE AREA G.L.A.)** means the sum of the areas of all floors of a building or part thereof used for commercial purposes measured between the internal faces of the exterior walls, excluding the furnace room, laundry room, washrooms, stairwell or elevator shaft.
- 2.63 **FLOOR SPACE INDEX (F.S.I.)** means the gross floor area expressed as a percentage of the total lot area.
- 2.64 **FORESTRY** means the production of wood and wood products, provisions of proper environmental conditions for wildlife, protection against flood and erosion, recreation and protection and production of water supplies.
- 2.65 **FORESTRY USE** means the general raising and harvesting of wood and without limiting the generality of the foregoing, shall include the raising and cutting of fuel wood, pulpwood, lumber, Christmas trees and other forest products.
- 2.66 **FUEL STORAGE TANK** means a tank for the bulk storage of petroleum, gasoline, fuel oil, gas or flammable liquid or fluid, but does not include a container for flammable liquid or fluid legally and properly kept in a retail store or a tank for storage, thereby incidental to some other use of the premises where such tank is located.
- 2.67 **FUNERAL HOME** means a commercial establishment providing funeral supplies and services to the public.
- 2.68 **GARAGE, ATTACHED** means a private garage accessory to a dwelling unit on the same lot and separated therefrom by a common wall or common roof structure; provided, however, for the purposes of determining lines of setback, lot coverage and side yard, an attached garage is considered part of the main building.
- 2.69 **GARAGE, PARKING** means a commercial building in which motor vehicles are parked or stored, or are housed or sheltered.

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- 2.70 **GARAGE, PRIVATE** means an accessory building either separate from or attached to the main building, which is designed or used for the storage of one or more private vehicles and the storage of household equipment, incidental to residential occupancy.
- 2.71 **GARAGE, PUBLIC** means a parking station, parking lot, building or lot where motor vehicles are stored, hired, kept or used for hire, but not including any mechanical repairs.
- 2.72 **GARAGE, REPAIR** means a building or lot used for complete motor vehicle repairs to bodies, frames or motors, including painting, upholstering, washing and cleaning of said vehicles, and may include the storage of gasoline or oils for private use.
- 2.73 **GARDEN CENTRE** means the use of lands, buildings or structures or part thereof for the purpose of buying or selling lawn and garden equipment, furnishings, supplies and nursery stock.
- 2.74 **GAS BAR** means the use of land, or building, or structure where vehicle fuel or lubricants are offered for sale, but where no provision is made for the repair or maintenance of vehicles. For the purpose of this definition, the sale of associated sundry items and the sale of prepared foods for consumption off the premises may be allowed as an accessory use.
- 2.75 **GOLF COURSE** means a public or private area operated for the purpose of playing golf including a par three golf course and including such ancillary uses as a driving range, a miniature golf course, and a clubhouse.
- 2.76 **GRADE, ESTABLISHED** means, with reference to a building, the average elevation of the finished surface of the ground where it meets the exterior of all sides of such building, and when used with reference to a structure, means the average elevation of the finished grade of the ground immediately surrounding such structure, and, when used with reference to a street, road or highway, will refer to the elevation established by the Municipality or other designated authority.
- 2.76.1 **GROUP HOME** means a single housekeeping unit in a residential dwelling in which 3 to 10 unrelated residents with social, legal, emotional, mental or physical

handicaps or problems, live as a family under responsible supervision consistent with the requirements of its residents, and the facility is:

- a) supervised;
- b) one to which the residents are referred by a hospital, court or government agency;
- c) funded wholly or in part by any government other than funding provided solely for capital purposes;
- d) licensed or approved under Provincial Statutes;
- e) one which complies with Municipal By-laws.

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- 2.77 **HEIGHT OF BUILDING** means the vertical distance measured from the established grade level to the higher of the highest point of a flat roof, or the mean level between the eaves and ridge of a pitched roof.
- 2.78 **HIGHWAY, STREET OR ROAD** means a public way for purposes of vehicular and pedestrian travel, including the entire dedicated area, with or without provision made for curbs, sidewalks and paved gutters and owned and maintained by a public authority.
- 2.79 **HOME BASED BUSINESS** means an occupation or business activity which results in a product or service and is conducted in whole or in part in the dwelling unit and is clearly subordinate to the residential use of the dwelling unit.
- 2.80 **HOSPITAL, PUBLIC** means a hospital as defined by The Public Hospitals Act, R.S.O. 1970, Chapter 378, as amended.
- 2.81 **HOTEL** means an establishment that provides sleeping accommodation of not fewer than six (6) bedrooms and supplies foods and refreshment from a general kitchen, dining room and other public rooms, provided that not more than 25% of the rentable units in a hotel may be efficiency units.
- 2.82 **HOUSEHOLD OCCUPATION** means an occupation for gain or support conducted entirely within a dwelling unit by the occupant of said dwelling unit.

- 2.83 **INDUSTRIAL, EXTRACTIVE** means land including accessory buildings and structures used for the removal, refinement and/or processing of sand, gravel, stone or other aggregate resources and includes an asphalt plant, a borrow pit, a concrete plant, a gravel pit and a stone quarry.
- 2.84 **INDUSTRIAL USE** means the use of land, building or structure designed for the purpose of manufacturing, assembling, making, preparing, printing, inspecting, ornamenting, finishing, treating, altering, repairing, warehousing or storing or adapting for sale any goods, substance, article or thing, or any part thereof, and the storage of building and construction equipment and materials, as distinguished from the buying and selling of retail commodities and the supplying of personal services. **DEFINITIONS**
- 2.85 **INSTITUTIONAL USE** means the use of land, buildings or structures for a public or non-profit purpose and without limiting the generality of the foregoing, may include such uses as schools, places of worship, indoor recreation facilities, community centres, public hospitals and government agencies.
- 2.86 **KENNEL** means a place where dogs and other domestic animals other than poultry are bred and raised, and are sold or kept for sale or boarded.
- 2.87 **LANDSCAPING** means any combination of vegetation including trees, shrubs, flowers, grass or other horticultural elements, decorative stonework, paving, screening or other architectural elements, all of which is designed to enhance the visual amenity of a property, to regulate drainage, and to provide a screen to mitigate any objectionable aspects that may detrimentally affect adjacent land.
- 2.88 **LANE** means a public thoroughfare which affords only a secondary means of access to abutting lots and which is not intended for general traffic circulation.
- 2.89 **LOADING SPACE** means an area of land which is provided and maintained upon the same lot or lots upon which the main use is located, for the temporary parking of one or more commercial motor vehicles while merchandise or materials are being loaded or unloaded from such vehicle(s).
- 2.90 **LOT** means any parcel of land with frontage on a road which is a separate parcel of record or is shown as a whole lot on a registered Plan of **(Section 44 By-law No. 165-80)**

Subdivision, including any part of which is subject to an easement or right-of-way.

2.90.1 **LOT AREA** means the total horizontal area within the lot lines of a lot and, in the case of a corner lot having street line rounding at the corner with a radius of six (6) metres or less, the lot area of such lot is to be calculated as if the lot lines were projected to this point of intersection.

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2.90.2 **LOT, CORNER** means a lot bounded on two or more sides by one or more public roads, provided that the angle of intersection of such public roads is not more than one hundred and thirty-five (135) degrees.

2.90.3 **LOT DEPTH** means the perpendicular distance measured in a horizontal plane between the front and rear lot lines. Where these lines are not parallel, it shall be the length of a line joining the mid-points of the front and rear lot lines.

2.90.4 **LOT, FRONTAGE OF** means the horizontal distance between the side lot lines measured along the front lot line, except that:

- i) where the front lot line is not perpendicular to the side lot lines, which are parallel, lot frontage means the horizontal perpendicular distance between the side lot lines; and
- ii) where the front lot line is not a straight line and the side lot lines are not parallel, the lot frontage is to be measured by a line six (6) metres back from and parallel to the chord of the lot frontage, and for the purpose of this paragraph, the chord of the line frontage is a straight line joining the two points where the side lot lines intersect the front lot line.

2.90.5 **LOT, INTERIOR** means a lot other than a corner lot and a key lot.

2.90.6 **LOT, KEY** means a lot in the rear of and adjoining a corner lot that is not separated from the corner lot by a lane.

2.91 **LOT COVERAGE** means that percentage of lot area covered by all main buildings above ground level and, for the purpose of this paragraph, the lot coverage in each zone applies and shall be deemed to apply only to that portion of said lot that is located within said zone.

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2.92 **LOT LINE** means any boundary of a lot.

2.92.1 **LOT LINE, FLANKAGE** means the longer lot line which abuts the street on a corner lot.

2.92.2 **LOT LINE, FRONT** means the lot line that abuts the street except that:

- i) in the case of a corner lot, the shorter lot line that abuts the street shall be deemed to be the front lot line; and
- ii) in the case of water frontage, the lot line that abuts the body of water shall be deemed to be the front lot line and the lot line that abuts a road to the rear of the lot shall be considered the rear lot line.

2.92.3 **LOT LINE, REAR** means the lot line furthest from or opposite to the front lot line.

2.92.4 **LOT LINE, SIDE** means a lot line other than a front or rear lot line.

2.93 **MAIN WALL** means the exterior front, side or rear wall of a building, and all structural members essential to the support of a fully or partially enclosed space or roof, where such members are nearer to a lot line than the said exterior wall.

2.94 **MARINA** means a building:

- a) for the retailing, servicing and repairing of all outboard or inboard motors;
- b) for the storing and retailing of gasoline and oils, parts and accessories for watercraft;

- c) for the storing and retailing of accessory equipment used in connection with marine recreation and hobby craft;
- d) for the storing and retailing of live and other bait, and
- e) for the storing and parking of watercraft, automobiles and boat trailers.

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2.94.1 MARINE AIR BASE means a building:

- a) for the docking, servicing and repairing of all aircraft;
- b) for the storing and retailing of gasoline and oils, parts and accessories for aircraft, and
- c) for the storing and parking of aircraft, watercraft and automobiles.

2.95 **MEDICAL PRACTITIONER** means a general and specialist physician or surgeon, and shall include a dentist, psychiatrist, chiropractor, osteopath, podiatrist, optometrist, oculist, but does not include a veterinarian.

2.96 **MOBILE HOME** means any dwelling that is designed to be made mobile and constructed or manufactured to provide a permanent residence for one or more persons, but does not include a travel trailer, or tent trailer, or trailer otherwise designed.

2.97 **MOBILE HOME LOT** means a lot or block within a Registered Plan of Subdivision, or any land that may be legally conveyed under the exemption provided in Section 29(2)b or 29(4)a of the Planning Act, R.S.O. 1970, Chapter 349.

2.98 **MOBILE HOME PARK** means a number of Mobile Home Lots provided with full municipal services where mobile homes are used for permanent residence, and includes all accessory buildings necessary to the operation of said park.

2.99 **MOTEL** means an establishment that provides sleeping accommodation with or without supplying cooking facilities, food or other refreshments, including a motor court and auto court within the meaning of The Tourism Act, R.S.O. 1970, Chapter 122, as amended.

- 2.100 **MOTOR HOME** means a self-propelled vehicle capable of being used for the temporary living, sleeping, eating or accommodation of persons.
- 2.101 **MOTOR VEHICLE, COMMERCIAL** means a vehicle used for commercial purposes having permanently attached thereto a truck or delivery body and without limiting the generality of the foregoing, includes: ambulances, hearses, motor buses and tractors.
- 2.102 **MOTOR VEHICLE SALES AREA** means any land, building or structure where new or used automobiles, trucks, buses, recreational vehicles and boats, as defined by The Highway Traffic Act, R.S.O. 1970 and amendments thereto, are kept for display or sale by an agent or dealer to sell such new or used automobiles, trucks, buses, recreational vehicles and boats, and shall include a lot used solely in connection therewith.
- 2.103 **MUNICIPALITY** means The Corporation of the City of North Bay.
- 2.104 **NON-COMPLYING, LEGAL** means a use which was legally established on or before the date of final passing of this By-law which does not comply with the regulations or provisions of this By-law as of the date of the final passing thereof so long as it continues to be used for that purpose.
- 2.105 **NON-CONFORMING, LEGAL** means a use which was legally established on or before the date of final passing of this By-law, but which is not a permitted use in the zone in which the said use is situated for the purposes of this By-law so long as it continues to be used for that purpose.
- 2.106 **NON-PROFIT USE** means facilities provided by the municipality or by any other group or organization without profit or gain for such special purposes as a clubhouse, community meeting rooms, a community centre, a drop-in centre, an archaeological or fine arts museum, a public library, etc., but does not include school facilities, public or private parks, playgrounds, arenas, stadiums, hippodromes, swimming pools, skating rinks, commercial-recreational establishments or any class of group home.
- 2.107 **NUISANCE** means any condition existing in a locality which interferes with the enjoyment of the use of land.
- 2.108 **NURSING HOME** means a building in which rooms or lodging are provided for hire or pay, and where meals, personal care, nursing services and medical care and

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treatment are provided or made available pursuant to The Nursing Homes Act, R.S.O. 1970, Chapter 302 and amendments thereto.

- 2.109 **OBNOXIOUS USE** means any use which shall be a nuisance to the occupants or owners of any neighbouring land or buildings by reason of the emission from the said land or any part thereof, or the creation thereon, of odours, gases, dirt, smoke, noise, vibration, fumes, cinders, soot, waste or depositing or leaving unsightly objects or chattels thereon or otherwise.
- 2.110 **OFFICE** means a room or rooms where business may be transacted, a service performed or consultation given, but does not include the manufacturing of any product.
- 2.111 **OFFICE, BUSINESS** means an office in which any administrative business is carried on.
- 2.112 **OFFICE, PROFESSIONAL** means any office used for the purposes of giving advice, consultation or treatment to clients or patients.
- 2.113 **OPEN SPACE, USABLE** means open, unobstructed space on a lot which is suitable for landscaping, including any part of the site occupied by recreational accessory buildings, any surfaced walk, patio or similar area, any sports or recreational area, any ornamental or swimming pool, any balcony at least one and five-tenths (1.5) metres in width, and the roof or other part of a building or structure open to the air and used for landscaping and as a recreational area, but excluding any driveway or ramp, whether surfaced or not, any curb, retaining wall, parking area or loading space.
- 2.114 **OUTSIDE STORAGE** means the storage of goods in the open air and in unenclosed portions of buildings which are open to the air on the sides.
- 2.115 **PARK, PRIVATE** means any park other than a public park, including a park operated for commercial gain.
- 2.116 **PARK, PUBLIC** means a park owned or controlled by the Municipality or by any Board, Commission or other Authority established under any Statute of the Province of Ontario or the Dominion of Canada.
- 2.117 **PARKING AREA** means an area other than a street used for the temporary parking of two or more motor vehicles as accommodation for visitors, clients, customers, residents or employees whether free or for profit or gain.

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- 2.118 **PARKING SPACE** means an area enclosed in a principal building, in an accessory building or unenclosed, set aside for the purpose of parking one vehicle having access to a street or lane.
- 2.119 **PERSON** means any association, partnership, corporation, municipal corporation, agent or trustee and the heirs, executors or other legal representatives of a person to whom the provisions and regulations of this By-law can apply according to law.
- 2.120 **PERSONAL SERVICE ESTABLISHMENT** means a business where professional or personal services are provided for gain and where the sale at retail of goods, wares, merchandise, articles or things is only accessory to the provisions of such services, including, but without limiting, the generality of the foregoing, the following: barber shops, beauty shops, tailor shops, laundry or drycleaning shops, shoe repair shops, professional offices, but excludes funeral homes and any manufacturing or fabrication of goods for sale.
- 2.121 **PIT** means any depression or cavity in the natural level of the ground made other than by natural causes by the removal of soil or rock, or both, for the purpose of removing sand, gravel, stone or similar material which is to be used for road building, construction or manufacturing purposes.
- 2.122 **PLACE OF ENTERTAINMENT** means a motion picture or other theatre, auditorium, public hall, billiard or poolroom, bowling alley, dance hall, or music hall, but does not include any Adult Entertainment Parlours or other place of entertainment or amusement otherwise defined or classified in this By-law.
- 2.123 **PLACE OF RECREATION** means land, structures and equipment for outdoor and indoor sports and games, but does not include a shooting gallery, or archery, rifle, pistol, skeet or trap range, a race track or commercial amusement park or theatre or Adult Entertainment Parlour.
- 2.124 **PLACE OF WORSHIP** means a building dedicated to religious worship and may include such accessory uses as a nursery school, an assembly hall, a school of religious education, convent, monastery or parish hall.
- 2.125 **PLANT, ASPHALT OR CONCRETE** means an industrial facility used for the production of asphalt or concrete, or asphalt or concrete products, used in building or construction, and includes the stockpiling of bulk

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materials used in the production process or of finished products manufactured on the premises and the storage and maintenance of required equipment.

- 2.126 **POST OFFICE** means the area in a building or an entire building, used to provide the service of receiving, conveying and delivering the mails as part of the Federal Postal Service.
- 2.127 **PRINCIPAL DWELLING** means the predominate building on a lot occupied as a dwelling unit, residence or sleeping place by an individual or a family.
- 2.128 **PRINCIPAL USE** means the predominate purpose for which any land, building, structure or premises, or part thereof, is used, designed, arranged, occupied or maintained.
- 2.129 **PRIVATE SWIMMING POOL** means an artificial body of water, the container of which is constructed of cement, plastic, fiberglass or similar material, having a depth greater than 0.5 metres and intended primarily for bathing, swimming and diving, but shall not include a natural, dug or dammed pond primarily intended for aesthetic or agricultural purposes.
- 2.130 **PUBLIC AUTHORITY** means any local board defined by The Municipal Affairs Act, R.S.O. 1970, Chapter 284 as amended.
- 2.131 **QUARRY** means an excavation in the natural level of the ground made other than by natural causes for the purpose of removing stone or similar material which is to be used for building, further processing or as a raw material in a manufacturing process.
- 2.132 **RECREATION FACILITY** means the use of lands, buildings or structures designed and equipped for the conduct of sports, leisure time activities and other customary and usual recreational activities.
- 2.133 **RECYCLING CENTRE** means the use of land, building, or structure in which used material is separated and processed prior to shipment to others who will use those materials to manufacture new products.
- 2.134 **RENOVATION** means the repair and restoration of a building to good condition, but shall not include its replacement.
- 2.135 **RESTAURANT, DRIVE-IN** means a restaurant or eating establishment which serves or is intended to serve patrons seated in a motor vehicle parked on a parking lot or driveway, or where prepared foods are sold and taken out of the building to be consumed.

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- 2.136 **RETAIL STORE** means a building or part thereof where goods, services, wares, merchandise, substances, articles or things are offered or kept for sale or rent by retail directly to the public, but does not include any manufacturing, processing or construction uses.
- 2.136.1 **RETAIL STORE, LOCAL** means a retail store which deals primarily in goods required by the inhabitants of a residential neighbourhood, but shall not include an automobile service station.
- 2.137 **RETAIL USE** means any establishment in which goods, services, wares, merchandise, substances, articles or things are offered or kept for sale or rent by retail directly to the public.
- 2.138 **RIGHT-OF-WAY** means an easement for access over one or more lots.
- 2.139 **SATELLITE DISH ANTENNA** means a device used or intended to be used to receive communication signals from a satellite.
- 2.140 **SCHOOL** means a building or structure under the jurisdiction of a Board as defined in The Education Act, R.S.O. 1974, Chapter 109, as amended. **DEFINITIONS**
- 2.141 **SCRAP YARD** shall include a lot or premises for the storage, handling or processing of scrap material including wastepaper, rags, bottles, bicycles, vehicles, tires, metal or other scrap material and salvage.
- 2.142 **SERVICE SHOP** means any building or part thereof where household appliances, machinery and home electronics equipment are sold, serviced or repaired, but excludes any manufacturing or processing.
- 2.143 **SETBACK** means the distance between any lot line abutting a public road or body of water and the nearest part of any main wall of any main building or structure.
- 2.144 **STOREY** means the portion of a building, other than a basement or cellar, between the surface of any floor and the surface of the floor next above, or, if there is no floor above it, that portion between the surface of such floor and the ceiling above it.

- 2.145 **STOREY, FIRST** means the storey with its floor closest to grade and having its ceiling more than one and eight-tenths (1.8) metres above grade.
- 2.146 **STOREY, HALF** means the portion of a building located wholly or partly within a sloping roof, having a floor area of not less than one-half or more than two-thirds of the floor area of the storey next below, side walls not less than one and two-tenths (1.2) metres in height, and a ceiling with a minimum height of two and two-tenths (2.2) metres over an area equal to at least fifty (50) percent of its floor area.
- 2.147 **STREET LINE** means the boundary line between a lot and a street, road or highway.
- 2.148 **STRUCTURE** means anything that is erected, built or constructed or parts joined together or any such erection fixed to or supported by the soil or any other structure. But for the purposes of this By-law, a fence not exceeding one and eight-tenths (1.8) metres in height shall be deemed not to be a structure and for the purposes of setbacks or yards required in this By-law, a sign shall not be deemed to be a structure.
- 2.149 **TAVERN** means a building or part thereof where, in consideration of payment therefore, liquor, beer, or wine or any combination thereof are served for consumption on the premises, with or without food.
- 2.150 **TOURIST ESTABLISHMENT** means an establishment that provides sleeping accommodation, with or without meals, including a guest house, tourist cabins, a motel, a motor court, an auto court, a hotel and all buildings operating under The Tourism Act, R.S.O. 1970, Chapter 122 as amended.
- 2.151 **TOURIST HOME** means a dwelling unit excluding a hotel, motel or cabin in which rooms or lodging are provided for hire or pay for the travelling or vacationing public and being comprised of not more than four (4) units.
- 2.152 **TOURIST TRAILER** means any vehicle so constructed that it is suitable for being attached to a motor vehicle for the purpose of being drawn or propelled by the motor vehicle, notwithstanding that such vehicle is jacked up or that its running gear is removed, but not including any vehicle unless it is used for the living, sleeping or eating accommodation of persons therein.

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- 2.153 **TRANSPORTATION TERMINAL** means the use of land, buildings or structures for the purpose of storing, servicing, repairing, loading, or leasing trucks, transport trailers and/or buses, but does not include automobile service stations or transportation sales or rental outlets.
- 2.154 **USE** means the purpose for which a lot or building or a structure or any combination thereof is designed, constructed, arranged, occupied or maintained.
- 2.155 **WAREHOUSE** means a building or part thereof, which is used primarily for the housing, storage, adapting for sale, package or wholesale distribution of goods, wares, merchandise, food stuff substances, articles and the like, but does not include a fuel storage tank or a transportation terminal.
- 2.156 **WASTE DISPOSAL SITE** means a place where garbage, refuse or domestic or industrial waste is disposed of or dumped and which is approved by The Ministry of Environment pursuant to the provisions of The Environmental Protection Act, R.S.O. 1970, and amendments thereto.
- 2.157 **WASTE TRANSFER STATION** means any land, building, or structure where waste is temporarily stored or sorted prior to shipment to its final destination.
- 2.158 **WELFARE INSTITUTION** means any land, building or structure, or part thereof, used by any Government organization, group or association as defined in The Child Welfare Act, R.S.O. 1970, Chapter 64 and amendments thereto.
- 2.159 **WHOLESALE USE** means any establishment in which goods, services, wares, merchandise, substances, articles, or things are offered or kept for sale or rent by wholesale to others for resale and to industrial and commercial users.
- 2.160 **YARD** means an open area of land other than a court on the same lot with a main building or structure, unoccupied and unobstructed except as otherwise provided or required by this By-law and located between the main wall of the main building and one of the lot lines of the said lot.
- 2.160.1 **YARD, EXTERIOR SIDE** means the side yard of a corner lot, which side yard extends from the front yard to the rear yard between the side lot line abutting a street and the nearest main wall of any main building or structure.

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- 2.160.2 **YARD, FRONT** means a yard extending across the full width of the lot between the front lot line and the nearest main wall of the main building or structure on the lot.
- 2.160.3 **YARD, INTERIOR SIDE** means a side yard other than an exterior side yard.
- 2.160.4 **YARD, MINIMUM FRONT** means the minimum depth of front yard on a lot between the front lot line and the nearest wall of any building or structure on the lot.
- 2.160.5 **YARD, MINIMUM REAR** means the minimum depth of a rear yard on a lot between the rear lot line and the nearest wall of any main building or structure on the lot, or in a case where a forced road bisects the lot, the edge of such road and the nearest wall of any main building or structure on the lot.
- 2.160.6 **YARD, MINIMUM SIDE** means the minimum width of a side yard on a lot between a side lot line and the nearest wall of any main building or structure on the lot.
- 2.160.7 **YARD, REAR** means a yard extending across the full width of the lot between the rear lot line and the nearest main wall of the main building on such lot, or in a case where a forced road bisects the lot, the edge of such road and the nearest main wall of the main building on such lot.
- 2.160.8 **YARD, SIDE** means a yard between the nearest main wall of the main building or structure and the side lot line extending from the front yard (or front lot line if no front is required) to the rear yard (or rear lot line if no rear yard is required).
- 2.161 **ZONE** means an area within which, in accordance with the provisions of this By-law, certain uses of lands, buildings and structures are permitted and certain others are prohibited, where yards and other open spaces are required, where lot areas, building height limits and other requirements are established, all of the foregoing being identical for the zone and district in which they apply.
- 2,162 **ZONE, PRIVACY** means an area within the minimum yard depth in which communal activities are discouraged, or prevented by means of surface finishing, landscaping or physical barriers.

DEFINITIONS

GENERAL PROVISIONS

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SECTION 3 - GENERAL PROVISIONS

- 3.1 The provisions of this section apply in all zones except as may be indicated otherwise. **APPLICATION**
- 3.1.1 Where the lot area of a lot is reduced by means of an acquisition, by expropriation or otherwise, of part of the lot by a public agency for the purpose of providing a public service, nothing in this By-law shall apply to prevent the continued use of such lot as reduced, for the same purpose, or the erection, alteration or use of a building or structure thereon, as if no such acquisition had taken place, provided that: **LOTS REDUCED BY PUBLIC ACQUISITION**
- i) no Health Unit or other regulations pursuant to The Environmental Protection Act, R.S.O. 1990, Chapter E.19, are contravened;
 - ii) such lot as reduced is accessible to vehicular traffic from an open public road either directly or via registered access;
 - iii) no change is made to such lot or to any building or structure thereon, subsequent to the date of the said acquisition, that would increase the degree of any non-conformity resulting from such acquisition or that would contravene any other provision hereof, and
 - iv) this provision is not construed as mitigating or legalizing any non-conformity or contravention pertaining to such lot prior to the date of such acquisition.
- 3.2 All lots created after the date of the passing of this By-law shall front on and have access to an opened public road or highway which is presently being maintained by the Municipality or the Province of Ontario. **LOTS TO FRONT ON PUBLIC ROADS**
- 3.2.1 No person shall erect or use or cause to be erected or used any building or structure in any zone unless the lot upon which such building or structure is to be erected or used fronts upon an open public road or highway, provided that a building or structure may be erected or used on an existing separate parcel of record which does not front on an opened public road or highway, but which existing separate parcel of record does have **(SECTION 20 BY-LAW NO. 171-81)**

registered access to an opened public road or highway.

3.3 The provisions of this By-law shall not apply **PUBLIC USES PERMITTED** to the use of any land or to the erection or use of any building or structure for the purpose of public service by the Municipality, local board, school board, public utility, department of the Government of Canada or the Province of Ontario, any Crown Corporation or the public infrastructure of a telecommunications company regulated by the CRTC, provided that:

3.3.1 The lot coverage, setback and yard regulations prescribed for the zone in which such land, building or structure is located are complied with.

3.3.2 No goods, material or equipment are stored in the open in a Residential Zone or in a lot adjacent to a Residential Zone.

3.3.3 Any building erected in a Residential Zone or in a Rural Zone under the authority of this paragraph is designed and maintained in general harmony with the residential buildings of the type permitted in the zone.

3.3.4 Any building erected in a Residential Zone or in a Rural Zone under the authority of this paragraph is not to be used for the purposes of an office.

3.3.5 Any lot used in a Residential Zone or in a Rural Zone under the authority of this paragraph shall be landscaped in general harmony with the surrounding properties, and

3.3.6 Any parking and loading regulations prescribed for the use of the land, building or structure are complied with.

3.4 Notwithstanding any other provisions of this By-law, uses such as a construction camp or other such temporary work camp, a tool shed, scaffold, or other building or structure incidental to the construction shall be permitted provided that:

**TEMPORARY
CONSTRUCTION
USES PERMITTED**

3.4.1 such uses, buildings or structures are used only as long as same are necessary for work in progress which has neither been finished nor abandoned, and

3.4.2 such uses, buildings or structures are removed when the work in connection with which they were constructed is terminated.

- 3.5 Where a building or structure was erected prior to the date of passing of this By-law and is used for a purpose not permitted in the use zone in which it is situated, but is a legal non-conforming use, the said building or structure may be reconstructed, repaired or renovated provided that:
- EXISTING BUILDINGS WHICH DO NOT CONFORM TO USE ZONES**
- 3.5.1 the repair or renovation does not include any alteration of use and the building or structure continues to be used for the same purpose, and
- 3.5.2 the cost of reconstruction, repairing or renovation of any building does not exceed 75% of its undamaged market value, otherwise it shall only be restored in conformity with the regulations on the zone in which it is located.
- 3.6 Where a building or structure was erected prior to the date of passing of this By-law, on a lot having less than the minimum frontage or depth or area or having less than the minimum setback or side yard or rear yard or minimum usable open space required by this By-law, but is a legal non-complying use, the said building may be enlarged, reconstructed, repaired or renovated provided that:
- EXISTING BUILDINGS HAVING LESS THAN MINIMUM LOT OR YARD REQUIREMENTS**
- 3.6.1 the enlargement, reconstruction, repair or renovation does not further reduce such front yard or side yard or rear yard or usable open space having less than the minimum required by this By-law, and
- 3.6.2 the height of the existing legal non-complying use is not increased except where the required side yards are available.
- 3.7 Development may be permitted on a vacant lot in a residential zone having less than the minimum frontage, but not less than nine (9) metres frontage or the area required by this by-law, provided that such a lot was legally registered and existing on August 31, 1980, and provided the development meets all other requirements of this by-law.
- EXISTING UNDERSIZED LOTS**
- 3.8 In any Zone where undeveloped lots exist between developed lots, said lots being within the same block and fronting on the same street, the minimum front yard may be reduced in accordance with the following provisions:

- a) Where one or two lots exist between existing buildings on abutting lots, the minimum front yard may be equal to the average front yards of the existing buildings, provided that this depth is not less than three (3) metres from the front lot line, but it need not be greater than the front yard required for the zone in which the lot is located.
- b) Where more than two lots exist between existing buildings on abutting lots, the minimum front yard for dwellings on lots adjacent to said existing buildings may be the average of the required front yard and the actual front yard of the said adjacent building, and for all other lots the minimum front yard shall be as required for the zone in which the lot is located.
- 3.9 Where in this By-law, a front, side or rear yard is required, any part of the area of the lot is covered by water or marsh for more than two months in the year, or is beyond the rim of a riverbank or watercourse, or between the top and toe of a cliff or embankment having a slope of thirty (30) degrees or more from the horizontal, then the required yard shall be measured from the nearest main wall of the main building or structure on the lot to the edge of said area covered by water or marsh, or to the rim of said river bank or watercourse, or to the top or toe of the said cliff or embankment if such area is closer than the lot line.
- 3.10 The height regulations in this By-law shall not apply to church spires, water tanks, elevator enclosures, flagpoles, television or radio antennae, ventilators, skylights or chimneys.
- 3.11 Where a side lot line abuts a three-tenths (.3) metre reserve, no portion of any buildings or structures above or below grade shall be located closer than six (6) metres to the said reserve.
- 3.12 Where a flankage lot line abuts a three-tenths (.3) metre reserve, no attached or detached private garage shall be located in the exterior side yard and no portion of any driveway shall be located closer than fifteen (15) metres to the intersection of the two (2) street lines or their projections.
- CONFORMITY WITH EXISTING SETBACKS**
- YARD EXCEPTION**
- EXCEPTION TO HEIGHT REGULATIONS**
- THREE-TENTHS METRE RESERVE SETBACK**
- THREE-TENTHS METRE RESERVE PRIVATE GARAGE SETBACK**

- 3.13 Where a building or structure is located adjacent to a Provincial Highway, setbacks shall be provided and maintained in accordance with the requirements of the Provincial Ministry of Transportation. **SETBACKS ON PROVINCIAL HIGHWAYS**
- 3.14 On any corner lot in any zone, no sign, fence or shrubs with a height exceeding sixty-one (61) centimetres above the grade of the road shall be erected within the triangular space measured: **DAYLIGHT CORNERS**
- a) along the street lines for a distance of nine (9) metres from their point of intersection;
 - b) along a street line and a railway right-of-way for a distance of thirty (30) metres from their point of intersection;
 - c) notwithstanding subsections (a) and (b), a chain link fence may be permitted in the triangles described in subsection (a) if:
 - i) its posts are not more than eight (8) centimetres in diameter;
 - ii) it is made of wire having a maximum gauge of twenty-four (24) and a minimum mesh of five (5) centimetres.
- This section does not apply to trees if such trees are kept trimmed so that no foliage hangs or grows below the height of two (2) metres above the crown of the adjacent street.
- 3.15 No opening of a detached private garage located in the rear yard of any corner lot shall be located closer than 4.5 metres to the street line, and no attached private garage with its doors facing the flankage street shall be located closer than 4.5 metres to the street line, and no portion of any driveway shall be located closer than nine (9) metres to the intersections of the two street lines or their projections. **CORNER LOT PRIVATE GARAGE**
- 3.16 No signs, billboards, or posters shall be erected in any zone unless it conforms to the City of North Bay Sign By-law as amended. **SIGNS**
- 3.17 Every part of any yard required by this By-law shall be open and unobstructed by any structure from the ground to the sky provided that fences and hedges shall be permitted, in accordance **PERMITTED ENCROACHMENTS IN YARDS**

with the provisions of Section 3.14 of this By-law, and that those structures listed in the following table shall be permitted to project into the minimum yards indicated for the distances specified:

Structure	Yards In Which Projection Is Permitted	Maximum Projection From Main Wall Permitted
3.17.1 Sills, Belt Courses, Cornices, Eaves or Canopies Gutters, Chimneys or Pilasters	Any Yard	61 centimetres
3.17.2 Fire Escapes and Exterior Staircases	Rear and Exterior Side Yards only	1.8 metres
3.17.3 Window Bays	Front, Rear and Exterior Side Yards only	1 metre over a maximum width of 3 metres.
3.17.4 Balconies	Front, Rear and Exterior Side Yards Only for Single Detached, Semi-detached, Duplex, Triplex, and Double Duplex Dwellings, any Yard for other Residential Buildings	1.8 metres
3.17.5 Open Roofed Porches not exceeding one storey in height, Uncovered terraces, decks.	Front and Rear Yards only	3.0 metres including eaves and cornices
3.17.6 Landscape features including decks under 0.3 metres in height.	Any Yard	

- 3.18 Enclosures to any porch or terrace permitted by the above subsection of this By-law shall be limited to one (1) metre in height exclusive of roof supports, but this shall not prohibit the enclosure of a porch or terrace by latticing or screening or any other form of enclosure which permits 50% air to pass through at all times. **ENCLOSURES**
- 3.19 The making or establishment of pits and quarries is prohibited in the Municipality except as provided in a zone for this purpose. **PITS AND QUARRIES**
- 3.20 No truck, truck trailer, bus, streetcar or coach body shall be used for human habitation within the Municipality, whether or not the same is mounted on wheels. **TRUCK, BUS AND COACH BODIES**
- 3.21 The locating of mobile homes and mobile home parks is prohibited within the city, except as provided in a specific zone for this purpose in which Regulations for development have been set. **MOBILE HOMES**
- 3.22 No tourist trailer shall be used for any of the following purposes: living, sleeping or eating accommodation within the city for a period of more than ninety (90) days in any ten (10) consecutive month period, except in an authorized Seasonal Tent and Trailer Park established and operated in conformity with the City of North Bay Seasonal Tent and Trailer Park By-law No. 126-76 as amended and any successor thereto. **TOURIST TRAILERS**
- 3.23 No Camping Establishment may be established in any zone, except as provided for in a specific zone for that purpose, and unless it conforms to the City of North Bay Seasonal Tent and Trailer By-law No. 126-76 as amended from time to time and the Licencing By-law No. 131-74 as amended from time to time. **CAMPING ESTABLISHMENTS**
- 3.24 No cellar or part of a cellar of any building shall be used as a dwelling unit except in accordance with subsection 5.13.6 of this By-law. **CELLAR**
- 3.25 No building shall be occupied before the main side walls and roof have been erected and the external siding and roofing have been completed, and where applicable, kitchen, water, heating and sanitary facilities have been installed and are in satisfactory working order. **OCCUPANCY OF INCOMPLETE BUILDINGS**

3.26 Accessory buildings, uses or structures are permitted in any yard, in any zone, subject to the provisions of this By-law for the particular zone in which said building, use or structure is located, and subject to the following provisions applying to each such accessory building, use or structure:

3.26.1 It shall not be used for human habitation, except where a dwelling is a permitted accessory use.

3.26.2 It shall not be built closer to the front lot line or side lot line than the minimum distance required by this by-law for the main building on the lot. In the case of a front or exterior side yard, it shall not be built closer to the street than the minimum distance required by this by-law for the main building on the lot or it shall not be built closer to the street than the main building is to the street, whichever is the lessor.

**ACCESSORY
BUILDINGS, USES
OR STRUCTURES**

3.26.3 It shall not be built closer than sixty-one (61) centimetres to any lot line except:

3.26.3.1 that common semi-detached private garages may be centered in the mutual lot line;

3.26.3.2 that where a lot line abuts a public lane, an accessory building may be located not less than sixty-one (61) centimetres from said lane;

3.26.3.3 that boathouses and boat docks may be built to the front lot line when said lot line abuts a body of water, but must not be located closer than a minimum distance of one and eight-tenths (1.8) metres to any side lot line;

3.26.3.4 where an external building opening faces a side or rear lot line, the setback to said lot line shall be not less than one and two-tenths (1.2) metres.

- 3.26.4 It shall not exceed ten (10) percent coverage of the total lot area, and shall not exceed one storey or four and one-tenths (4.1) metres in height, whichever is lesser.
- 3.26.5 It shall not be built within one and two-tenths (1.2) metres of the main building.
- 3.26.6 It shall not be considered an accessory building or structure if attached to the main building in any way.
- 3.26.7 It shall not be considered an accessory building or structure if located completely underground.
- 3.26.8 Where a forced road bisects a property an accessory building shall not be built within five (5) metres of the edge of the road.
- 3.26.9.1 No person shall erect, use, maintain, or re-erect a satellite dish antennae except in a rear yard, provided that:
- a) any edge of such antennae shall not be located closer to any side or rear lot line than a distance equal to the diameter of the dish;
 - b) the dish antenna shall not be higher than the main building on the property on which the dish is situate, and
 - c) a maximum of one (1) satellite dish antenna shall be permitted per lot.
- 3.26.9.2 No person shall erect, use, maintain or re-erect a satellite dish antenna in the front yard of any lot that abuts Lake Nipissing except in accordance with the following provisions:
- a) any edge of the antenna shall not be located closer to the side lot line than a distance equal to the setback for the main building or the diameter of the dish antenna, whichever is greater;
- ACCESSORY
BUILDINGS,
USES OR
STRUCTURES
(Cont'd)**

b) any edge of the antenna shall not be located farther than a distance equal to two times the diameter of the dish from the main wall of the main building on the property on which the dish is situate;

c) the dish antenna shall not be higher than the main building on the property on which the dish is situate, and

ACCESSORY
BUILDINGS,
USES OR
STRUCTURES
(Cont'd)

d) a maximum of one (1) satellite dish antenna shall be permitted per lot.

3.26.10 Where a private swimming pool is constructed as an accessory use to any principal residential or commercial use, no part of it shall be located closer than one and five-tenths (1.5) metres to any rear lot line, side lot line or main building and shall be properly fenced in conformity with the City of North Bay Private Swimming Pool Fence By-law.

a) All pool pump and filtering equipment shall be in an enclosed structure.

3.26.11 Where properties with lake or river frontage exist in the Urban and Rural zones, accessory buildings in the front yard shall be permitted in accordance with the following regulations:

a) the accessory building or structure shall not exceed ten (10) square metres in floor area, and shall not exceed three (3) metres in height above grade;

b) the accessory building or structure shall meet the minimum side yard required for the main building on the same lot;

c) the accessory building or structure may be elevated on blocks or piers to a maximum height of three-tenths (0.3) of a metre so that existing natural drainage is not disturbed or altered;

d) the floor of the accessory building or structure shall be located above the minimum Canadian Geodetic Datum flood elevation as determined by the appropriate authority, and

- e) only one accessory building or structure shall be constructed or maintained on a lot.

3.27 Subject to Section 3.27.3 of this By-law, no person shall construct or cause to be constructed, a building, unless there is provided on the same lot as such building is located, the minimum number of automobile parking spaces set out in the following table for each type of building:

<u>a) TYPE OF BUILDING</u>	<u>MINIMUM PARKING REQUIRED</u>
For each Dwelling Unit in a Single Detached Dwelling Unit, Semi-Detached, Duplex, Triplex, or Double-Duplex.	Two (2) parking spaces.
b) For each Dwelling Unit in a Multiple Dwelling, Maisonette Row House, Apartment or a Building containing both Commercial and Residential Uses.	One and one-half (1-1/2) parking spaces. (Section 45, By-law No. 165-80)

**PARKING
REGULATIONS**

Twenty percent of the required parking spaces on-site shall be designated exclusively for visitor parking.

- b) i) An apartment building, flat or other building containing three or more dwelling units erected, maintained and operated by the North Bay Housing Authority, Ontario Housing Corporation, or any Department or Ministry of the Federal or Provincial Government, or Agency or Corporate Agent thereof, or any person through any scheme under the Housing Development Act, R.S.O. 1960, One (1) space for each four (4) dwelling units or part thereof.

TYPE OF BUILDING

MINIMUM PARKING REQUIRED

- b) i) (Cont'd)
Chapter 182 or similar legislation, or any joint venture pursuant to that Act, provided occupancy of such accommodation is restricted to persons 65 years of age and over.
- c) An office. One (1) parking space for each twenty-eight (28) square metres of commercial floor space in the building.
- d) Auditorium, arena, hall, restaurant, theatre, club, stadium, and other places of assembly. Where there are fixed seats, one (1) parking space for every five (5) seats or three (3) metres of bench space of its maximum seating capacity. Where there are no fixed seats, one (1) parking space for each nine (9) square metres of floor area devoted to public use.
- e) Hospital, welfare institution, nursing home, sanitorium. One (1) parking space for each two (2) beds or each thirty-seven (37) square metres of floor area, whichever is greater.
- f) Elementary Public and Separate schools. One (1) parking space for each teaching staff member.
- g) High schools. One (1) parking space for teaching staff member plus twenty-five (25) additional parking spaces for student parking. **PARKING REGULATIONS (Cont'd)**
- h) Libraries Minimum ten (10) parking spaces or one (1) space per ninety-three (93) square metres of building floor space, whichever is greater.

<u>TYPE OF BUILDING</u>	<u>MINIMUM PARKING REQUIRED</u>	<u>PARKING REGULATIONS</u>
i) Government Buildings.	One (1) parking space for each four (4) employees, plus a parking area for visitors with a minimum capacity of ten (10) parking spaces or one (1) space per two hundred and seventy-nine (279) square metres of building floor space, whichever is greater.	(Cont'd)
j) Hotels and motels, taverns and tourist cabins	One (1) parking space for each guest room or motel suite plus one (1) parking space for each nine (9) square metres of floor area of the building devoted to public use.	
k) Rooming houses and boarding houses.	One (1) parking space for every two (2) rooms rented to roomers or boarders.	
l) Funeral homes.	One (1) parking space for each five (5) seat capacity of the chapel with a minimum of ten (10) parking spaces.	
m) Animal hospitals.	One (1) parking space for each twenty-eight (28) square metres of floor space in the building.	
n) Bowling alleys and curling rinks.	One (1) parking space for each two (2) persons in the designed capacity of the establishment (design capacity shall mean six (6) persons per bowling lane, and eight (8) persons per curling sheet) in addition to the requirements for the rest of the building. In addition, parking spaces shall be provided for other parts of the building in accordance with the requirements set out in this By-law for the use to which the said other parts of the building may be used.	

<u>TYPE OF BUILDING</u>	<u>MINIMUM PARKING REQUIRED</u>	<u>PARKING REGULATIONS</u>
o) Industrial establishments.	One (1) parking space for each ninety-three (93) square metres of building floor space on the lot.	(Cont'd)
p) Place of Worship	One (1) parking space for every ten (10) seats or six (6) metres of bench space of its maximum seating capacity.	
q) Any commercial use in a neighbourhood commercial zone, except those uses specifically listed elsewhere in this section.	One (1) parking space for each eighteen and six-tenths (18.6) square metres of commercial floor space of the building.	
r) Any commercial use in a Regional Shopping Centre zone or a District Commercial zone, except those uses specifically listed elsewhere in this section.	One (1) parking space for each eighteen and six-tenths (18.6) square metres of commercial floor space of the building.	
s) Any commercial use in a highway or tourist Commercial zone, except those uses specifically listed elsewhere.	One (1) parking space for each eighteen and six-tenths (18.6) square metres of commercial ground floor space of the building.	
t) For each tent space or trailer space in a camp or trailer court.	One (1) parking space.	
u) For each mobile home lot in a mobile home park.	One (1) parking space.	
v) All other commercial uses.	One (1) parking space for each twenty-eight (28) square metres of commercial floor space.	
w) Any use in an Industrial Business Park zone, except those uses specifically listed elsewhere.	One (1) parking space for each fifty-six (56) square metres of building floor space on the lot.	

- 3.27.1 Each automobile parking space required by this By-law shall have access to a street or public lane unobstructed by any other parking space.
- 3.27.2 Where there is a combination of uses in any building, the minimum number of automobile parking spaces shall be the aggregate of the number required for each type of building.
- 3.27.3 No person shall construct, or cause to be constructed, a building in a General Commercial Inner Core (C1) zone or a General Commercial Outer Core (C2) zone unless there is provided within one hundred and fifty-two (152) metres of such building the minimum number of automobile parking spaces set out in the following table for each type of building:

a) <u>TYPE OF BUILDING</u>	<u>MINIMUM PARKING REQUIRED</u>	<u>PARKING REGULATIONS (Cont'd)</u>
Apartment building, flat or other building containing three or more dwelling units where dwelling units form part of a retail or commercial development.	One (1) parking space per unit.	
b) Apartment building, flat or other building containing three or more dwelling units erected, maintained and operated by the North Bay Housing Authority, Ontario Housing Corporation, or any department of the Federal or Provincial Government or agency or corporate agent thereof, or any person through any scheme under The Housing Development Act, R.S.O. 1960, Chapter 182, or similar legislation, or any joint venture pursuant to that Act, provided occupancy of such accommodation is restricted to persons 65 years of age or over.	One (1) space for each six (6) dwelling units or part thereof.	

<u>TYPE OF BUILDING</u>	<u>MINIMUM PARKING REQUIRED</u>	
c) General retail stores, general offices, local retail stores, motor vehicle service establishments, personal services premises, professional offices, service shops, automobile service stations, banks, financial institutions and food stores.	One (1) parking space for every fifty-six (56) square metres of total (gross) floor area devoted to said use.	PARKING REGULATIONS (Cont'd)
d) Places of entertainment, funeral homes, taverns, open air markets, places of worship.	One (1) parking space for every fifty-six (56) square metres of total (gross) floor area devoted to said use.	
e) Bus stations, wholesale uses, retail furniture shops.	One (1) parking space for every fifty-six (56) square metres of total (gross) floor area devoted to said use.	
f) Restaurant.	One (1) parking space for every fifty-six (56) square metres of total (gross) floor area devoted to said use.	
g) Hotels, motels.	One (1) parking space for every fifty-six (56) square metres of total (gross) floor area devoted to said use.	
h) Any combination of above uses.	Except where specific provisions to the contrary are hereinbefore contained, the aggregate of the parking spaces required with respect to the above uses as determined by this Schedule.	

Provided that where residential accommodation is included in any of the above types of buildings, twenty-five percent (25%) of the minimum number of automobile parking spaces shall be on the same lot as the building containing the residential accommodation, and

Further provided that the off-site parking spaces required for the buildings are situate on land owned by the owner of the building or are on lands leased by the owner of the building, which lease is binding and irrevocable for a term of at least fifty (50) years, is registered

against the subject lands and include the City as a party for the purpose of notice of any changes in ownership of the dominant or subservient lands and for enforcement of the terms thereof, failing which, cash in lieu of parking compensation shall be payable by the subservient lands and may be collected in like manner as municipal taxes against land, forthwith upon demand.

**PARKING
REGULATIONS
(Cont'd)**

3.27.4 For the purposes of calculation of the required number of parking spaces in an institutional, industrial or commercial zone, the total gross floor area will be measured less 20% to accommodate elevators, stairwells, hallways, storage and mechanical rooms, etc.

3.27.5	<u>Capacity of Public Parking Area (number of parking spaces)</u>	<u>Minimum Number of Spaces to be Reserved for Physically Disabled Persons</u>
	1-19	0
	20-99	1
	100-199	2
	200-299	3
	300-399	4
	400-499	5
	500 and more	6

The reserved parking spaces referred to in Subsection 3.27.5 shall be:

- a) of a width,
 - i) of three and sixty-six one hundredths (3.66) metres each, or
 - ii) as specified on a Site Plan Control Agreement;
- b) of a length to be of the same length as the other parking spaces in the same parking facility;
- c) hard surfaced;
- d) level;
- e) located so as to be accessible to disabled persons via ramps, depressed curbs or other appropriate means and so placed as to permit easy access by such persons to or from a motor vehicle parked therein, and
- f) identified by authorized signs as prescribed herein.

DISABLED PARKING

The authorized sign to designate a disabled person's space shall be at least .3 metres wide and .45 metres in height and displayed as symbols in appropriate colours, to the satisfaction of the Municipality.

- 3.28 No person shall use any lot in any zone for the parking or storage of any vehicle that does not have a current licence plate, except that one such vehicle may be stored inside a private garage in a Rural Residential or Residential zone, and any number of such vehicles may be stored within a building in a Commercial or Industrial zone and up to four such vehicles may be stored in a Rural "A" zone where fully screened from view from a public roadway. **PARKING OF MOTOR VEHICLES WITHOUT CURRENT LICENCE PLATES (Section 46 By-law No. 165-80)**
- 3.29 Where parking areas of more than four (4) vehicles are required:
- 3.29.1 Adequate drainage facilities shall be provided and maintained.
- 3.29.2 The parking area shall be maintained with a stable surface treated to prevent the raising of dust or loose particles. **STANDARDS FOR PARKING AREAS**
- 3.29.3 The parking area shall be defined by a fence, curb, or other suitable obstruction designed to provide a neat appearance, but not to be located so as to obstruct sight distance.
- 3.29.4 The lights used for illumination of the parking area shall be arranged to direct the light away from adjacent lots.
- 3.29.5 A structure of not more than three (3) metres in height and not more than four and six-tenths (4.6) square metres in area may be erected in accordance with Section 3.26 in a parking area for the use of attendants.
- 3.29.6 No sign other than directional signs and a sign indicating the name of the owner, not exceeding eight hundred and thirty-six (836) square centimetres in size, shall be erected on any parking area or parking lot. **(Section 47 By-law No. 165-80)**
- 3.29.7 The parking area for a specific use shall be within one hundred and fifty-two (152) metres of the use which it is intended to serve, and shall be situated in the same zone.

3.29.8 No gasoline pump or other service station equipment shall be located or maintained in any parking area. **STANDARDS FOR PARKING AREAS (Cont'd)**

3.29.9 Each automobile parking space shall have a:

- a) minimum area of twelve and four-tenths (12.4) square metres;
- b) minimum length of four and eight-tenths (4.8) metres, and for parallel parking five and five-tenths (5.5) metres, and
- c) minimum width of two and six-tenths (2.6) metres, and for parallel parking two and six-tenths (2.6) metres.

3.29.10 Each commercial vehicle parking space shall have a:

- a) Minimum area of twenty-eight (28) square metres;
- b) minimum width of three and six-tenths (3.6) metres;
- c) minimum length of seven and six-tenths (7.6) metres.

DEFINITIONS

3.29.11 Aisle space for access to parking spaces shall have minimum widths of:

- a) Six (6) metres for a 90° turn;
- b) five and one-tenths (5.1) metres for a 60° turn;
- c) three and three-tenths (3.3) metres for a 45° turn;
- d) three (3) metres for a 37° turn;
- e) three (3) metres for a 30° turn;
- f) three (3) metres for parallel parking.

3.30 No person shall erect or cause the erection or use of any building or structure in any zone for any Commercial or Industrial purpose involving the movement of goods or persons unless loading spaces are provided and maintained as follows: **LOADING SPACES**

- 3.30.1 Except where the total floor area is less than two hundred and seventy-nine (279) square metres, one (1) loading space shall be required for every one thousand, eight hundred and sixty (1,860) square metres or fraction thereof of the total floor area.
 - 3.30.2 Each loading space shall be not less than three and six-tenths (3.6) metres by thirteen and seven-tenths (13.7) metres.
 - 3.30.3 Each loading space shall have not less than four (4) metres in height for clearance.
 - 3.30.4 No more than six (6) loading spaces shall be permitted in any loading area.
 - 3.30.5 There shall be sufficient driveway space to permit manoeuvring of vehicles on the lot so as not to cause an obstruction or a hazardous condition on adjacent streets.
- 3.31 Where loading spaces are required:
- 3.31.1 Adequate drainage facilities shall be provided and maintained.
 - 3.31.2 The loading space and approaches shall be maintained with a stable surface treated to prevent the raising of dust or loose particles.
 - 3.31.3 The lights used for illumination of the loading space shall be so arranged as to direct the light away from adjacent lots.
- 3.32 In any Commercial or Industrial zone satisfactory access from a street to a side yard or a rear yard shall be provided for all commercial buildings to permit the carrying of goods and supplies, except those buildings which are less than two hundred and seventy-nine (279) square metres in area.
- 3.33 Where loading spaces or parking areas for more than four (4) vehicles are required:
- 3.33.1 No more than two (2) entrance or exit ramps for vehicular traffic

LOADING SPACES

STANDARDS FOR LOADING SPACES

ACCESS REQUIREMENT

STANDARDS FOR ENTRANCE AND EXIT

shall be provided and each such ramp shall have a width of at least seven and six-tenths (7.6) metres.

3.33.2 A driveway leading to any parking or loading area shall have a minimum width of three and six-tenths (3.6) metres for one-way traffic, and a minimum width of seven and three-tenths (7.3) metres for two-way traffic.

3.33.3 A driveway leading to any parking area or loading area shall be defined by a curb of concrete or rolled asphalt.

**STANDARDS FOR
ENTRANCE AND
EXIT**

3.34 Where a lot in any Commercial or Industrial zone fronts on a street opposite a Residential or Rural zone, or abuts a Residential or Rural zone, the following amenities are required:

**AMENITY
REQUIREMENTS
(ANY COMMERCIAL
OR INDUSTRIAL
ZONE)**

- a) The front yard and a strip of land, not less than three (3) metres in width along the side and rear lot lines within a Commercial zone and seven and six-tenths (7.6) metres in width along the side and rear lot lines within an Industrial zone and adjacent to the Residential or Rural zone, shall be adequately landscaped except where used for entrances and exits;
- b) no employee or visitor parking spaces, loading spaces or outside storage is permitted in the front yard or side yard adjacent to the Residential or Rural zone;
- c) outside storage is prohibited in any yard adjacent to the Residential zone, and
- d) exterior lighting and illuminated signs shall be so arranged as to direct light away from the adjacent Residential or Rural zone.

3.35 No outside storage is permitted in any front yard in any zone.

**OUTSIDE STORAGE
PROHIBITED**

3.36 Where a home-based business or professional office is permitted in a Rural zone or a Residential zone, the said use shall be maintained in accordance with the following provisions:

**HOME-BASED BUSINESS
OR PROFESSIONAL
OFFICES**

- 3.36.1 The profession or home-based business shall be carried on by a member of the family residing on the premises.
- 3.36.2 Not more than one (1) assistant who is not a resident in said dwelling may operate in or from said dwelling. **HOME-BASED BUSINESS OR PROFESSIONAL OFFICES**
- 3.36.3 The area occupied by all the home-based businesses within any one dwelling unit shall not exceed a cumulative total of 46.5 square metres in gross floor area, or 30% of the gross floor area of the dwelling unit, whichever is lesser.
- 3.36.4 Any plate or sign shall be attached and parallel to the main wall of the building in accordance with the City of North Bay Sign By-law as amended.
- 3.36.5 One (1) off-street parking space shall be provided for each twenty-three (23) square metres of floor area devoted to said use in addition to that required for the dwelling.
- 3.36.6 The residential character of the dwelling shall not be changed.
- 3.36.7 The home-based business or profession shall not cause a nuisance because of noise, fumes, dust, odor, traffic, or otherwise interfere with the enjoyment of the residential amenities of the neighbourhood.
- 3.36.8 There shall be no outside storage or display of materials, containers or finished products, and no mechanical equipment used except that of a type used for housekeeping purposes or recreational hobbies.
- 3.36.9 In the rural zones, a home-based business is permitted in a separate building if,
- i) there is no home-based business in any other structure on the lot;
 - ii) the area occupied by all the home-based businesses in all buildings does not exceed a cumulative total of 46.5 square metres.

3.37 No person shall use any land or erect or use any building or structure for any dangerous trade, except where such use is specifically permitted in this By-law. **DANGEROUS TRADES RESTRICTED**

3.37.1 The following uses shall be prohibited within the City of North Bay:

- i) The boiling of blood, bones, soap or tripe; **PROHIBITED USES**
- ii) refining coal oil or petroleum products;
- iii) extracting oil from fish or animal matter;
- iv) tallow melting;
- v) slaughtering animals, excepting a Rural "A" zone;
- vi) tanning hides or skins;
- vii) manufacturing gas; **(SECTION 48 BY-LAW NO. 165-80)**
- viii) manufacturing or storing of fertilizers from dead animals or from human or animal waste, excepting Rural "A" zone;
- ix) other uses under The Public Health Act or Regulations thereunder declared to be a noxious trade, business or manufacture.

3.38 Pursuant to Section 41 of the Planning Act, R.S.O. 1990 as amended, certain areas of the City with Land Use designations within the following zones are thereby designated as Site Plan Control Areas: **SITE PLAN CONTROL**

(i)	R.4	(viii)	C.1	(xv)	M.1	(xxii)	RMC
(ii)	RM.1	(ix)	C.2	(xvi)	M.2	(xxiii)	RC
(iii)	RM.2	(x)	C.3	(xvii)	M.3	(xxiv)	RME
(iv)	RM.3	(xi)	C.4	(xviii)	M.4		
(v)	RM.4	(xii)	C.5	(xix)	M5		
(vi)	RM.5	(xiii)	C.6	(xx)	MC		
(vii)	RM.6	(xiv)	C.7	(xxi)	MBP		

3.38(a) Those lands on Schedules B-23, B-30, B-31, B-32, B-33, B-34, B-35, B-40, B-41, B-44, B-45, B-50, B-51, B-52, B-53, B-54, B-60, B-61, B-70, B-71, B-80, B-81, B-83, B-90, C-1, C-2, C-3, C-4, C-5, C-6, C-7, C-8, C-9 and C-10 identified by shading are hereby designated as Site Plan Control areas.

3.38(a) 1. No person shall undertake any development in an area designated in Section 3.38(a) without entering into a Site Plan Control Agreement with The City of North Bay.

3.38.1 Pursuant to Section 35(a) of the Planning Act, no person shall undertake any development in an area designated in Section 3.38 of this By-law unless the Council or The Ontario Municipal Board has approved one or both, as the Council may determine, of the following:

- a) Plans showing the location of all buildings and structures to be erected and showing the location of all facilities and works to be provided in conjunction therewith and of all facilities and works required under Clause (a) of Subsection 7 of Section 35(a) of the Planning Act. SITE PLAN CONTROL
- b) Drawings showing plan, elevation and cross section views for each industrial and commercial building to be erected and for each residential building containing twenty-five or more dwelling units to be erected which are sufficient to display:
 - i) The massing and conceptual design of the proposed building;
 - ii) the relationship of the proposed building to adjacent buildings, streets and exterior areas to which members of the public have access, and
 - iii) the provision of interior walkways, stairs, elevators and escalators to which members of the public have access from streets, open spaces and interior walkways in adjacent buildings,

but which exclude the layout of interior areas, other than the interior walkways, stairs, elevators and escalators referred to in clause (c), the colour, texture and type of materials, window detail, construction details, architectural detail and interior design.

3.38.2 As a condition to the approval of the plans and drawings referred to in 3.38.1, the City may require the owner of the land to:

**SITE PLAN
CONTROL**

- a) Provide to the satisfaction of and at no expense to the municipality any or all of the following:
- 1) Widening of highways that abut on the land;
 - 2) subject to The Public Transportation and Highway Improvement Act, facilities to provide access to and from the land such as access ramps and curbings and traffic direction signs;
 - 3) off-street vehicular loading and parking facilities, either covered or uncovered, access driveways, including driveways for emergency vehicles, and the surfacing of such areas and driveways;
 - 4) walkways and walkway ramps, including the surfacing thereof, and all other means of pedestrian access;
 - 5) facilities for the lighting, including floodlighting, of the land or of any buildings or structures thereon;
 - 6) walls, fences, hedges, trees, shrubs or other groundcover or facilities for the landscaping of the lands or the protection of adjoining lands;
 - 7) vaults, central storage and collection areas and other facilities and enclosures for the storage of garbage and other waste material;
 - 8) easements conveyed to the municipality for the construction, maintenance or improvement of watercourses, ditches, land drainage works and sanitary sewerage facilities and other public utilities of the municipality or local board on the land;

- 9) grading or alteration in elevation or contour of the land and provision for the disposal of storm, surface and waste water from the land and from any buildings or structures thereon:

**SITE PLAN
CONTROL**

- 3.38.2 b) maintain to the satisfaction of the municipality and at the sole risk and expense of the owner any or all of the facilities or works mentioned in paragraphs 2, 3, 4, 5, 6, 7, 8 and 9 of clause (a), including the removal of snow from access ramps and driveways, parking and loading areas and walkways;
- c) enter into one or more agreements with the municipality dealing with any or all of the facilities, works or matters mentioned in clause (a) and maintenance thereof as mentioned in clause (b) or with the provision and approval of the plans and drawings referred to in Section 3.38.1.

3.38.3 Notwithstanding the foregoing, the provisions of Subsections 3.38.1 and 3.38.2 shall not apply to the following uses:

- a) Accessory buildings and structures thereto in any Residential zone;
- b) alterations or additions in respect of buildings or structures where the alteration or addition contains less than four hundred and sixty-five (465) square metres of floor space;
- c) signs, and
- d) gasoline storage tanks.

3.39 No fences shall be erected in any zone, except in those zones where they are permitted, unless it is in conformity with the City of North Bay Building By-law as administered by the Managing Director of Community Services Business Unit, the Chief Building Official or such other person as they may designate from time to time.

FENCES

- 3.40 3.40.1 Where a Holding Zone designation is shown on Schedule "B" to this By-law, the land shall not be used for any use other than those uses permitted in the "Rural (A)" zone and and in accordance with the regulations for the "Rural (A)" zone. **HOLDING
ZONE
REGULATIONS**
- 3.40.2 Where a Holding Zone is supplied with, or is being supplied with adequate Municipal services, or has attained or is attaining proper Provincial approval under the provisions of the Planning Act, R.S.O. 1990, as amended, an application may be submitted in conformity with the Official Plan of the North Bay Planning Area to rezone said lands to a zone within the Holding Zone classification shown.

ZONE REQUIREMENTS

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SECTION 4 - ZONE REQUIREMENTS

4.1 For the purposes of this By-law, the City of North Bay is divided into the following land use zones with the following symbols, which symbols shall apply to designate zones as shown on Schedules "B" and "C" attached hereto:

<u>ZONE</u>	<u>SYMBOL</u>
Residential First Density	(R1)
Residential Second Density	(R2)
Residential Third Density	(R3)
Residential Mobile Home Park	(R4)
Residential Multiple First Density	(RM1)
Residential Multiple Second Density	(RM2)
Residential Multiple Third Density	(RM3)
Residential Multiple Fourth Density	(RM4)
Residential Multiple Fifth Density	(RM5)
Residential Multiple Sixth Density	(RM6)
Residential Holding	(RH)
General Commercial (Inner Core)	(C1)
General Commercial (Outer Core)	(C2)
Regional Shopping Centre	(C3)
District Commercial	(C4)
Neighbourhood Commercial	(C5)
Highway Commercial	(C6)
Tourist Commercial	(C7)
Commercial Holding	(CH)
Light Industrial One	(M1)
Light Industrial Two	(M2)
Light Industrial Three	(M3)
Heavy Industrial	(M4)
Restricted Industrial	(M5)
Industrial-Commercial	(MC)
Railway	(MR)
Industrial Holding	(MH)
Industrial Business Park	(MBP)
Open Space	(O)
Institutional	(N)
Rural	(A)
Rural Residential Estate	(RRE)
Rural Residential Cottage	(RRC)
Rural Residential Lakefront	(RRL)
Rural Extractive Industrial	(RME)
Rural Commercial	(RC)
Rural Marine Commercial	(RMC)
Rural Institutional	(RN)
Special Zones	(Sp)

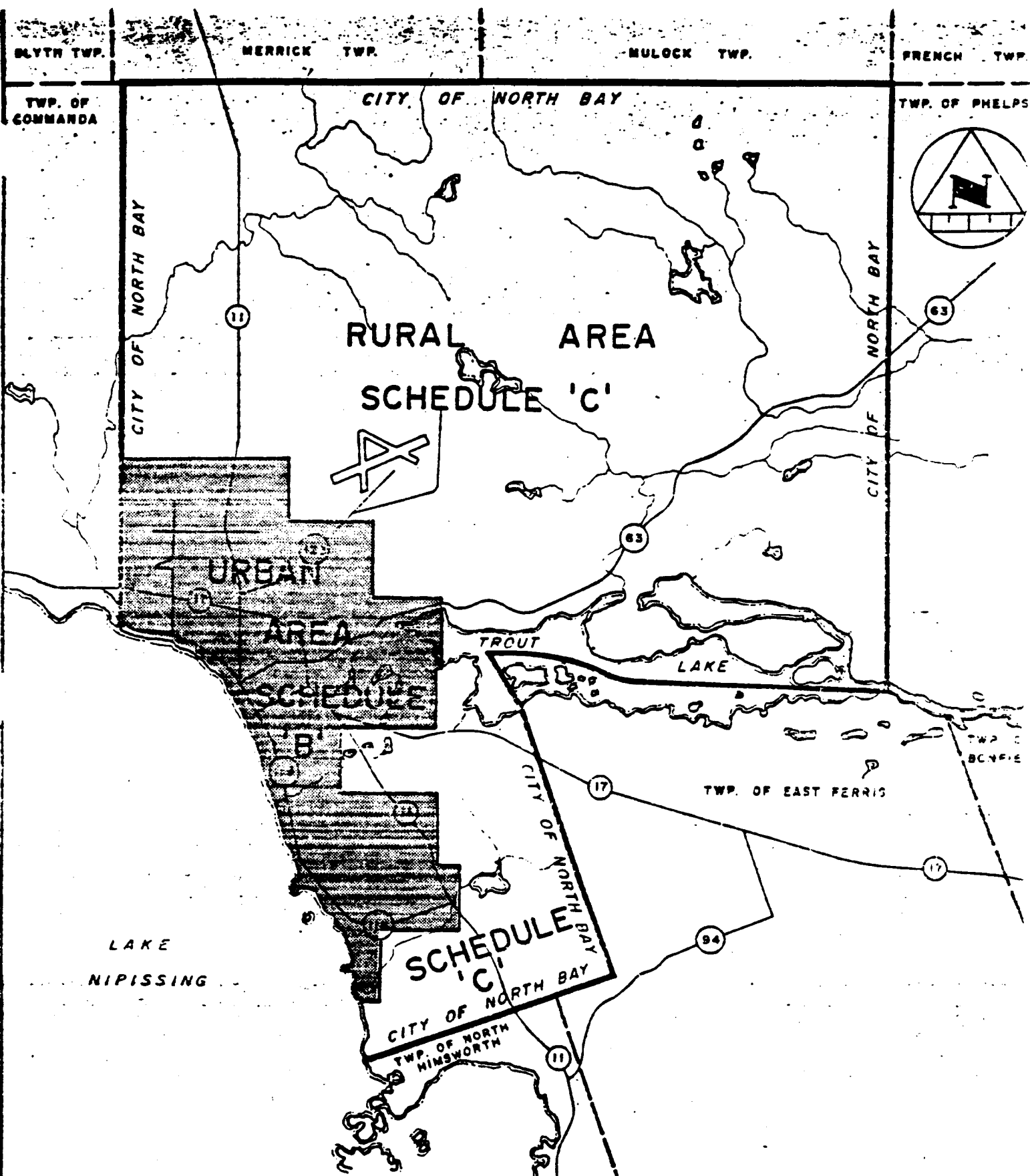
- 4.2 Schedule "A" attached hereto designating the Urban Area and the Rural Area of the City does hereby form a part of this By-law.
- 4.2.1 Schedule "B" attached hereto and the series of Urban Schedules as numbered therein which form a part of Schedule "B" and which are also attached hereto do hereby form a part of this By-law.
- 4.2.2 Schedule "C" attached hereto and the series of Rural Schedules as numbered therein which form a part of Schedule "C" and which are also attached hereto do hereby form a part of this By-law.
- 4.3 The extent and boundaries of all zones are as shown on Schedules "A", "B" and "C", and all such zones are hereby defined as areas to which the provisions of this By-law shall apply. The area enclosed by any zone boundaries, including streets, rights-of-way, and watercourses.
- 4.4 When determining the boundary of any zone as shown on any Schedule forming part of this By-law, the following provisions shall apply:
 - 4.4.1 A boundary indicated as following a highway, street or lane shall be the centreline of such highway, street or lane.
 - 4.4.2 A boundary indicated as following a watercourse, or the right-of-way of a railway or an electrical, gas or oil transmission line shall be the centreline of such watercourse or right-of-way.
 - 4.4.3 A boundary indicated as following the natural shoreline shall follow such natural shoreline, and in the event of a change in the natural shoreline, the boundary shall be construed as moving with the actual natural shoreline.

**ZONING
SCHEDULES**

**DEFINED
ZONE AREAS**

**ZONE
BOUNDARIES**

- 4.4.4 A boundary indicated as approximately following lot lines shown on a Registered Plan of Subdivision, or Reference Plan, or Township lot lines shall follow such lot lines. **ZONE BOUNDARIES**
- 4.4.5 Where a boundary is indicated as approximately parallel to a street line or other feature, indicated in Sections 4.4.1, 4.4.2 and 4.4.3 above, and the distance from such street line or other feature is not indicated, and Section 4.4.4 above is not applicable, such boundary shall be construed as being parallel to such street line or other feature, and the distance therefrom shall be determined according to the scale shown on the appropriate Schedule.
- 4.4.6 A boundary indicated as following the limits of the municipality shall follow such limits.
- 4.5 In the event a dedicated street or lane or right-of-way shown on any schedule forming part of this By-law is closed, the property formerly in said street or lane or right-of-way shall be included within the zone of the adjoining property on either side of the said closed street or lane or right-of-way. If a closed street or lane or right-of-way is the boundary between two or more different zones, the new zone boundary shall be the former centreline of said closed street or lane or right-of-way. **CLOSED STREET, LANE OR RIGHT-OF-WAY**



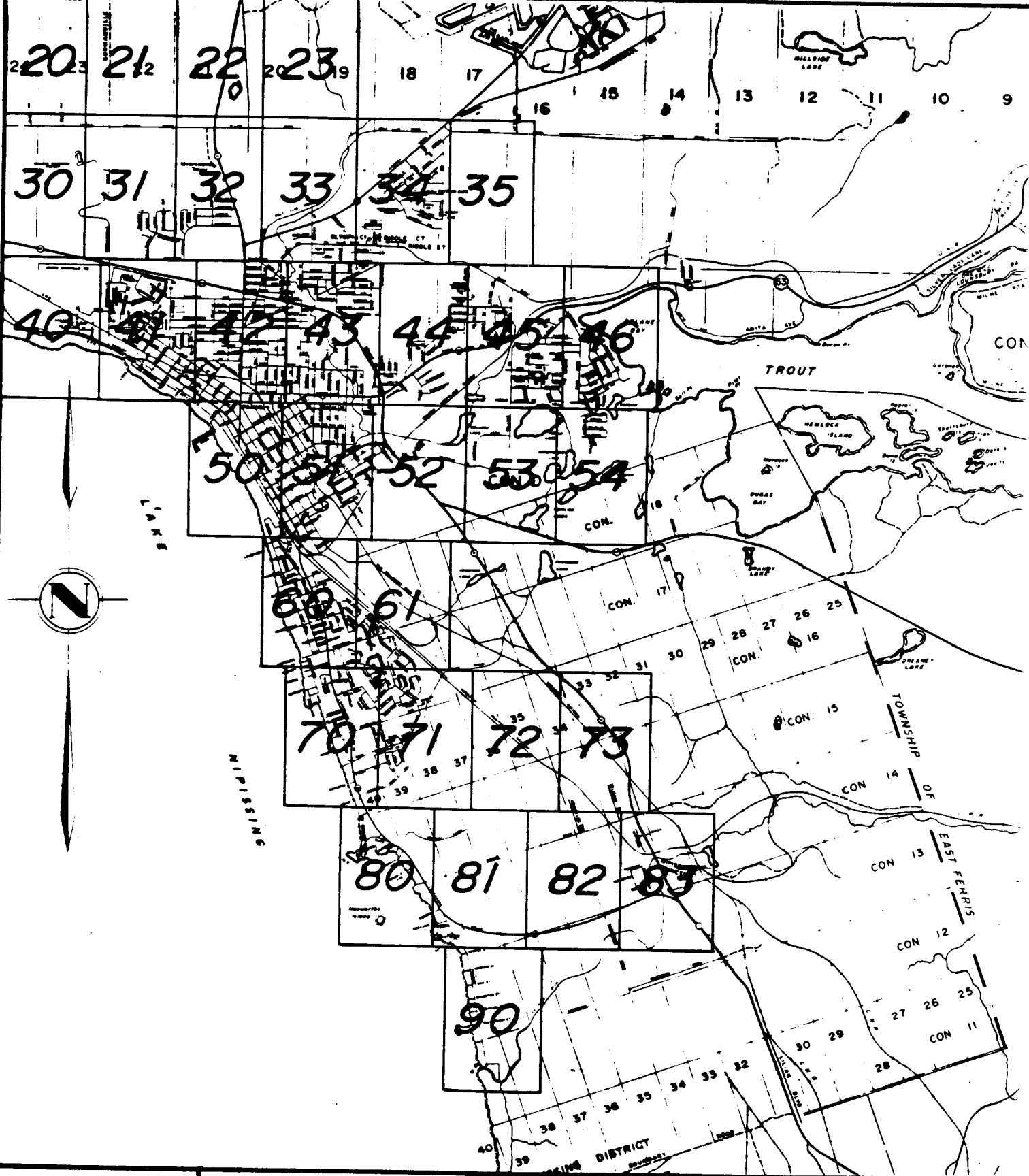
SCHEDULE

A

CITY OF NORTH BAY

ZONING BY-LAW No. 28-80

KEY MAP

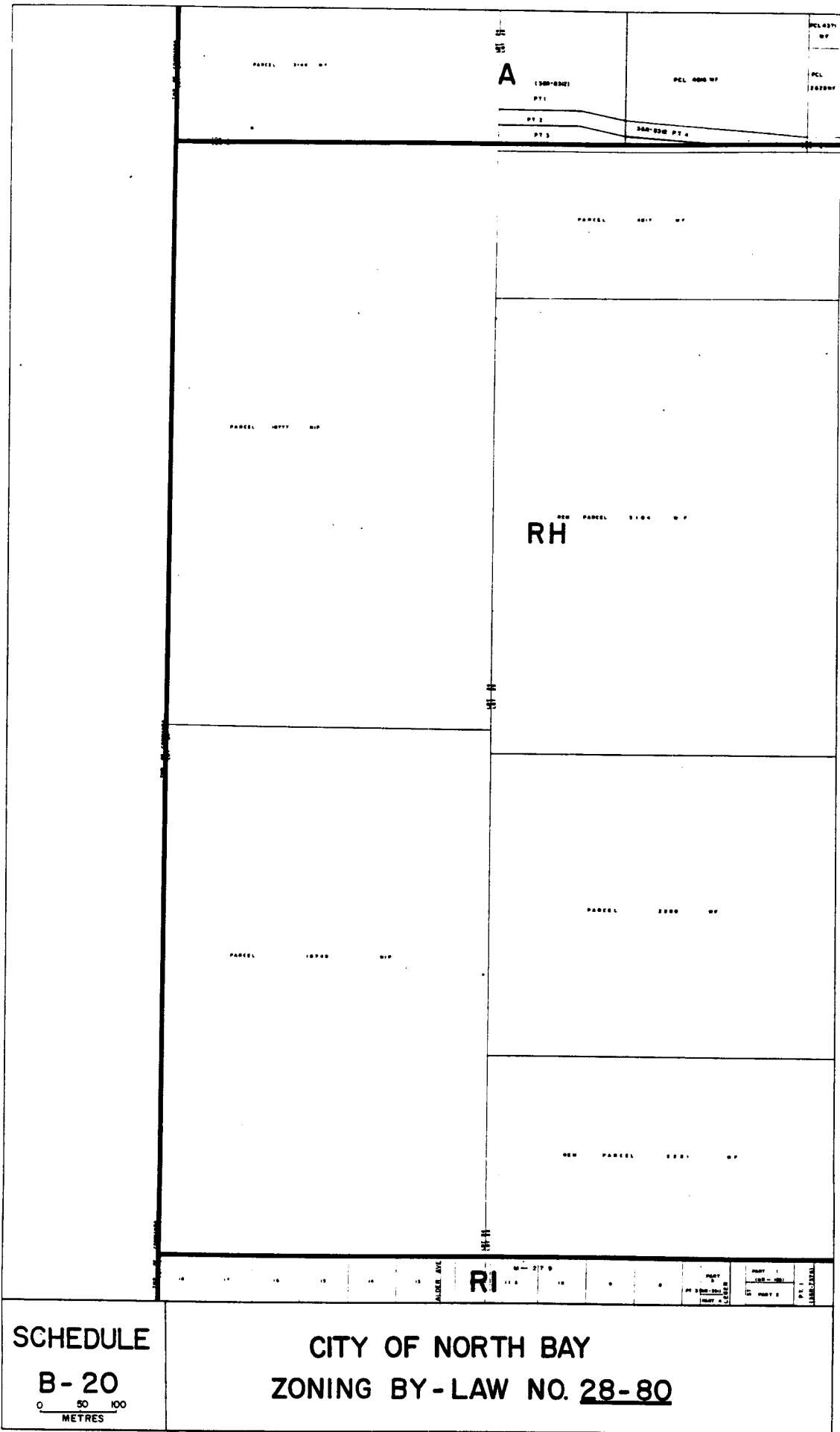


SCHEDULE

B

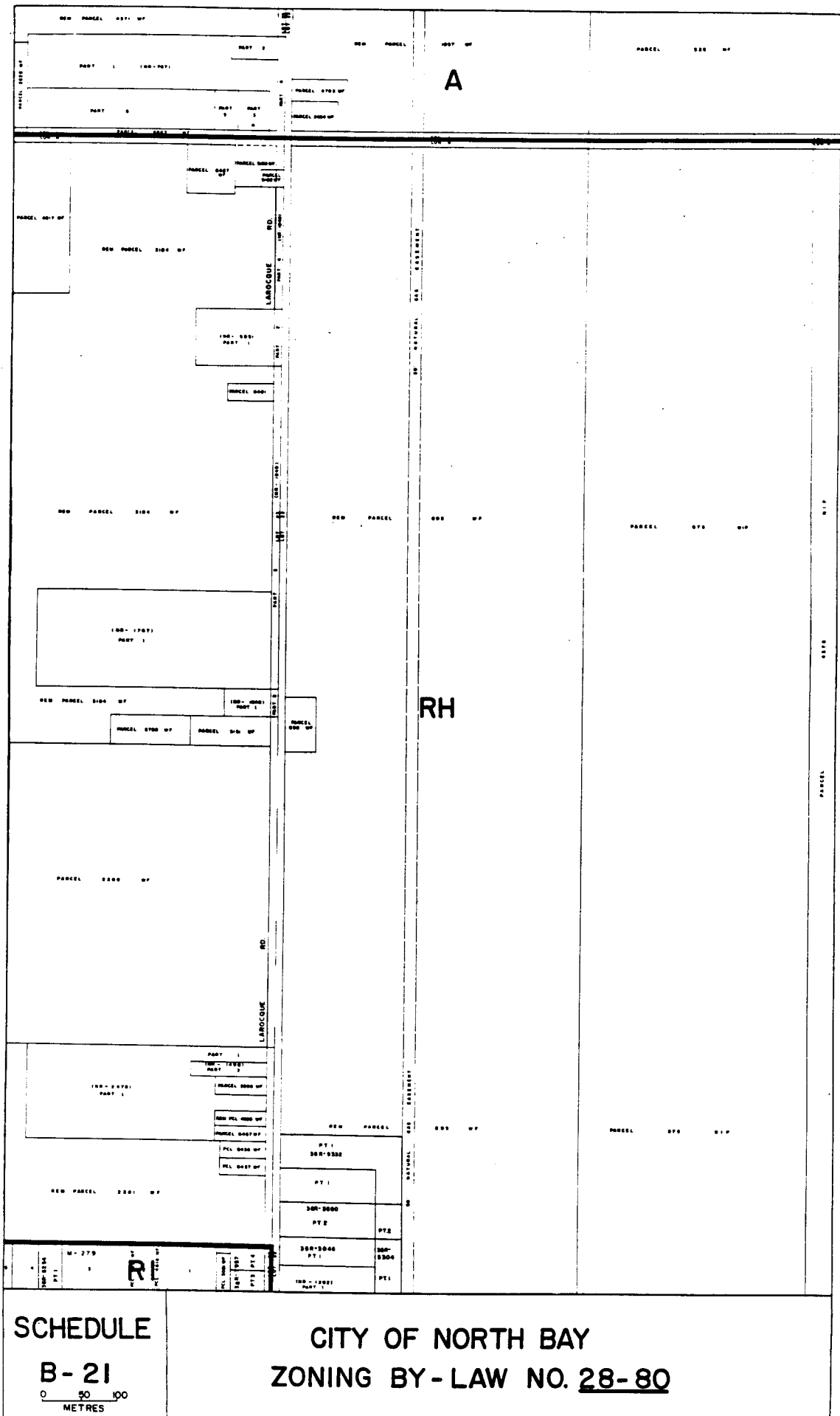
11-79

CITY OF NORTH BAY
 ZONING BY-LAW NO. 28-80
 KEY MAP



SCHEDULE
B-20
 0 50 100
 METRES

CITY OF NORTH BAY
 ZONING BY-LAW NO. **28-80**

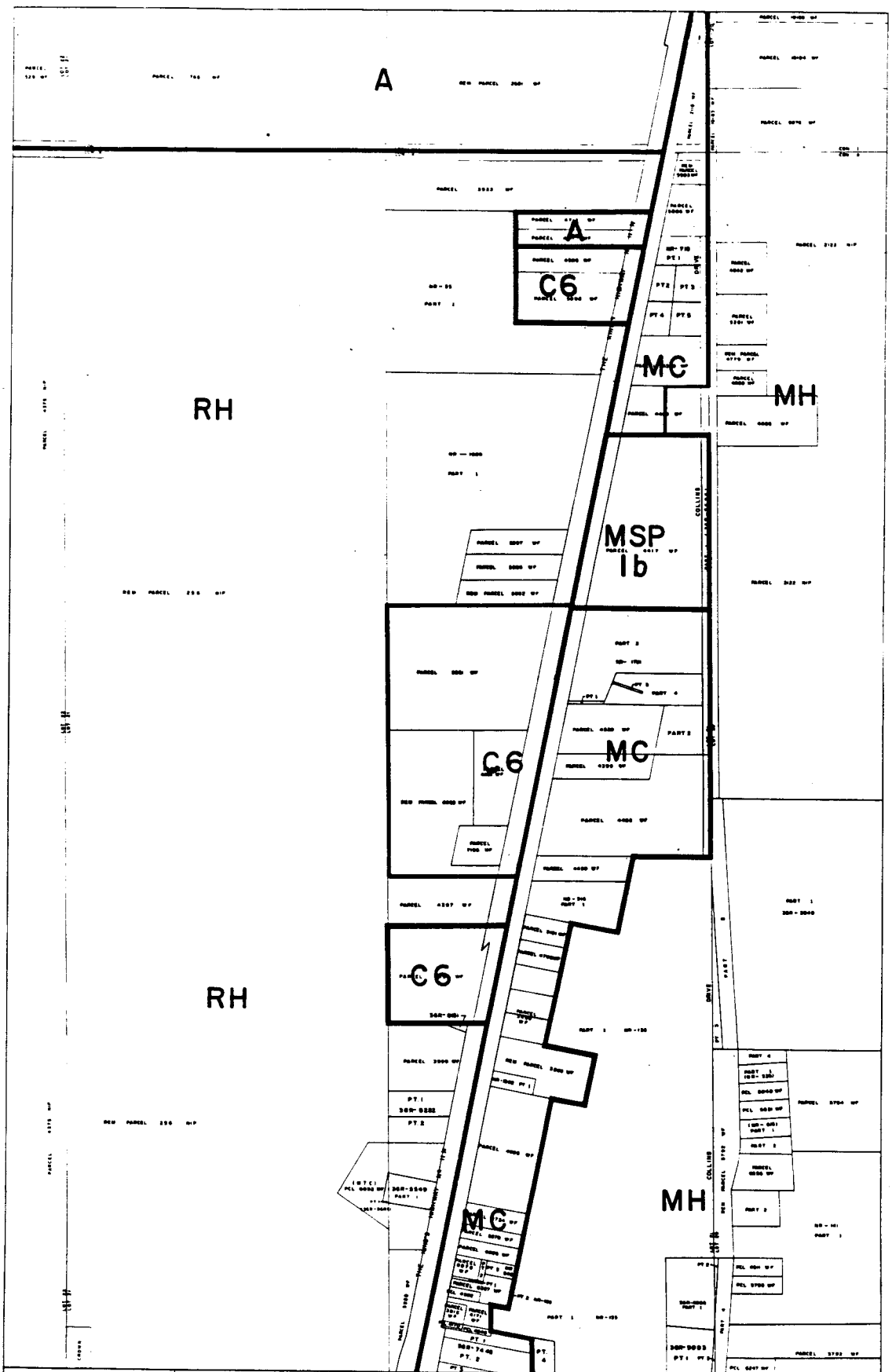


SCHEDULE

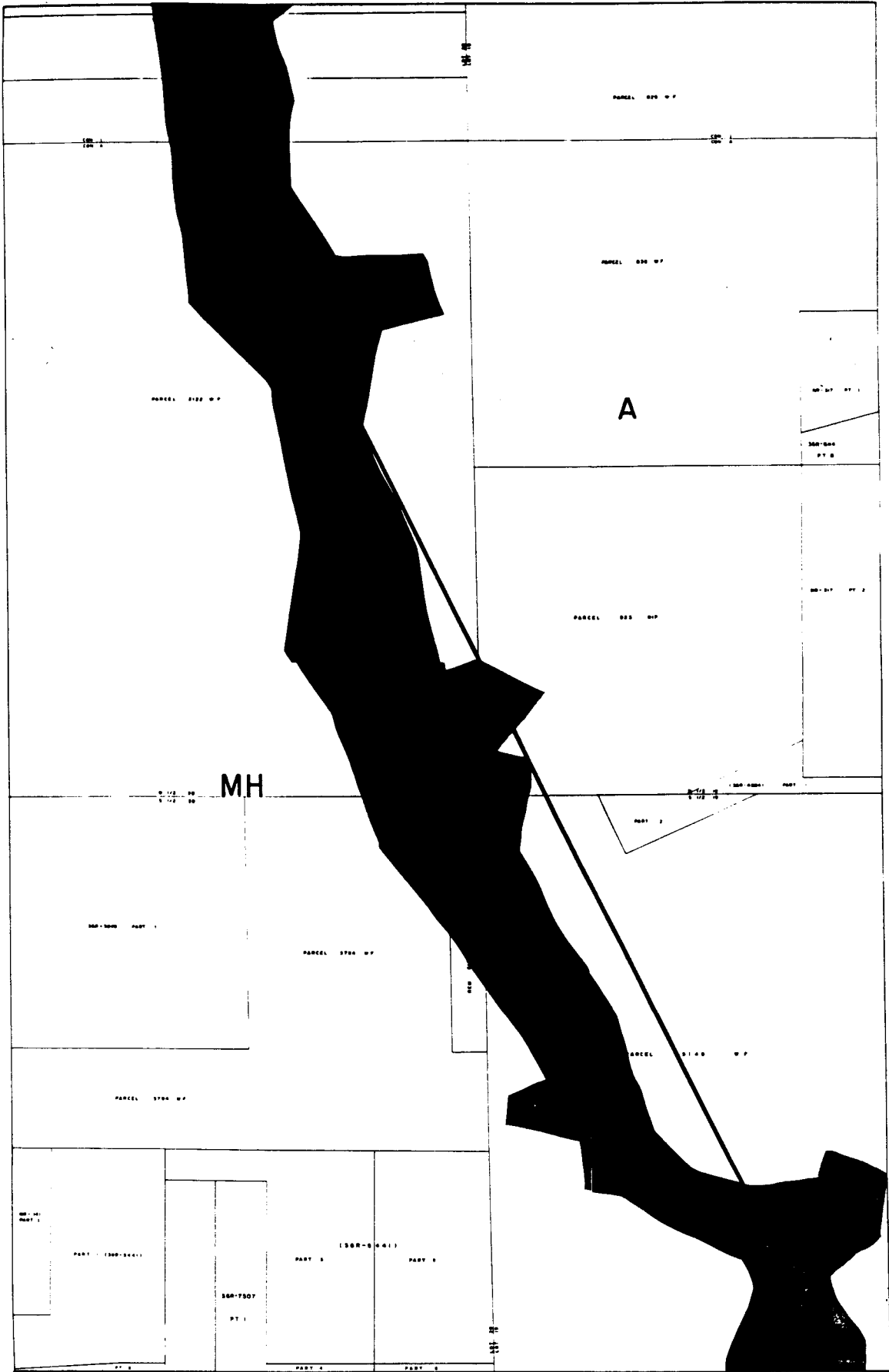
B-21

0 50 100 METRES

CITY OF NORTH BAY
ZONING BY-LAW NO. 28-80



<p>SCHEDULE B-22 0 50 100 METRES</p>	<p>CITY OF NORTH BAY ZONING BY-LAW NO. 28-80</p>
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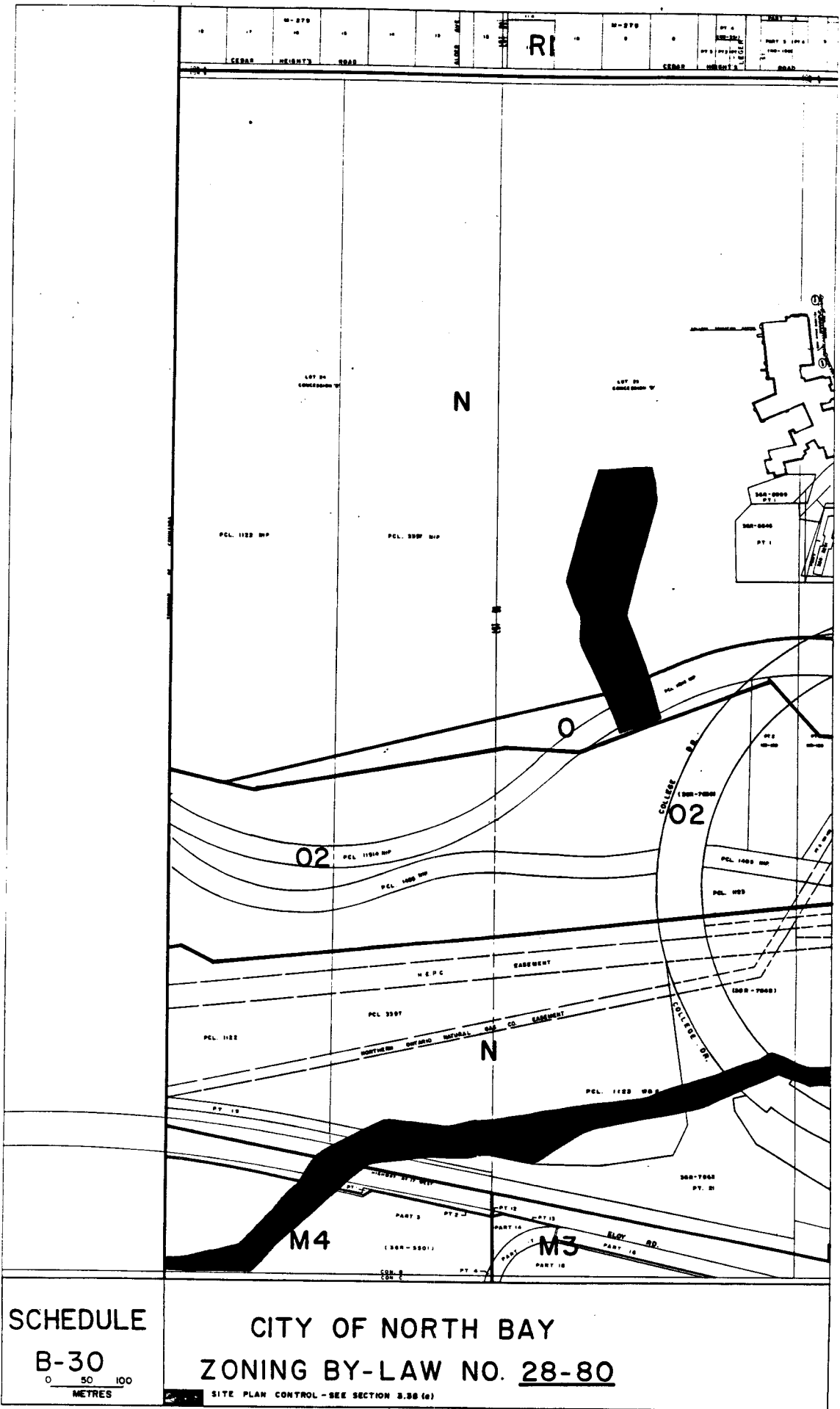
SCHEDULE

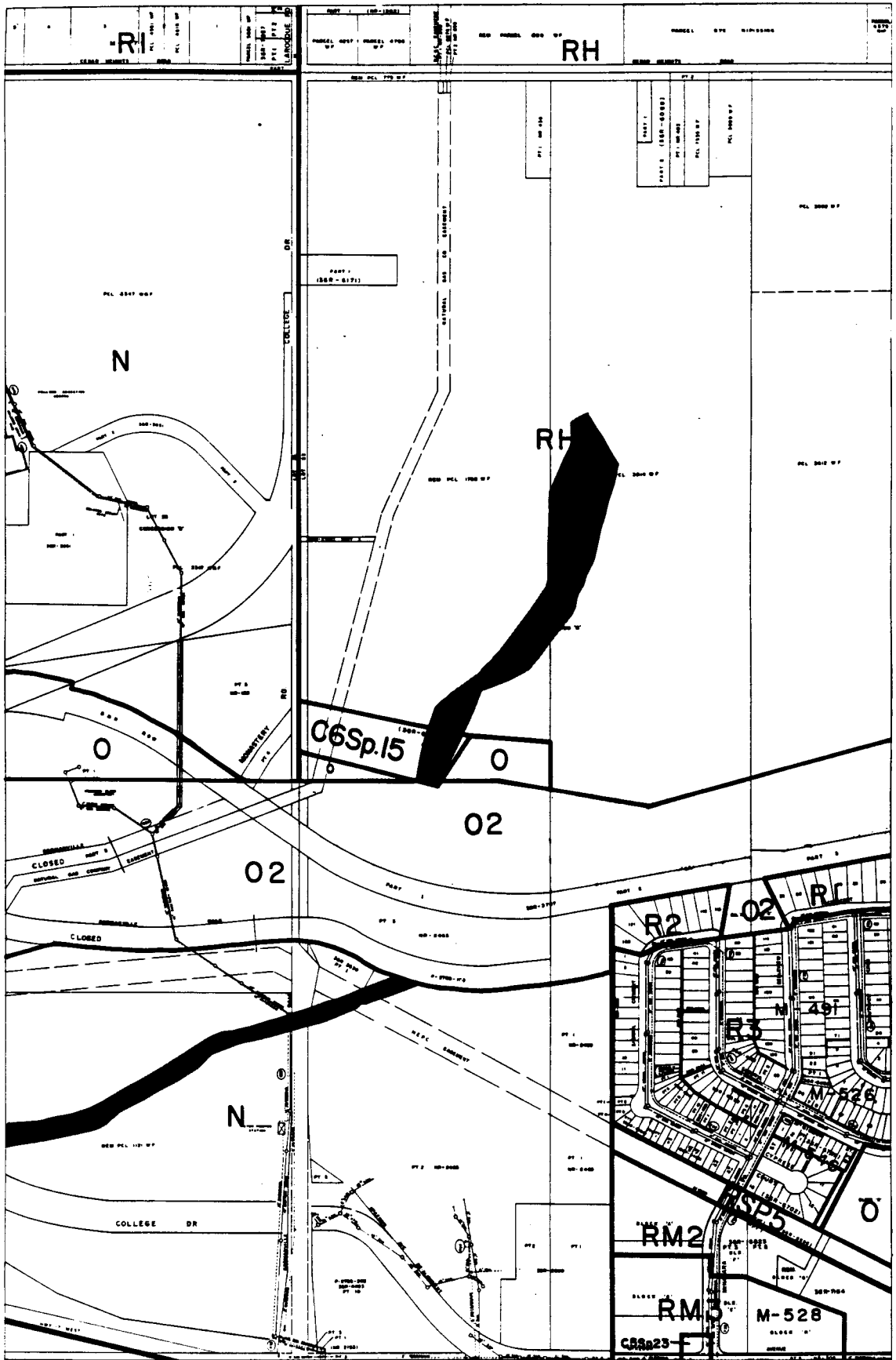
B - 23

0 50 100
METRES

CITY OF NORTH BAY
ZONING BY-LAW NO. 28-80

SITE PLAN CONTROL - SEE SECTION 3.36 (e)



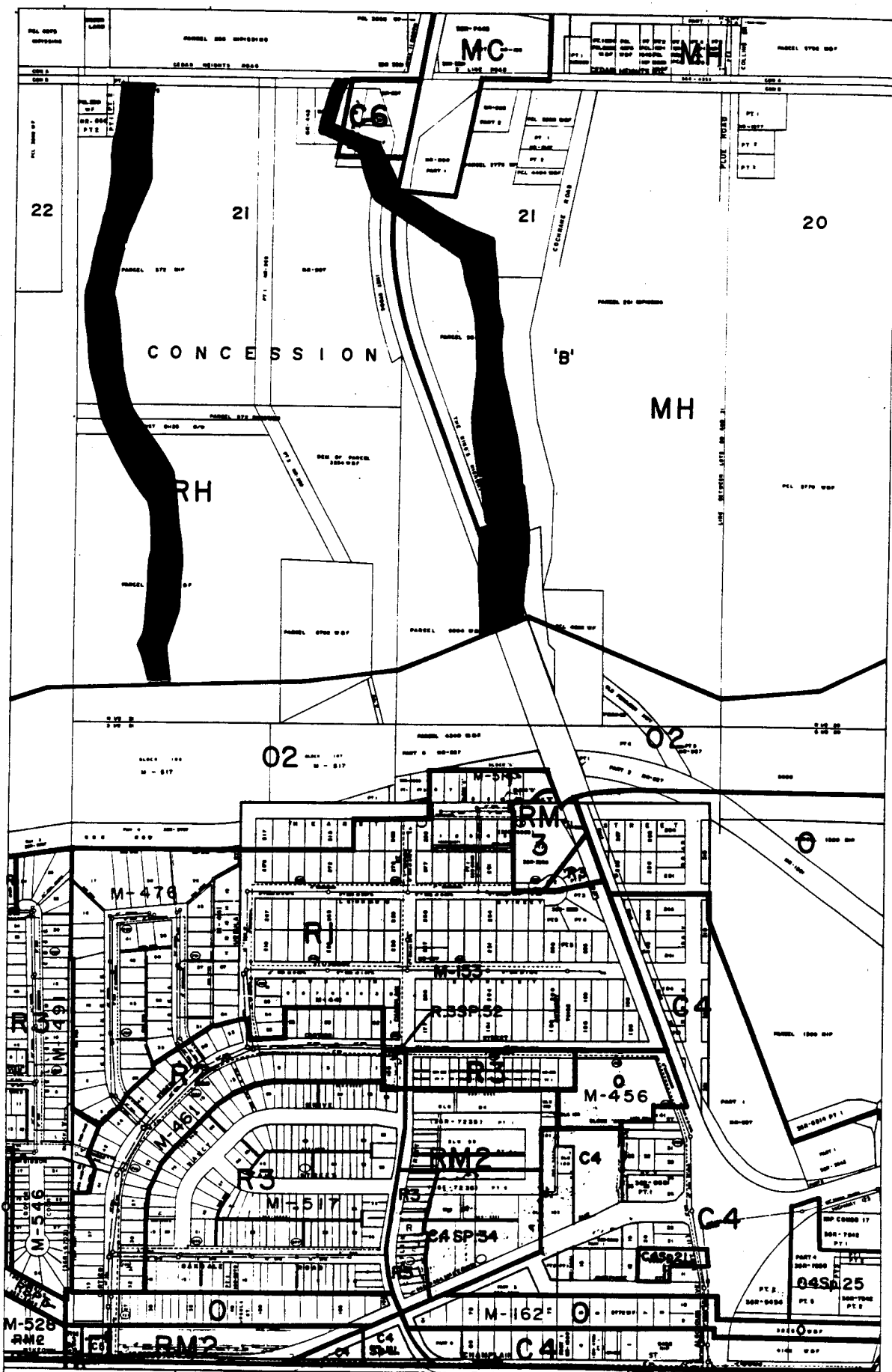


SCHEDULE
B-31

CITY OF NORTH BAY
ZONING BY-LAW NO. 28-80

0 50 100
METRES

SITE PLAN CONTROL - SEE SECTION 3.30 (e)

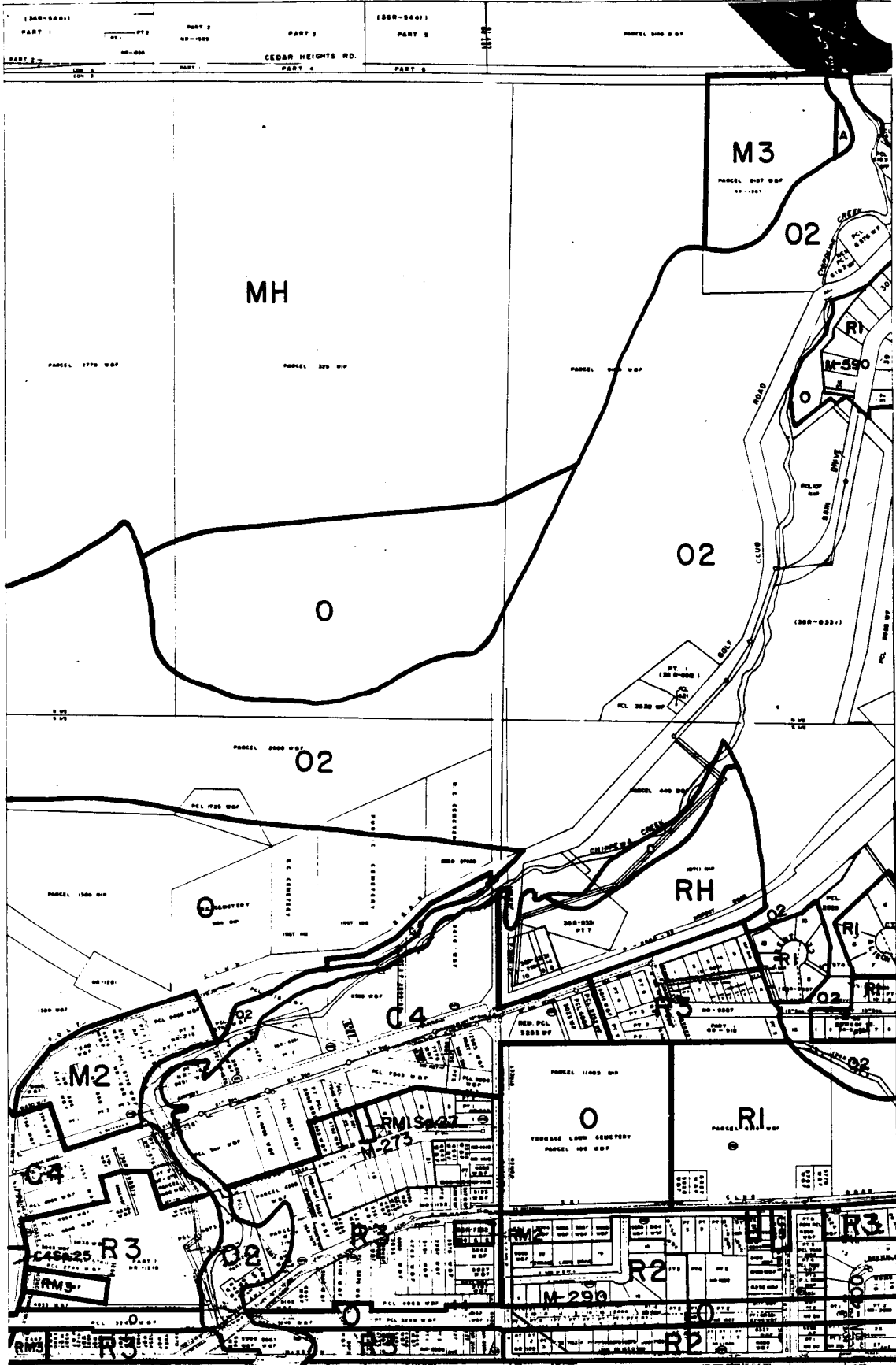


SCHEDULE
B-32

CITY OF NORTH BAY
ZONING BY-LAW NO. 28-80

0 50 100
 METRES

SITE PLAN CONTROL - SEE SECTION 3.33(a)

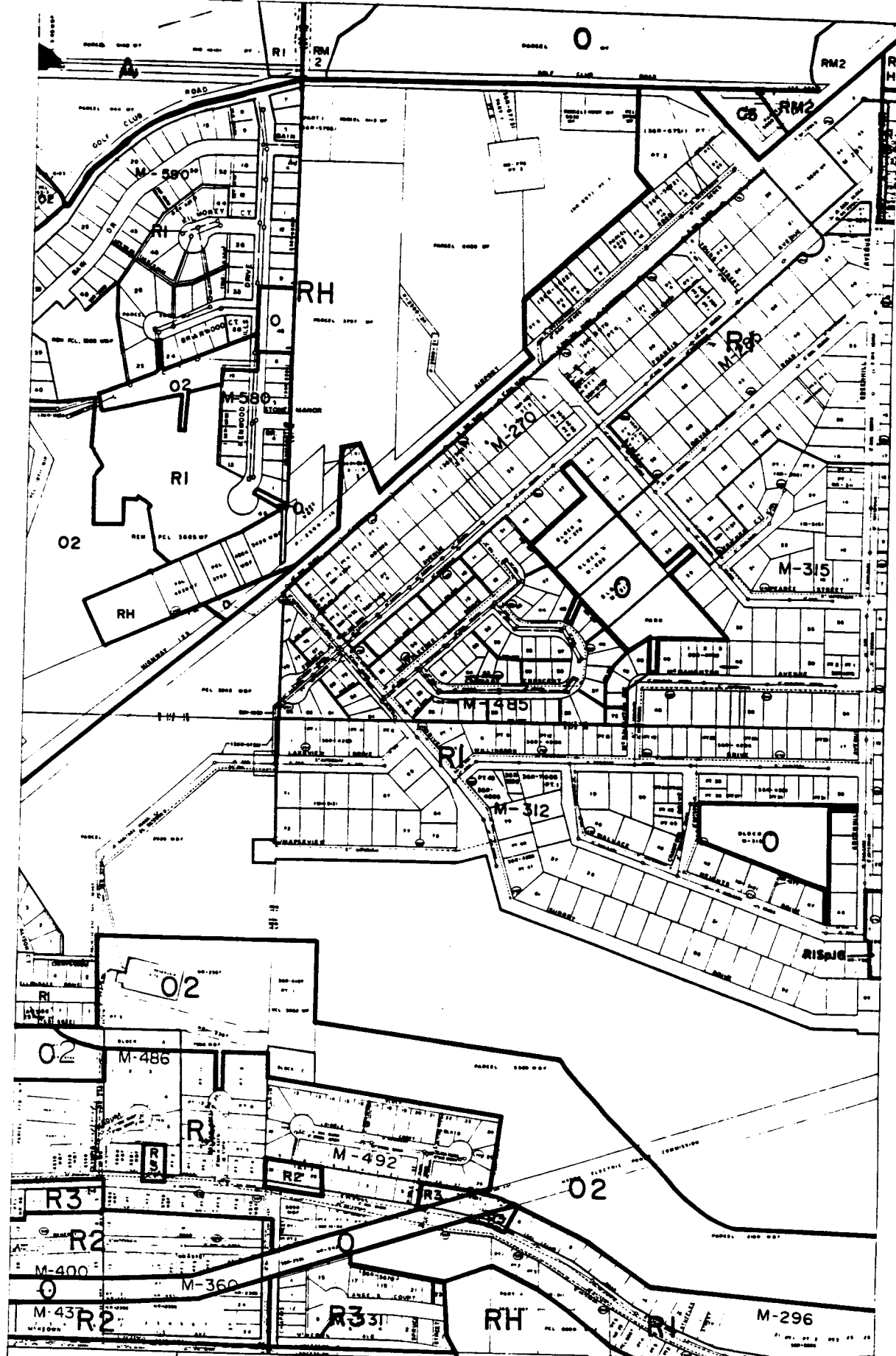


SCHEDULE
B-33

CITY OF NORTH BAY
ZONING BY-LAW NO. 28-80

0 50 100
METRES

SITE PLAN CONTROL - SEE SECTION 3.88 (e)

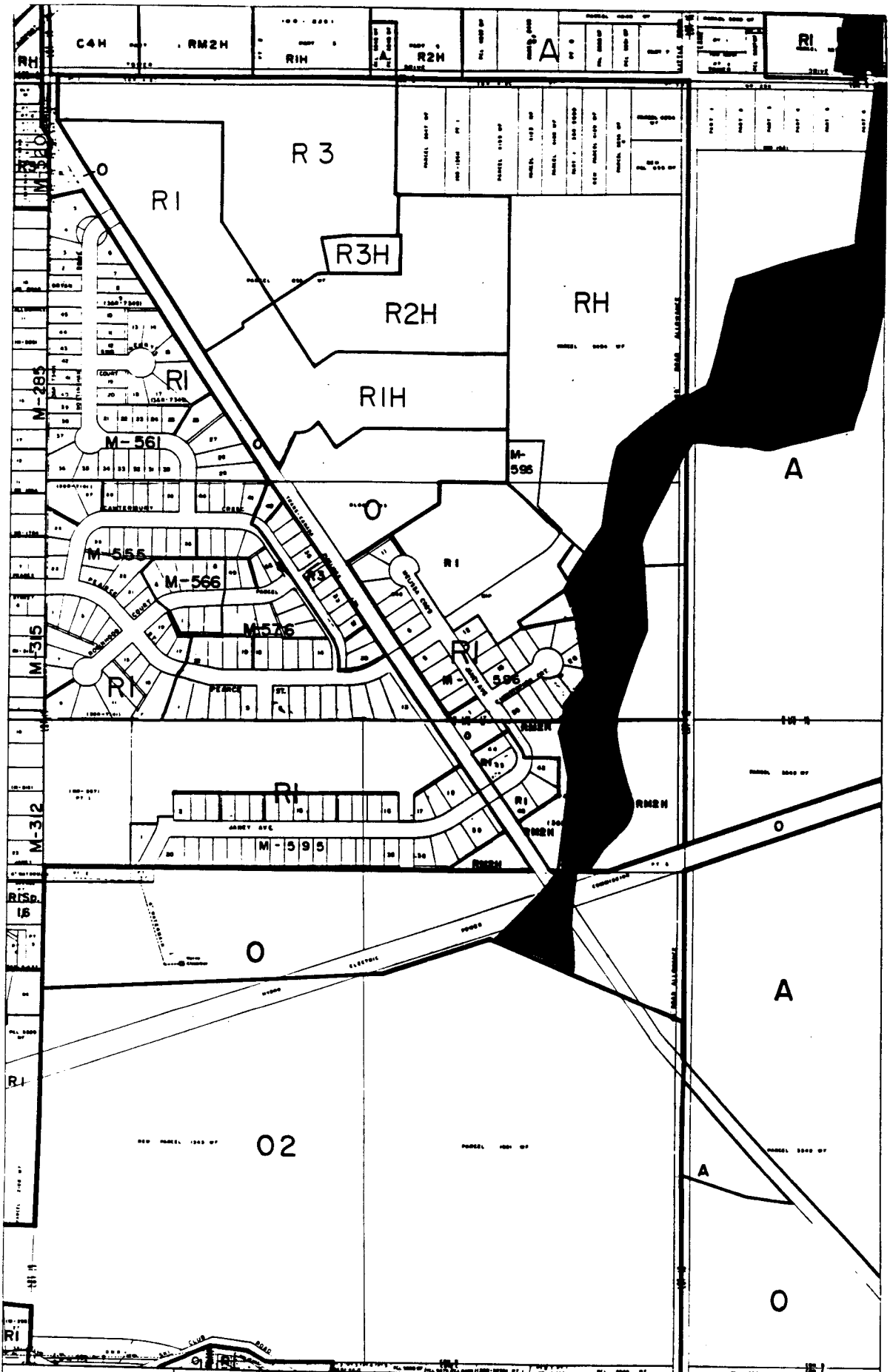


**SCHEDULE
B-34**

0 50 100
METRES

**CITY OF NORTH BAY
ZONING BY-LAW NO. 28-80**

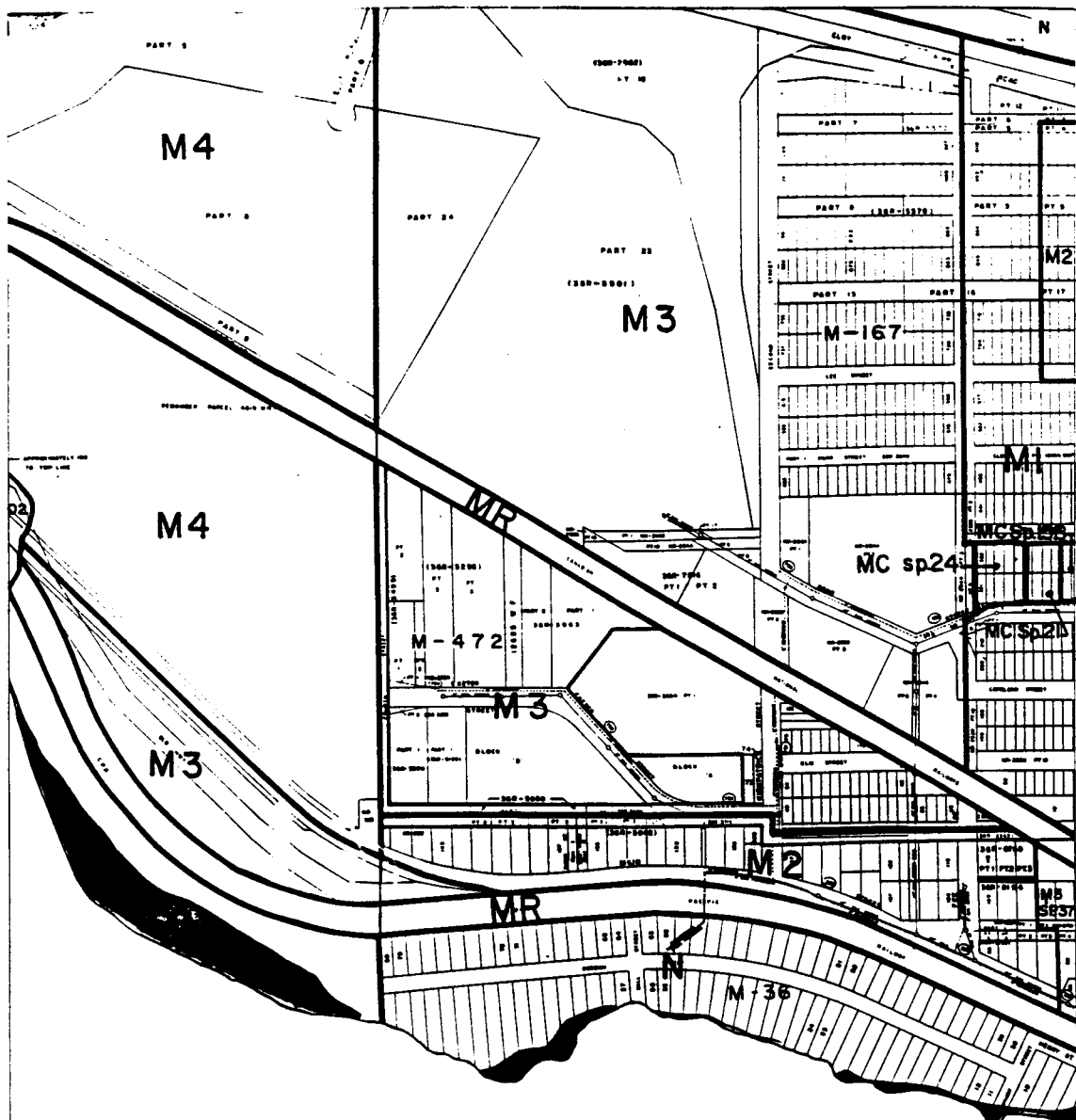
SITE PLAN CONTROL - SEE SECTION 3.38(g)



SCHEDULE
 B - 35
 50 100
 METRES

CITY OF NORTH BAY
 ZONING BY-LAW NO. 28-80

SITE PLAN CONTROL - SEE SECTION 3.30 (d)



LAKE NIPISSING

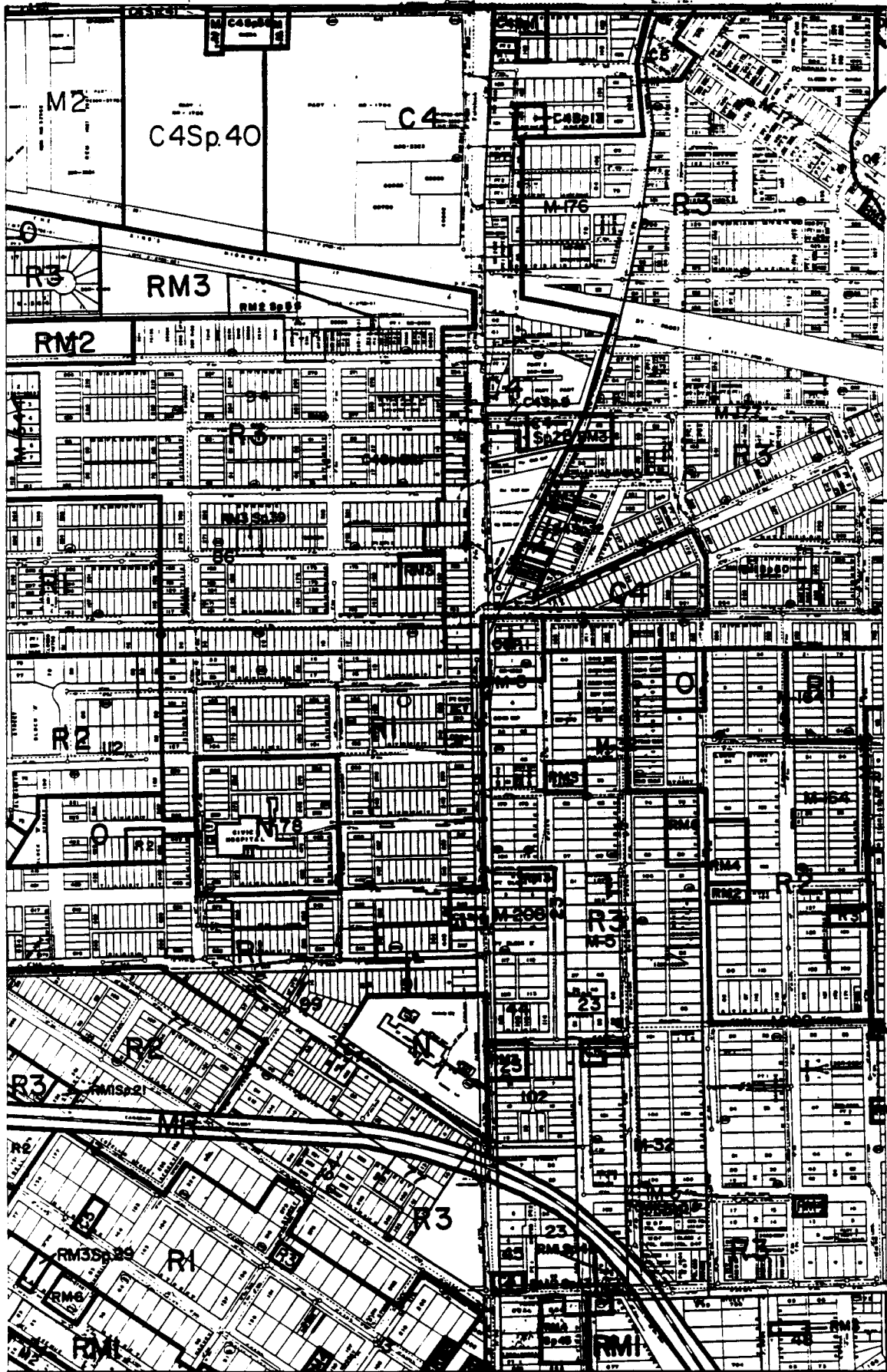
SCHEDULE

B-40

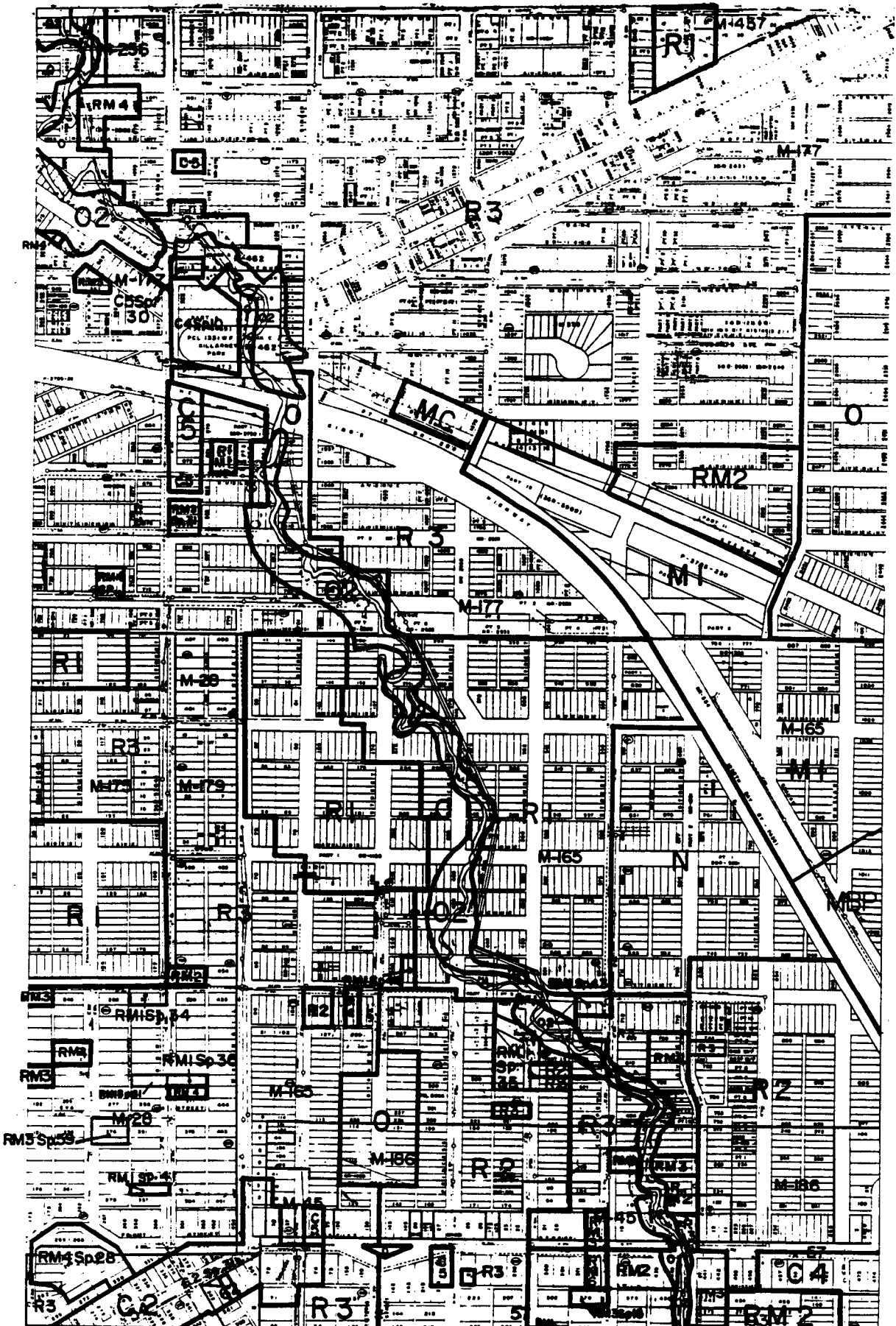
0 50 100 METRES

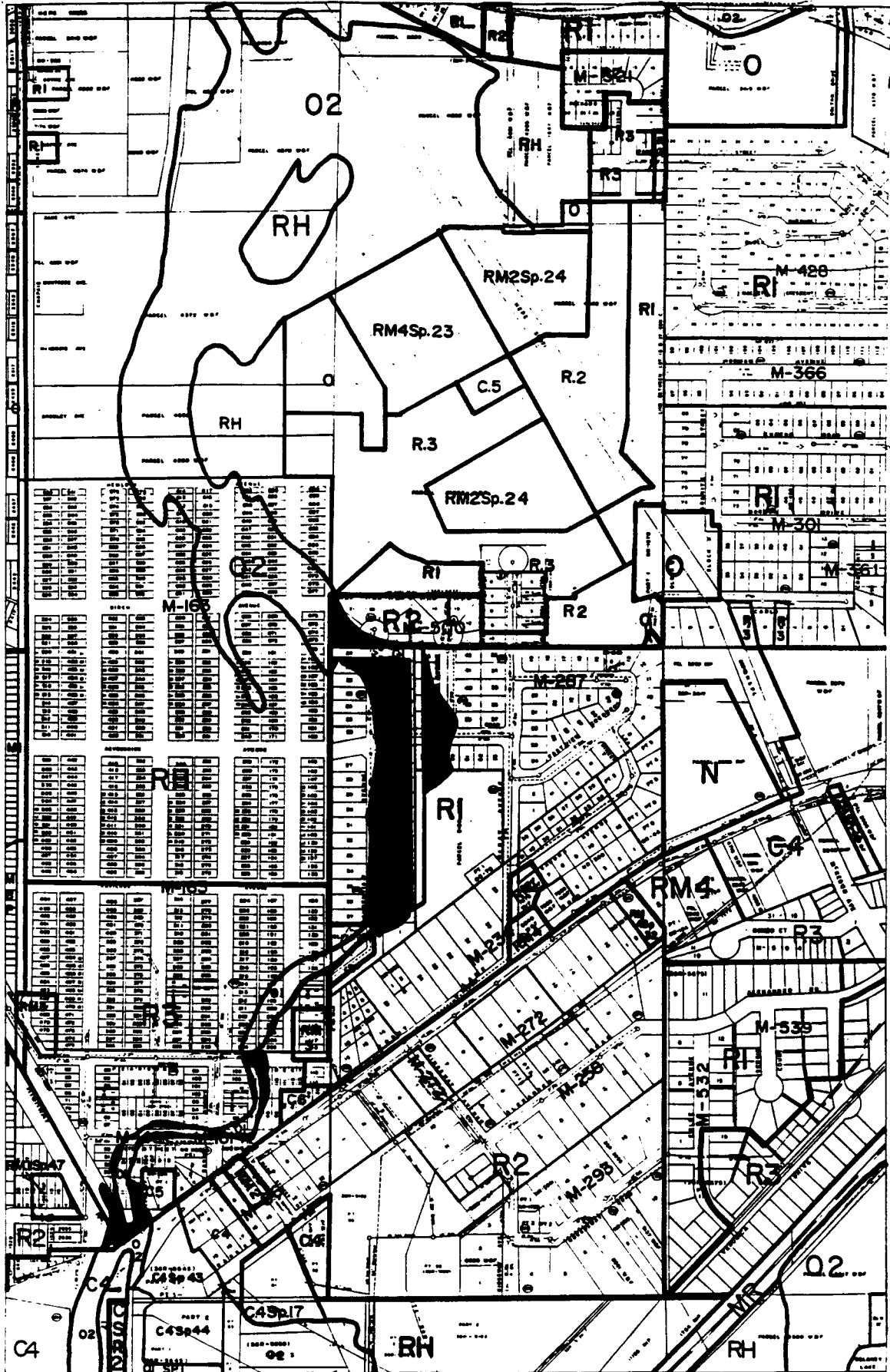
CITY OF NORTH BAY
ZONING BY-LAW NO. 28-80

PLAN CONTROL - SEE SECTION 3.38(e)



<p>SCHEDULE</p> <p>B - 42</p> <p>0 50 100 METRES</p>	<p>CITY OF NORTH BAY</p> <p>ZONING BY-LAW NO. 28-80</p>
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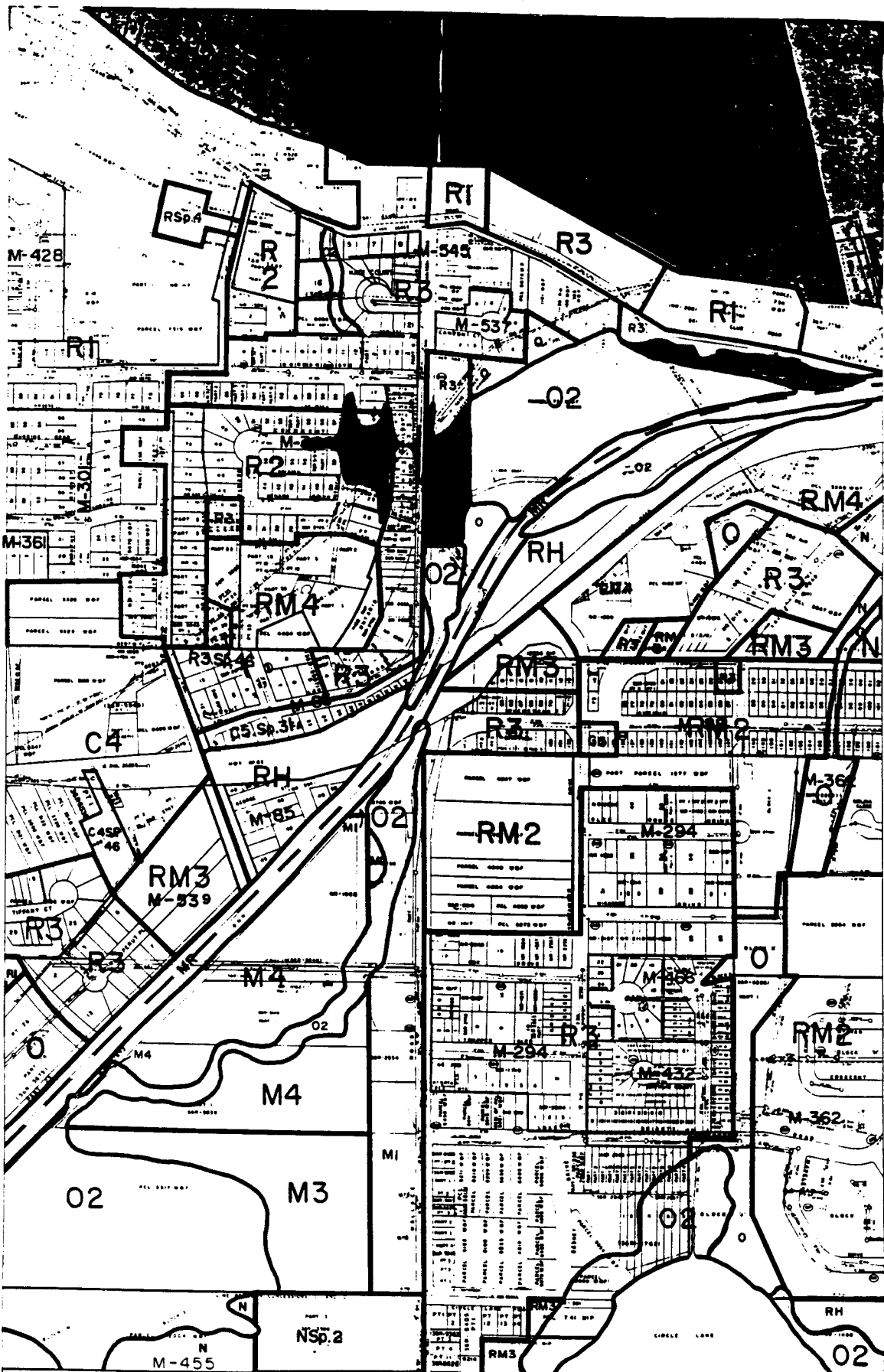
SCHEDULE

B - 44

0 50 100
METRES

CITY OF NORTH BAY
ZONING BY-LAW NO. 28-80

SITE PLAN CONTROL - SEE SECTION 3.38(6)

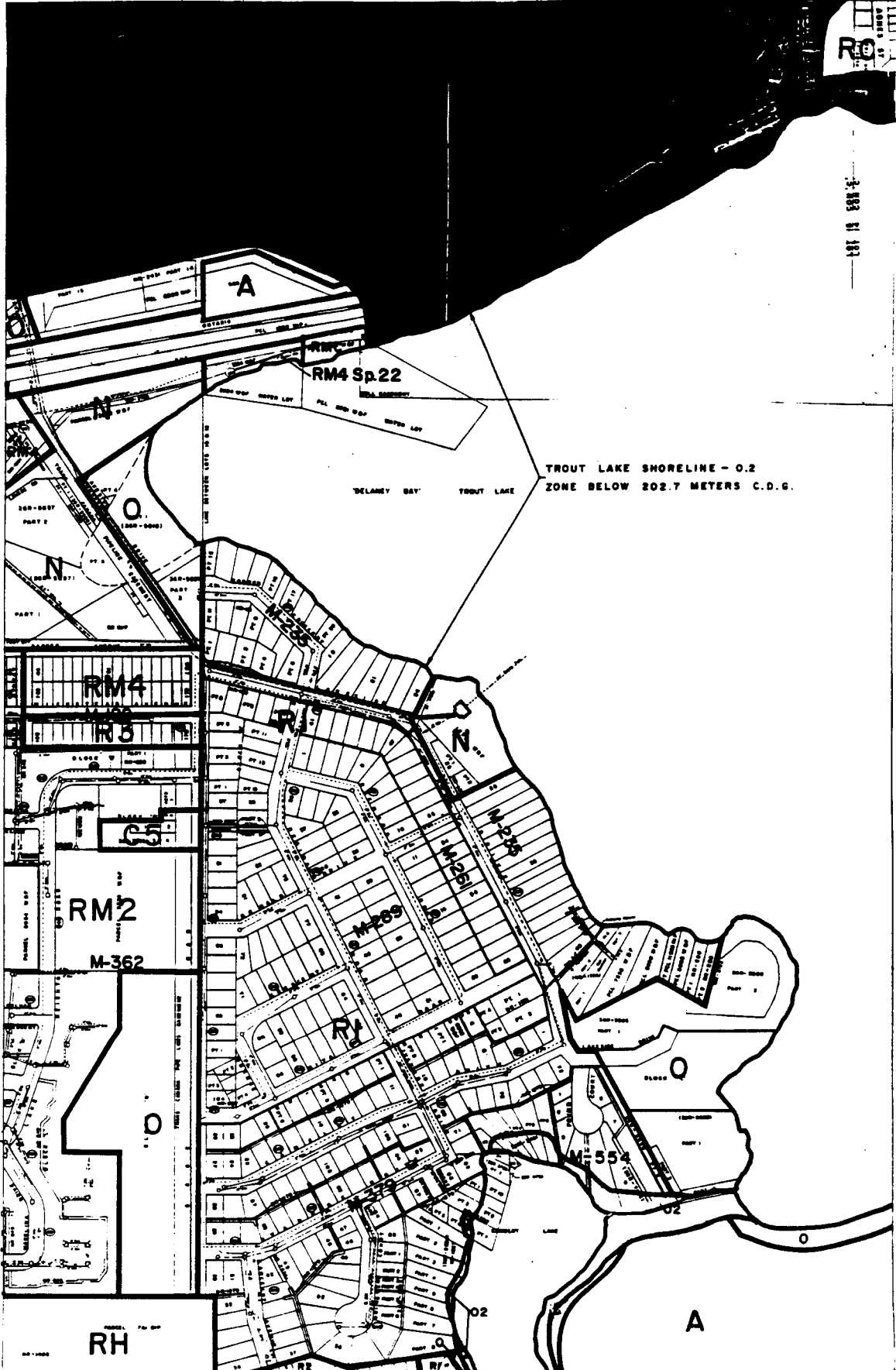


SCHEDULE
B - 45

CITY OF NORTH BAY
ZONING BY-LAW NO. 28-80

0 50 100
FEET

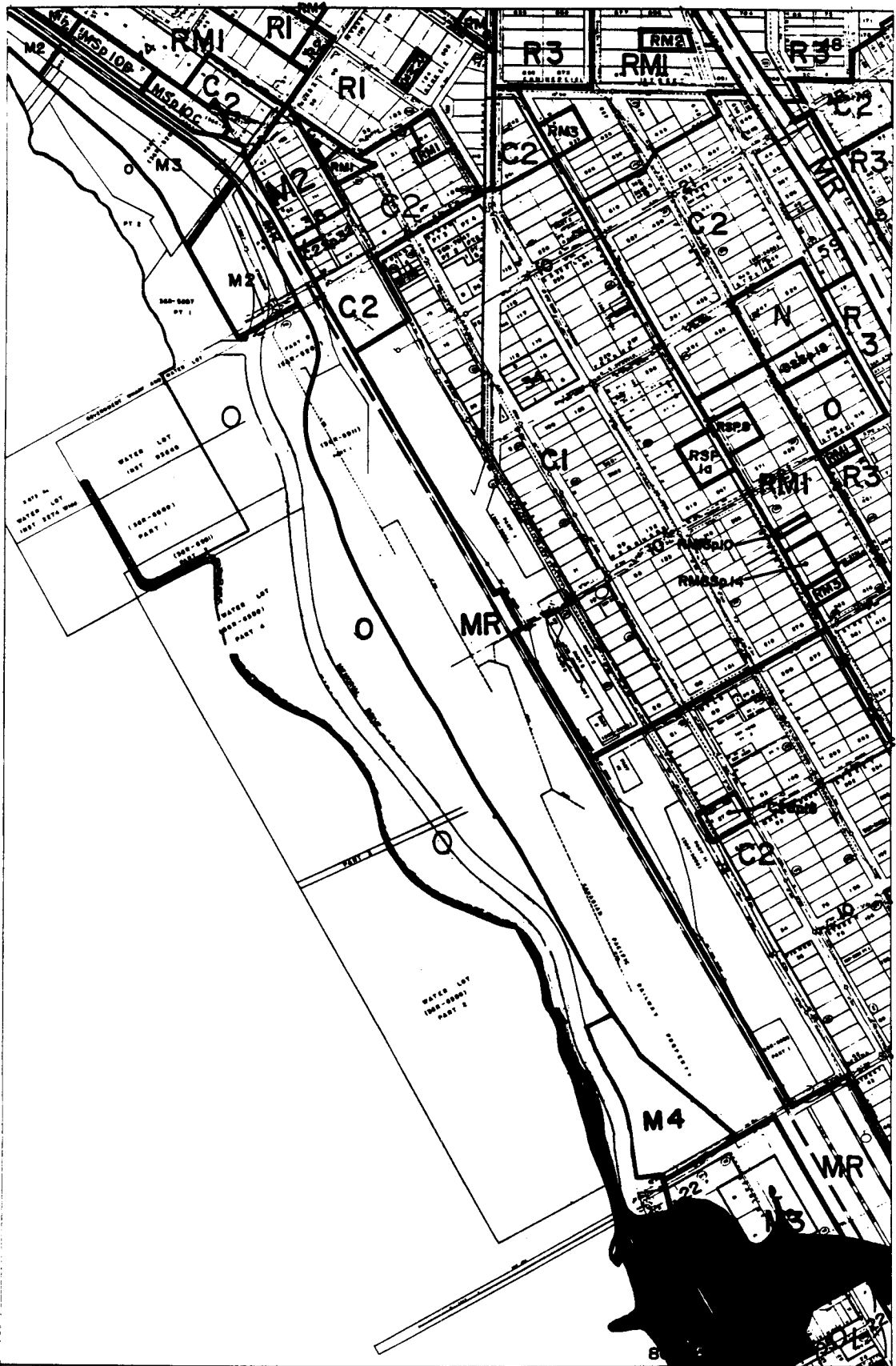
SITE PLAN CONTROL - SEE SECTION 3.58 (a)



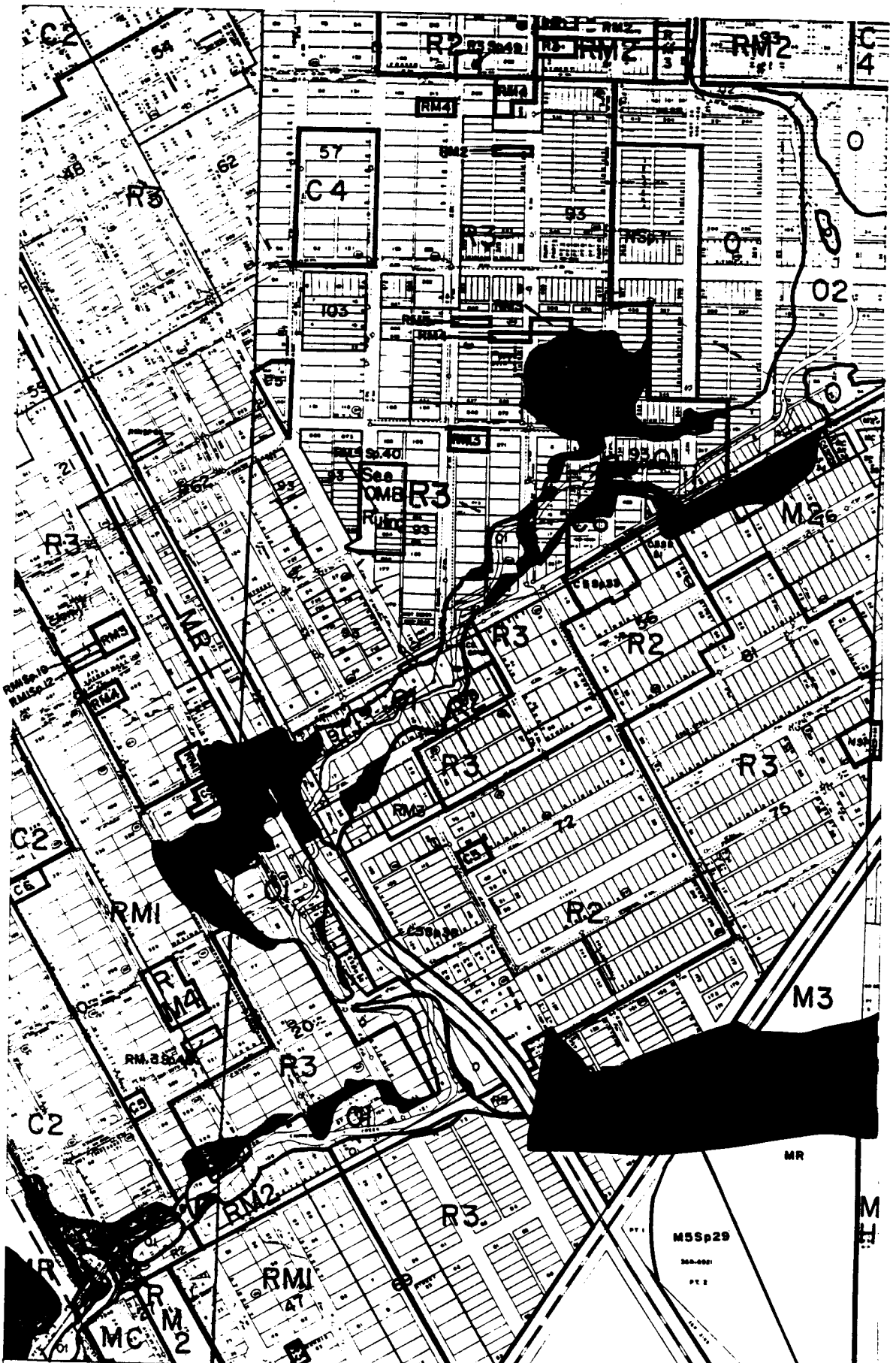
SCHEDULE
B - 46
 0 50 100
 METRES

CITY OF NORTH BAY
ZONING BY-LAW NO. 28-80

SITE PLAN CONTROL - SEE SECTION 3.99(4)



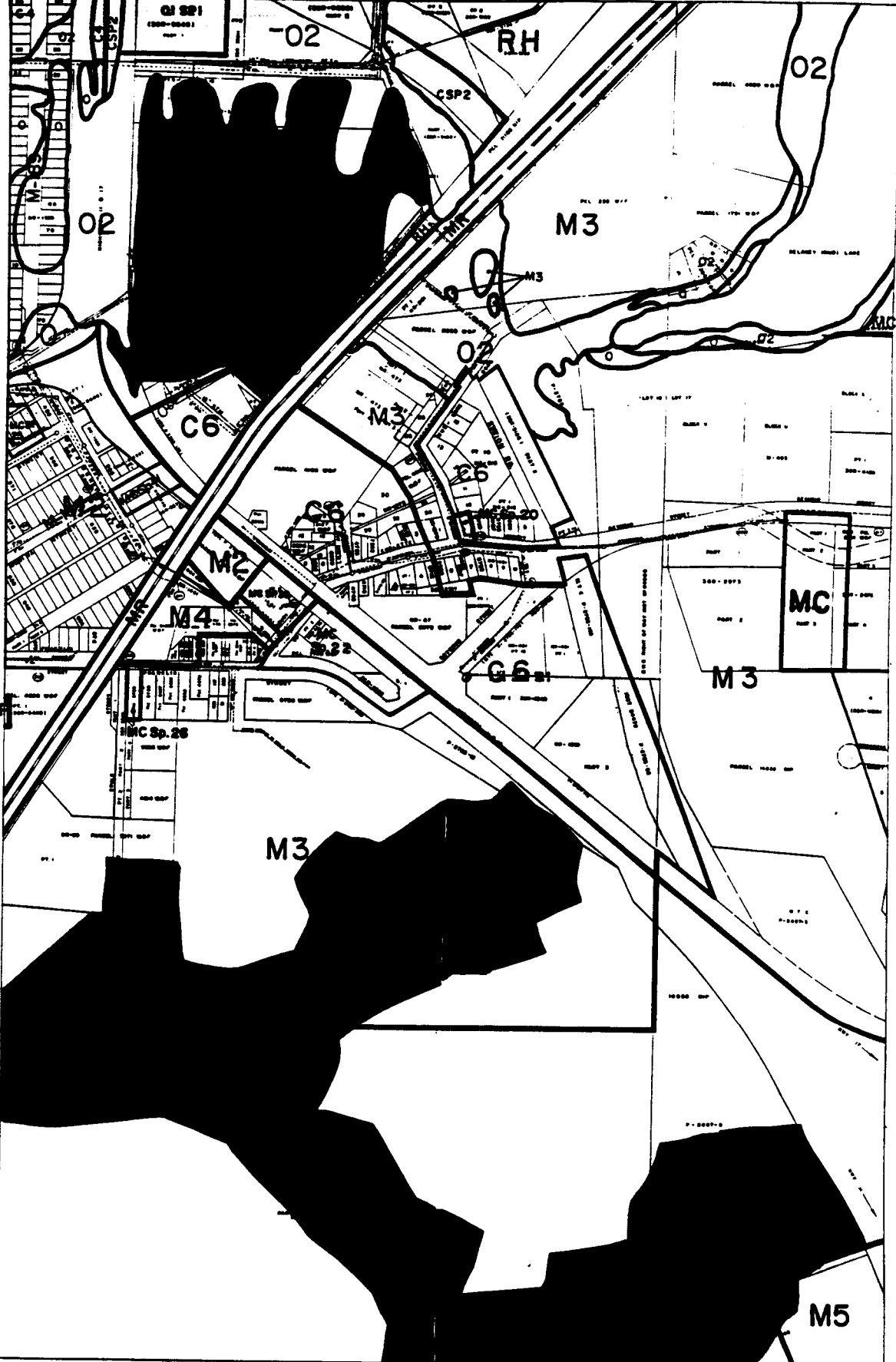
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SCHEDULE
 B-51
 0 50 100
 METERS

CITY OF NORTH BAY
 ZONING BY-LAW NO. 28-80

SITE PLAN CONTROL - SEE SECTION 3.38(a)

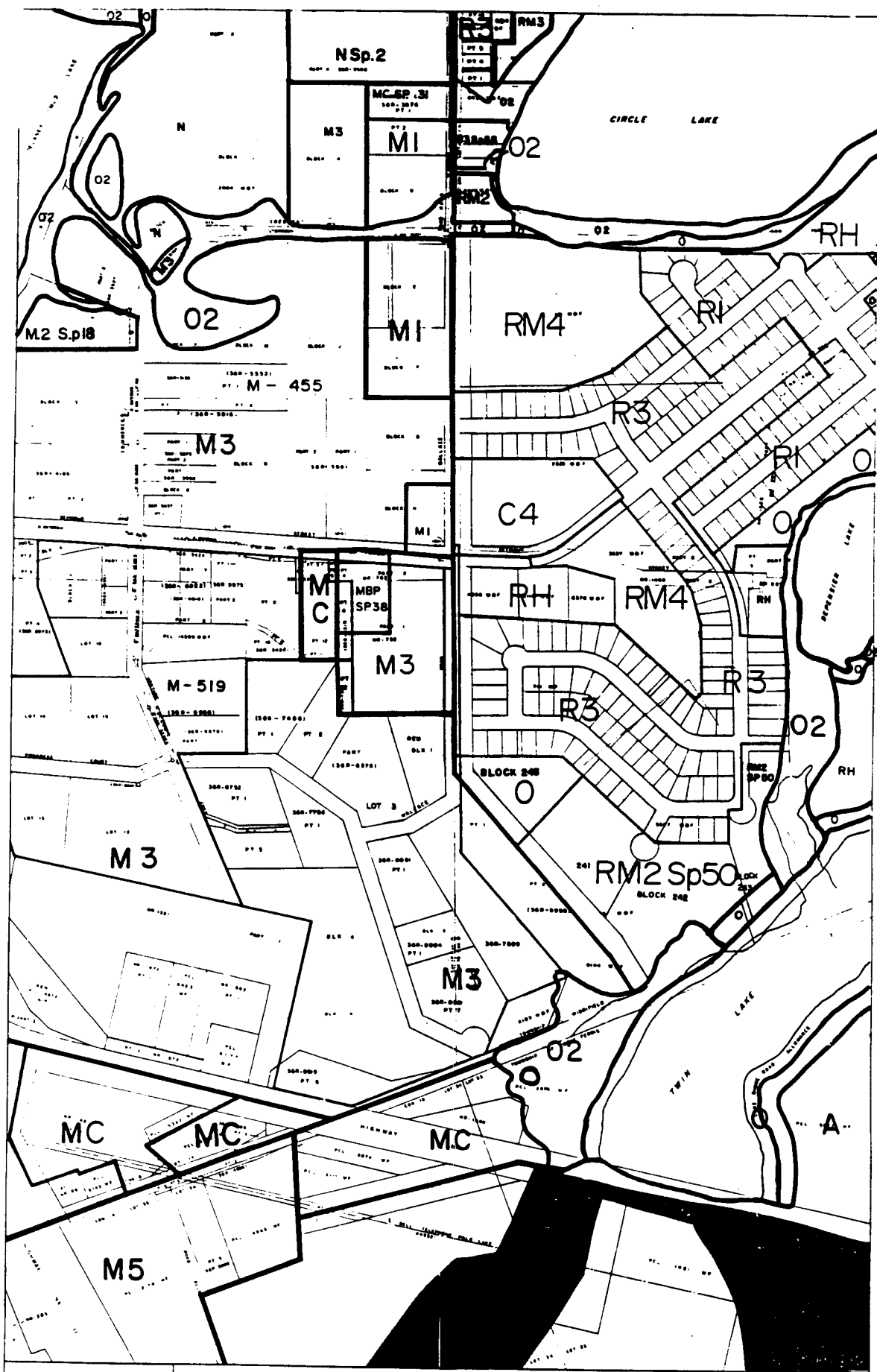


SCHEDULE
B-52

0 50 100
METRES

CITY OF NORTH BAY
ZONING BY-LAW NO. 28-80

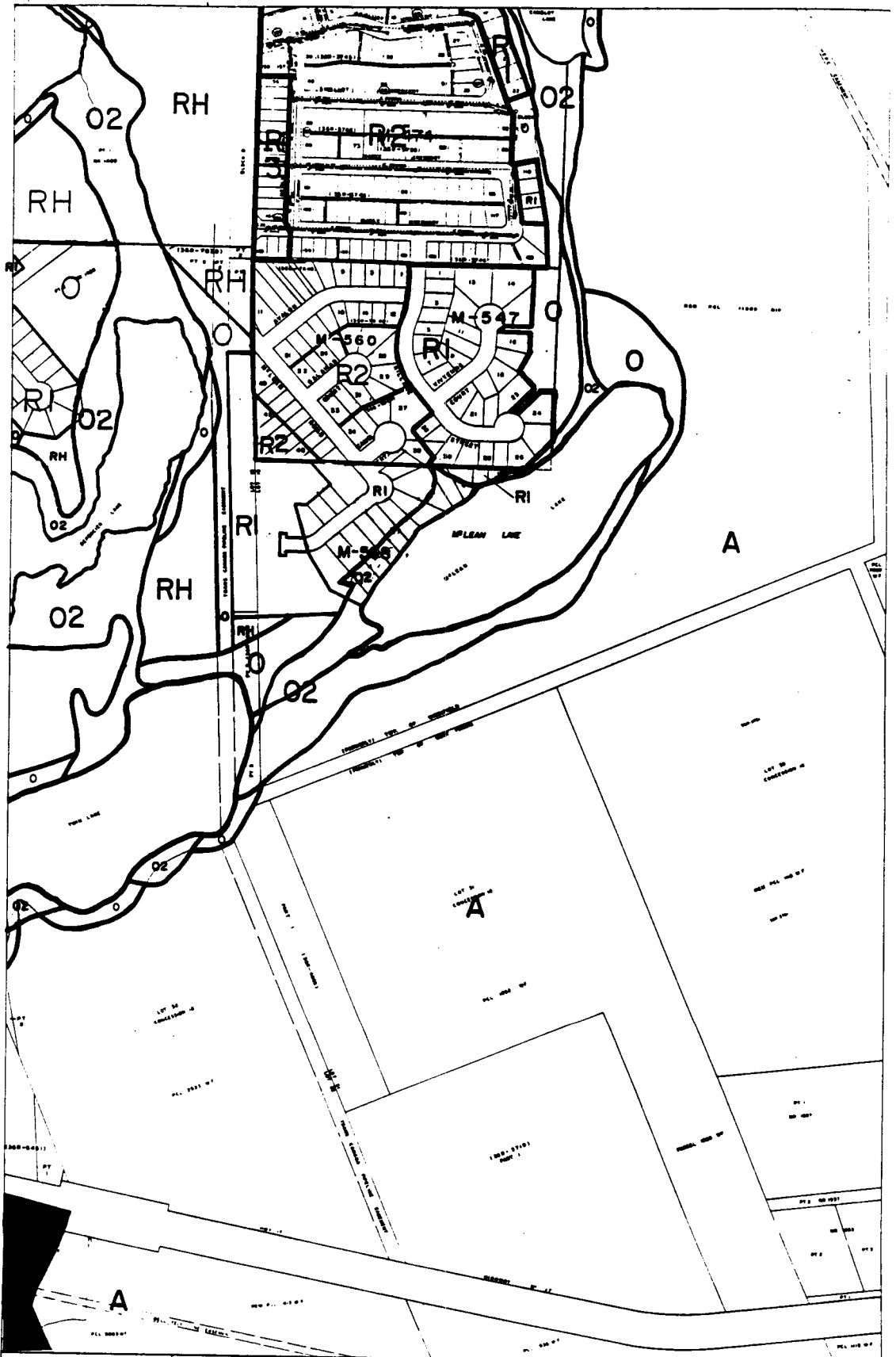
SITE PLAN CONTROL - SEE SECTION 3.58(6)



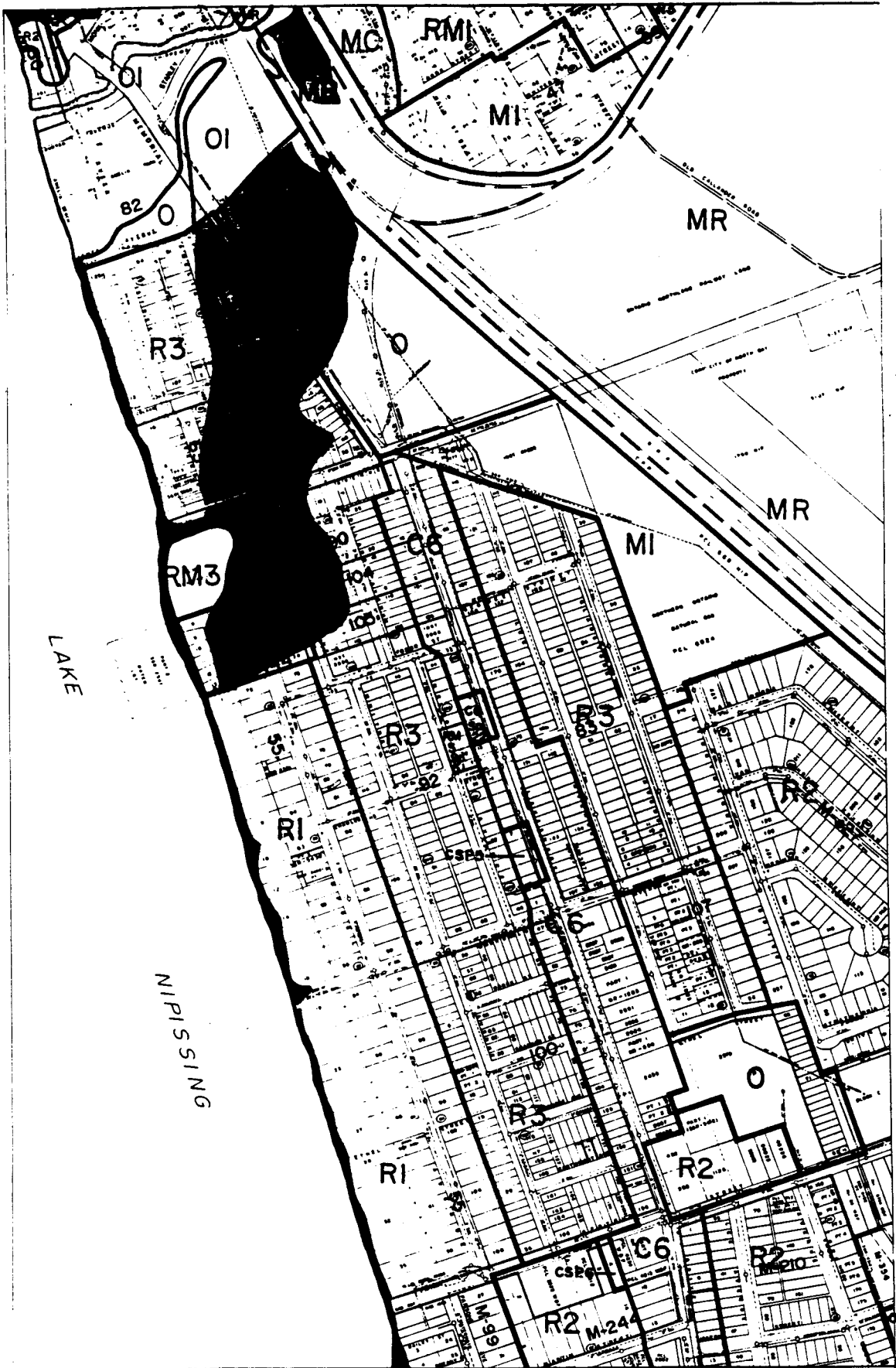
SCHEDULE
B - 53
 0 50 100
 METRES

CITY OF NORTH BAY
ZONING BY-LAW NO. 28-80

SITE PLAN CONTROL - SEE SECTION 3.28(1)



<p>SCHEDULE B - 54</p> <p>0 50 100 METRES</p>	<p>CITY OF NORTH BAY ZONING BY-LAW NO. 28-80</p> <p>SITE PLAN CONTROL - SEE SECTION 3.38(1)</p>
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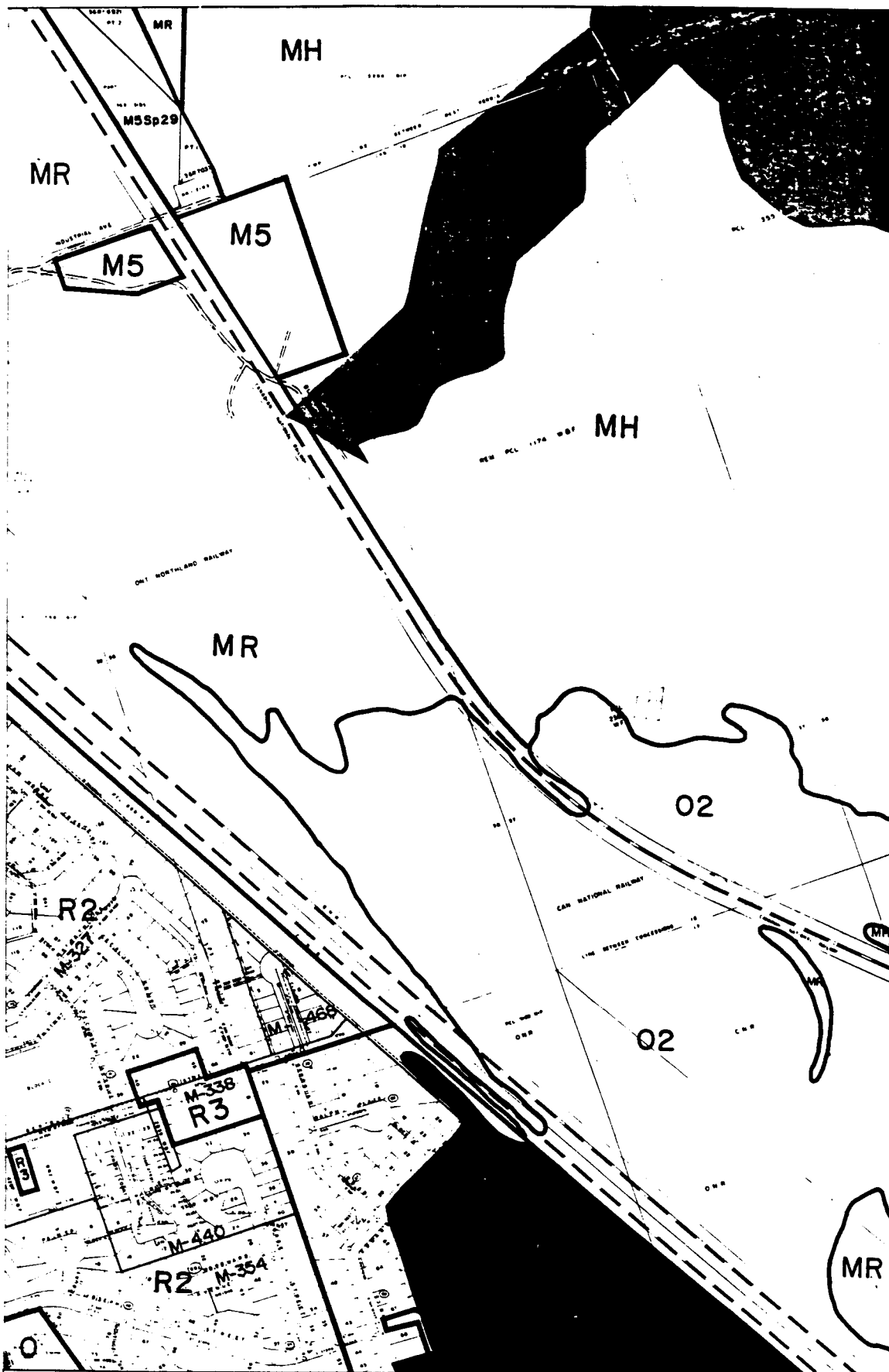
SCHEDULE

B-60

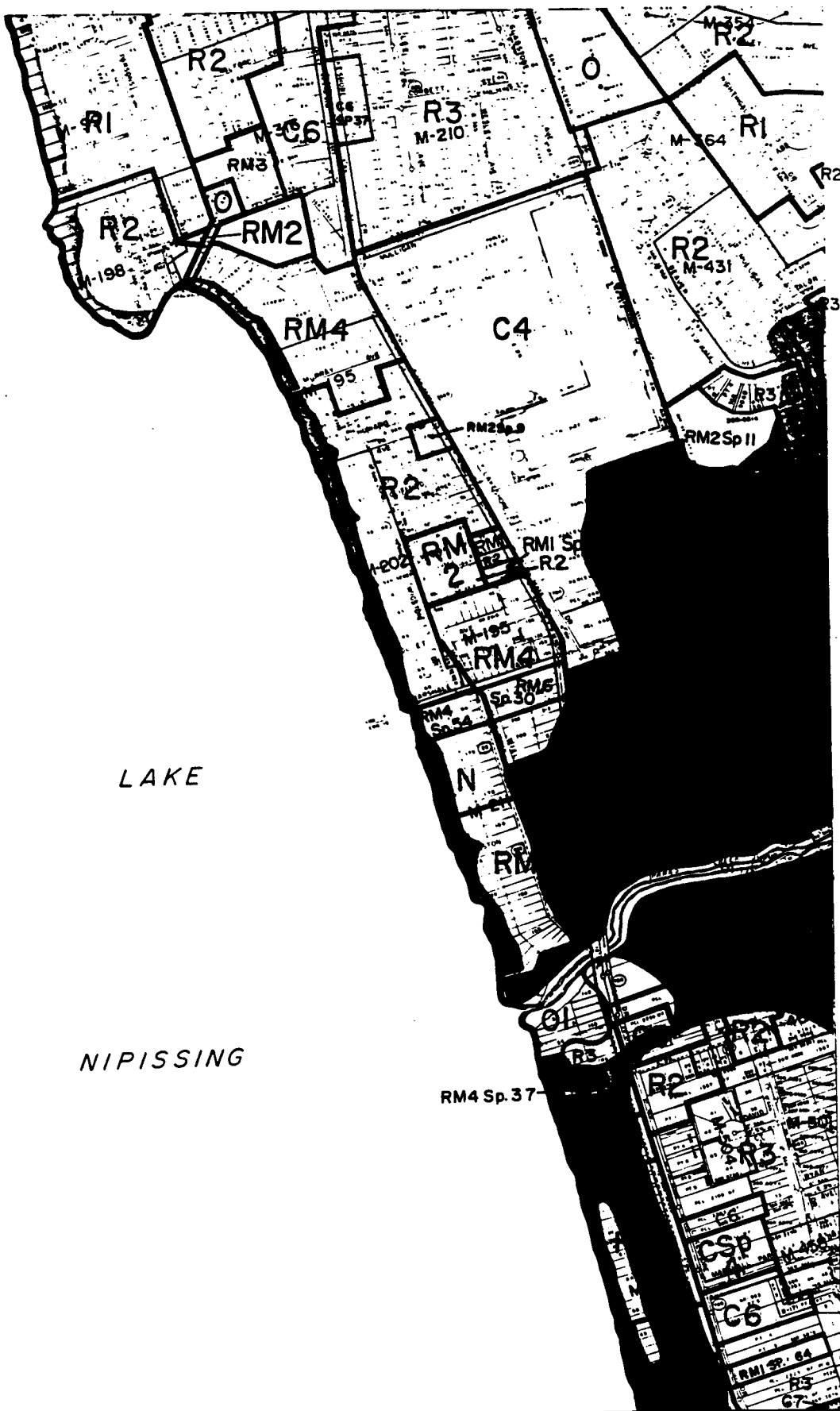
0 50 100
METRES

CITY OF NORTH BAY
ZONING BY-LAW NO. 28-80

SITE PLAN CONTROL - SEE SECTION 3.38 (a)



<p>SCHEDULE B - 61</p> <p>0 50 100 METRES</p>	<p>CITY OF NORTH BAY ZONING BY-LAW NO. 28-80</p> <p><small>SITE PLAN CONTROL - SEE SECTION 3.38(4)</small></p>
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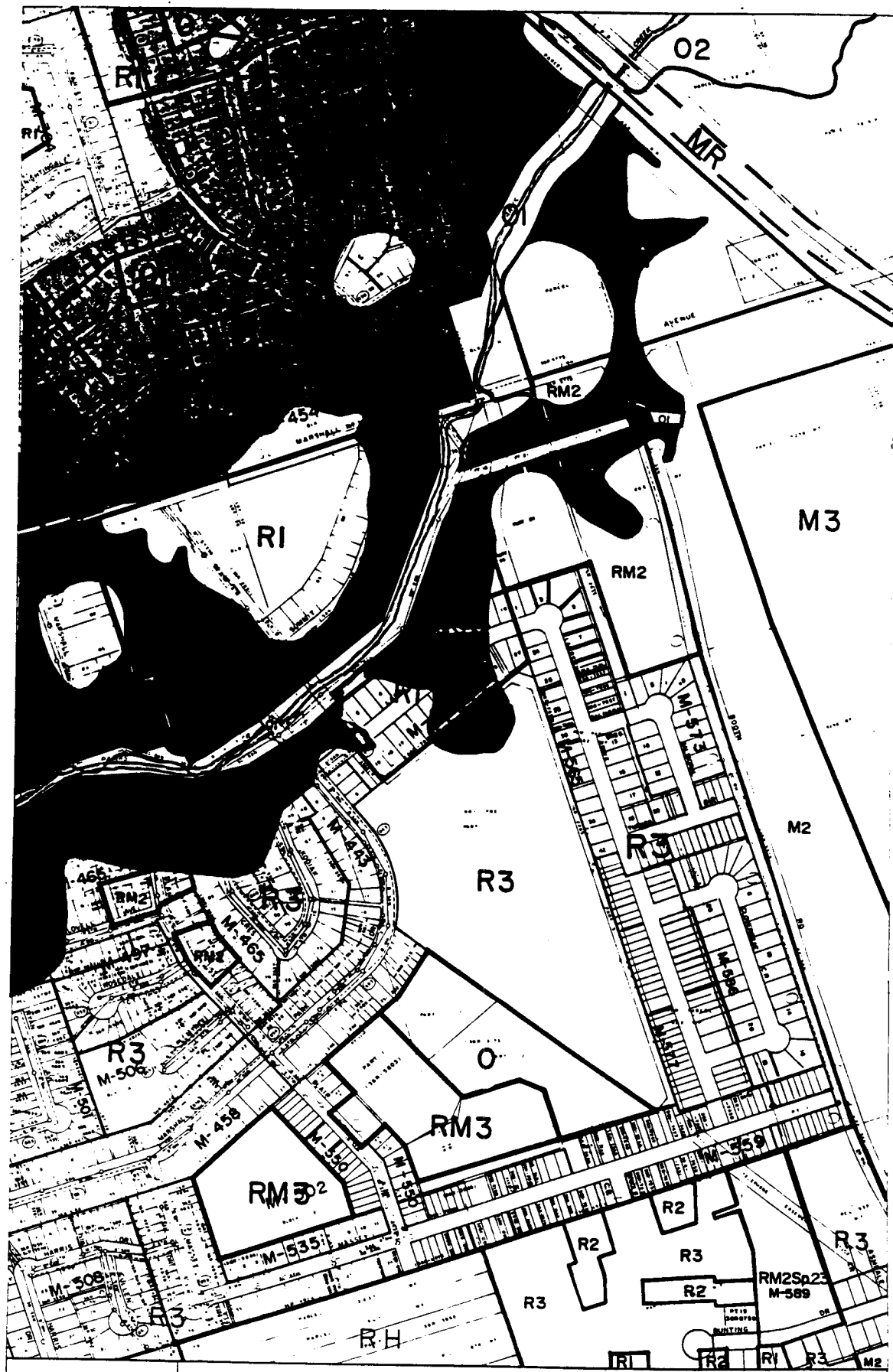
SCHEDULE

B - 70

0 50 100
METRES

CITY OF NORTH BAY
ZONING BY-LAW NO. 28-80

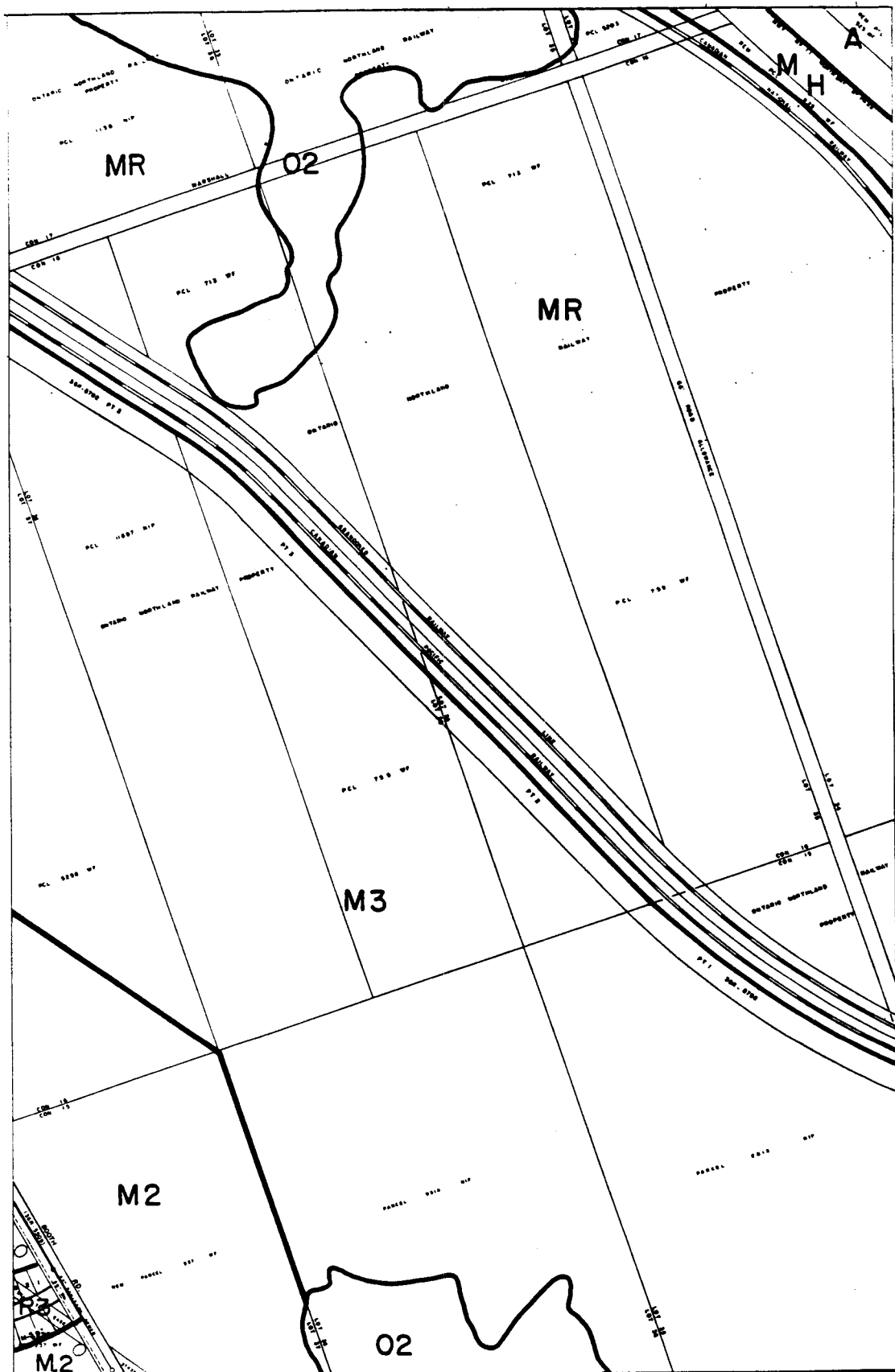
SITE PLAN CONTROL - SEE SECTION 3.38(1)



SCHEDULE
B - 71
 0 50 100
 METRES

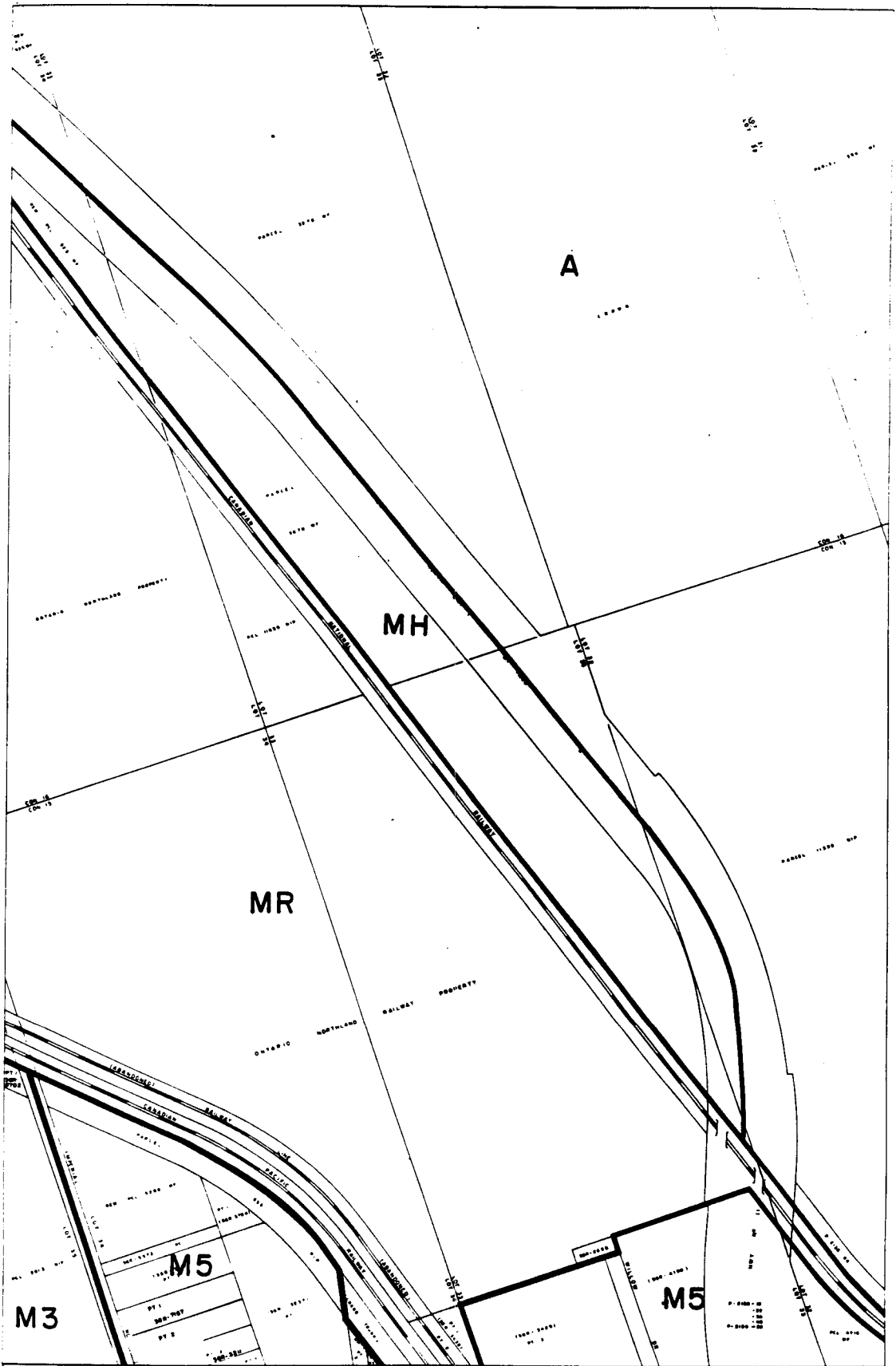
CITY OF NORTH BAY
ZONING BY-LAW NO. 28-80

SITE PLAN CONTROL - SEE SECTION 3.30 (a)

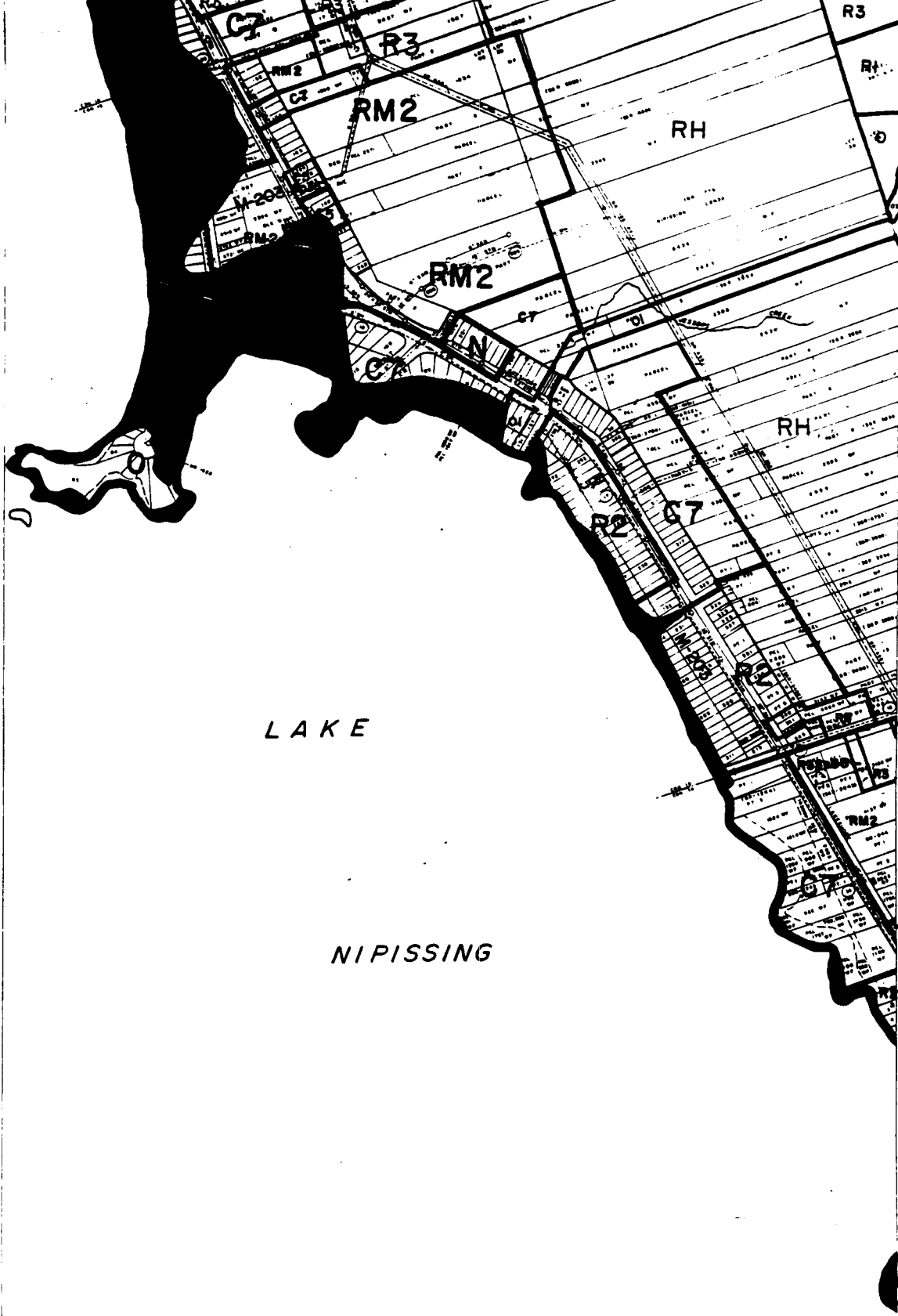


SCHEDULE
B-72
0 50 100
METRES

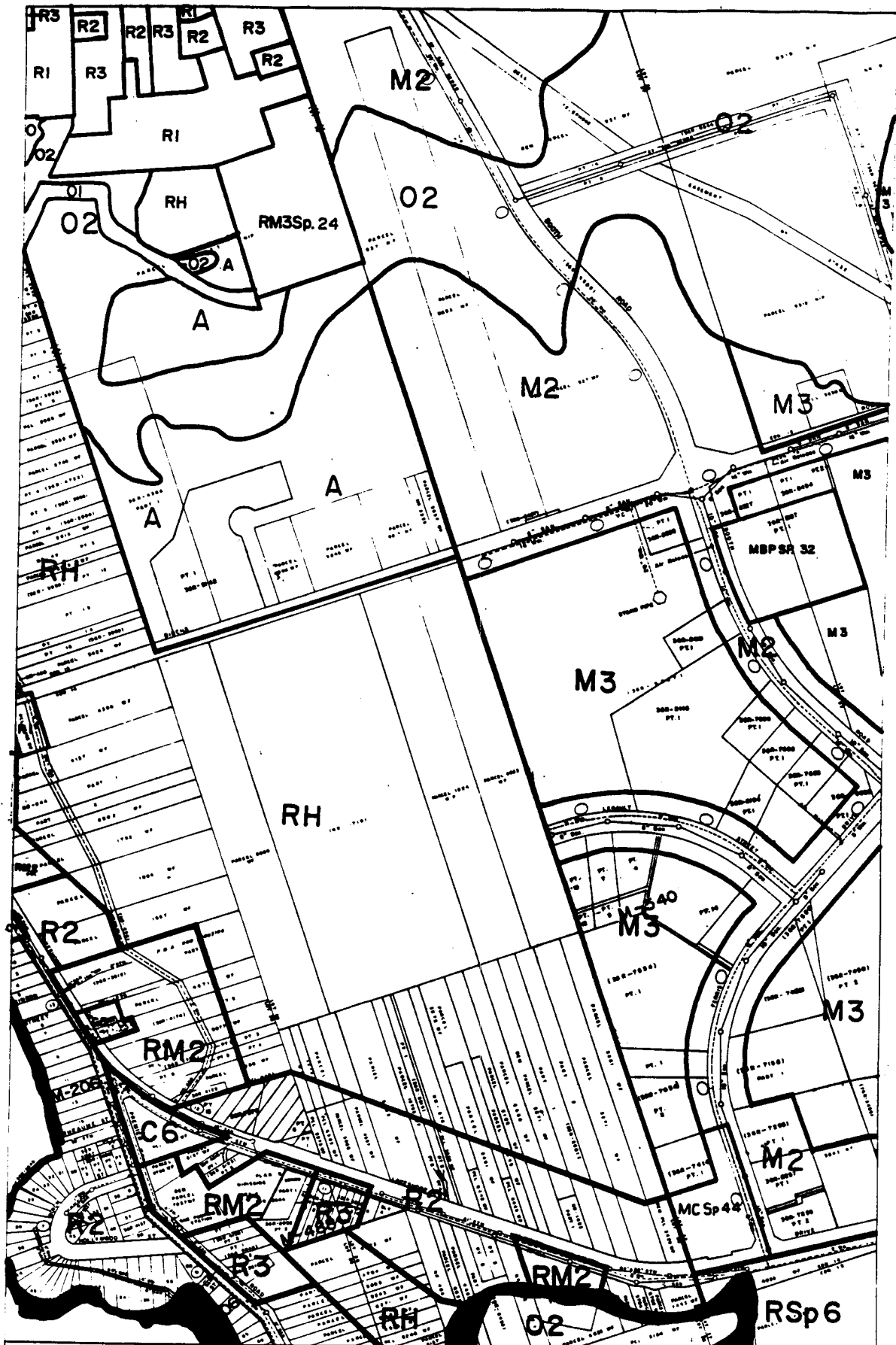
CITY OF NORTH BAY
ZONING BY-LAW NO. 28-80



<p>SCHEDULE</p>	<p>CITY OF NORTH BAY</p>
<p>B - 73</p>	
<p>0 50 100 METRES</p>	



<p>SCHEDULE B - 80</p> <p>0 50 100 METRES</p>	<p>CITY OF NORTH BAY ZONING BY-LAW NO. 28-80</p> <p><small>SITE PLAN CONTROL - SEE SECTION 5.30 (c)</small></p>
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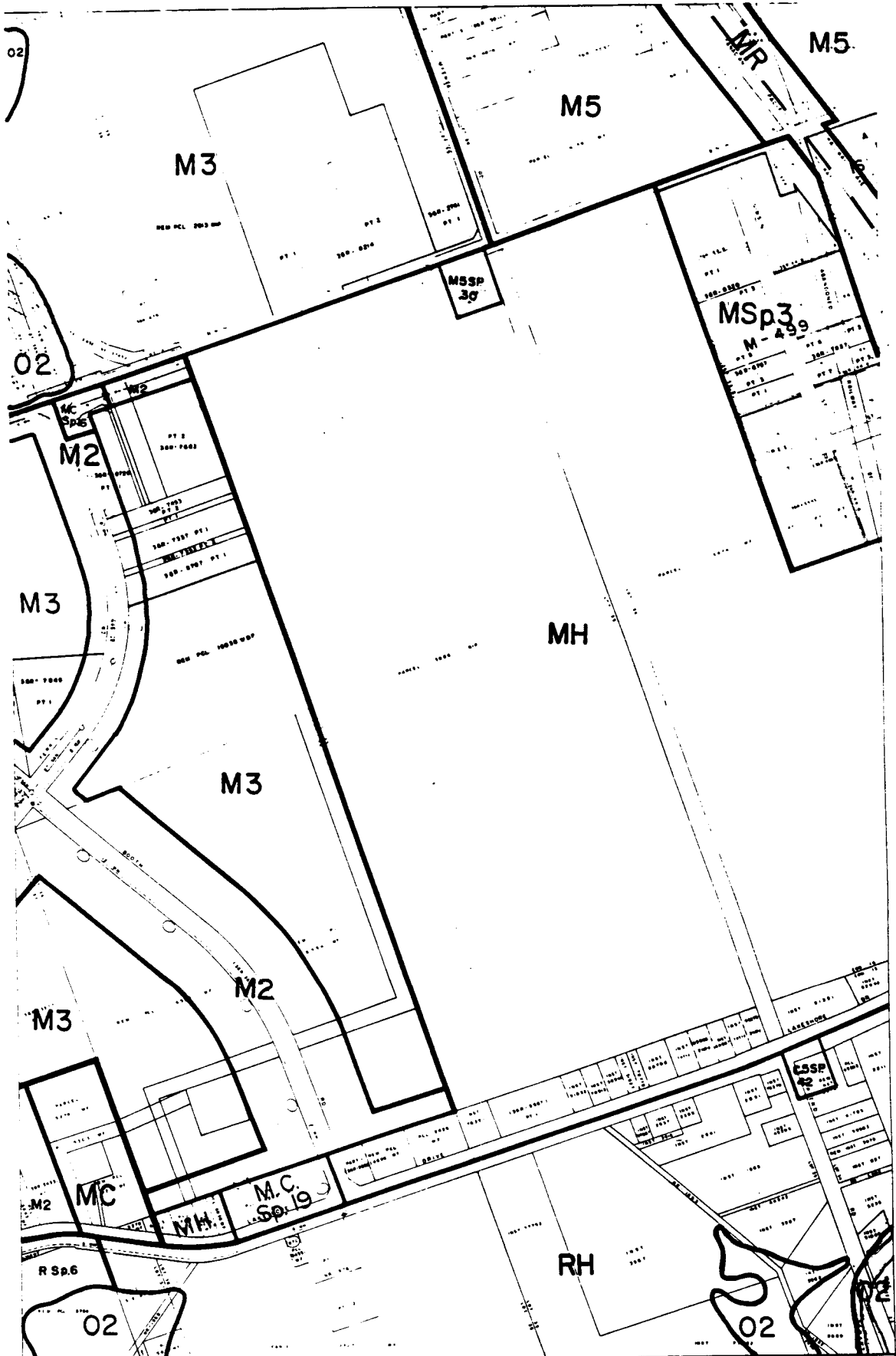
SCHEDULE

B - 81

0 50 100
METRES

**CITY OF NORTH BAY
ZONING BY-LAW NO. 28-80**

SITE PLAN CONTROL - SEE SECTION 5.20(1)

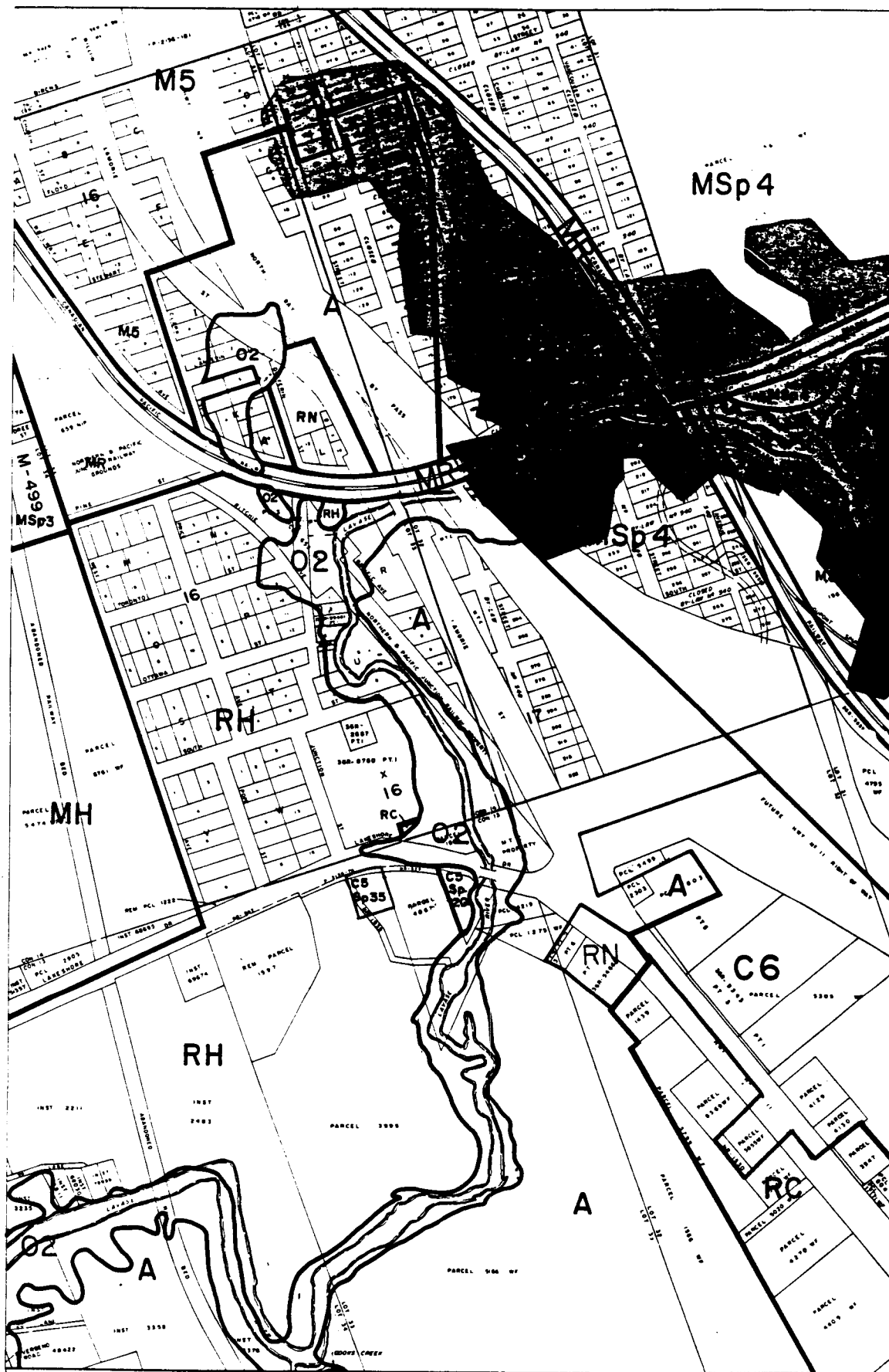


SCHEDULE

B-82

0 50 100
METRES

CITY OF NORTH BAY
ZONING BY-LAW NO. 28-80



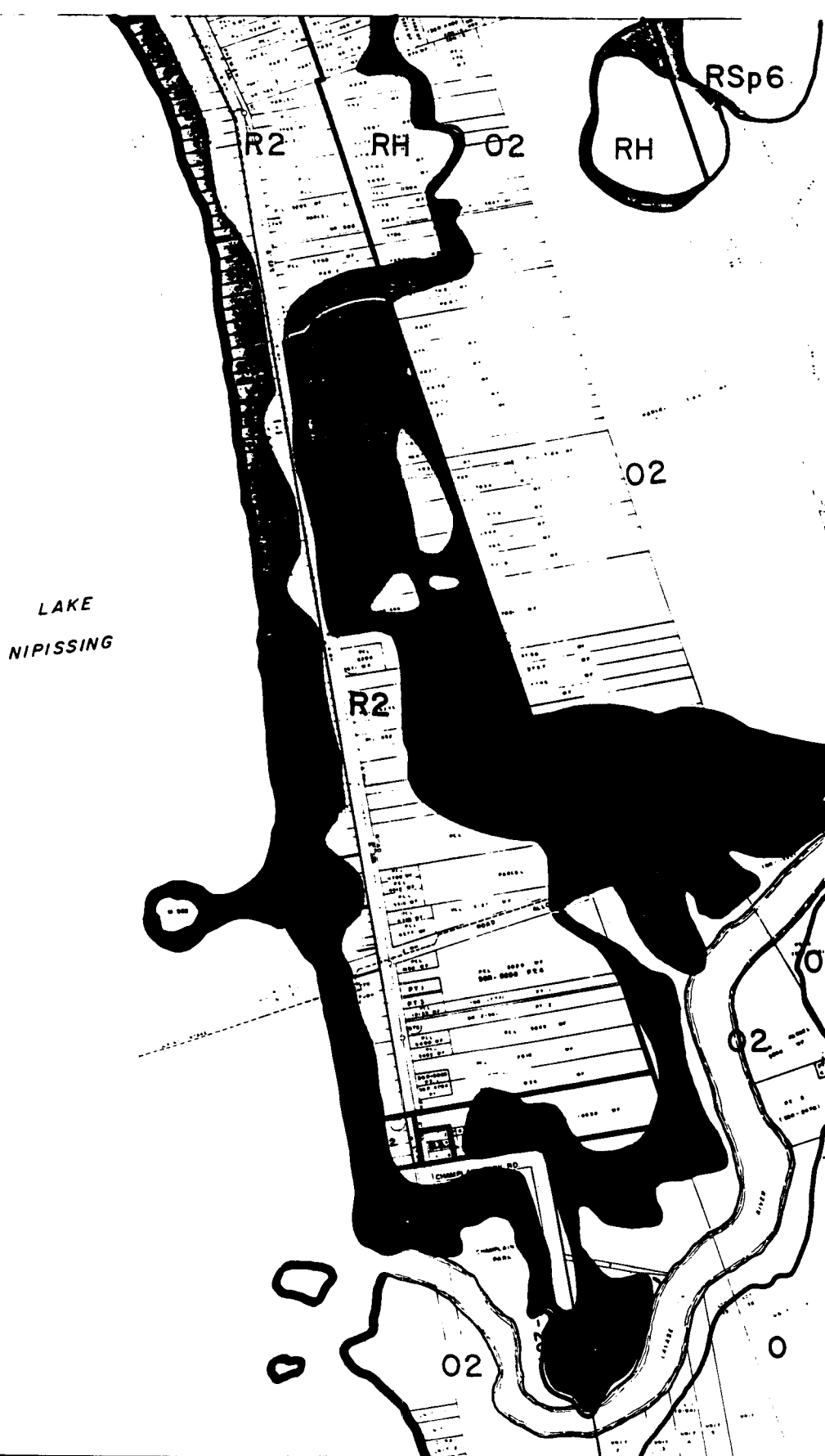
SCHEDULE

B-83

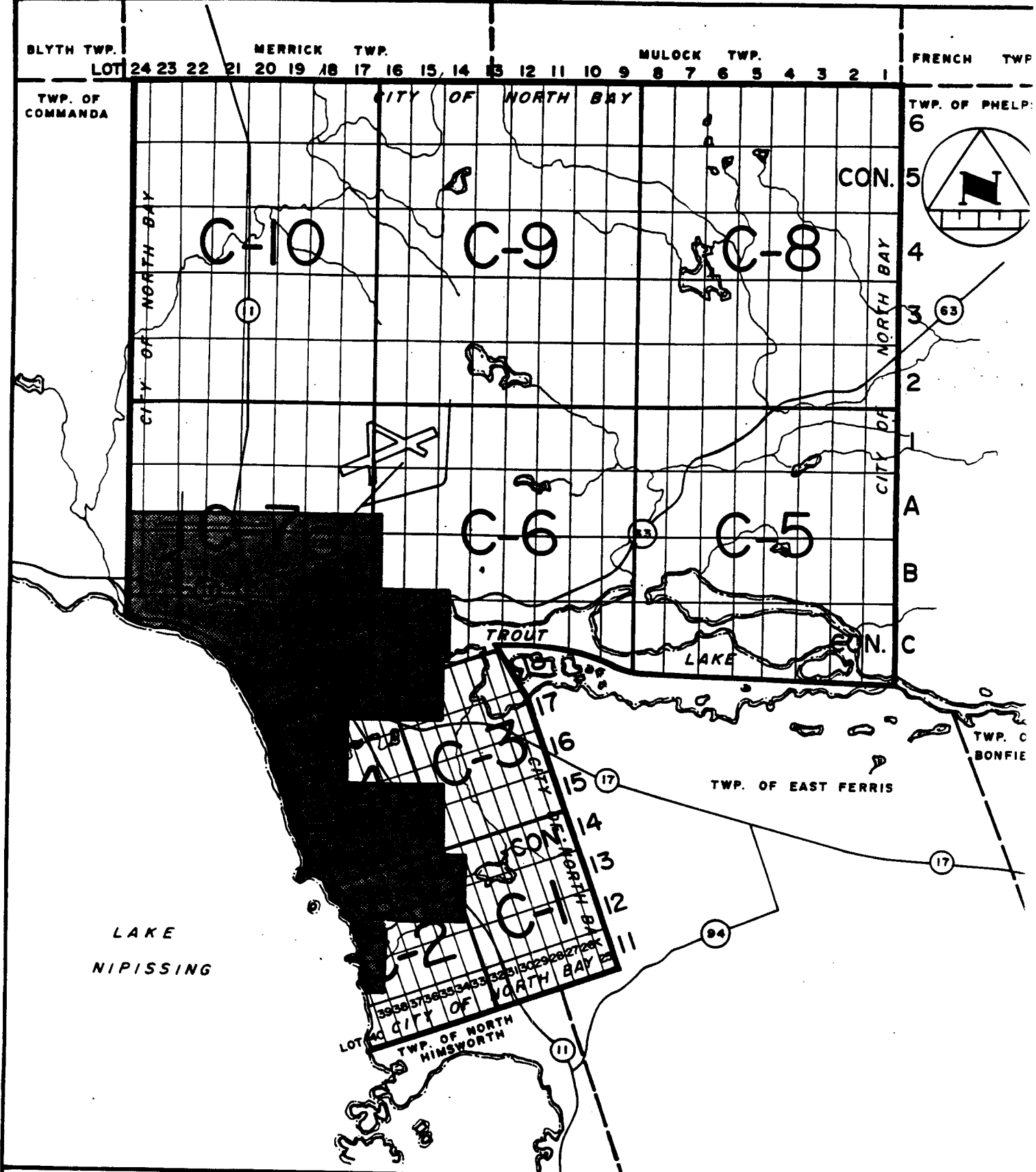
0 50 100
METRES

CITY OF NORTH BAY
ZONING BY-LAW NO. 28-80

SITE PLAN CONTROL - SEE SECTION 3.38(1)



<p>SCHEDULE B - 90 0 50 100 METRES</p>	<p>CITY OF NORTH BAY ZONING BY-LAW NO. 28-80</p> <p><small>1. SITE PLAN CONTROL - SEE SECTION 3.30 (1)</small></p>
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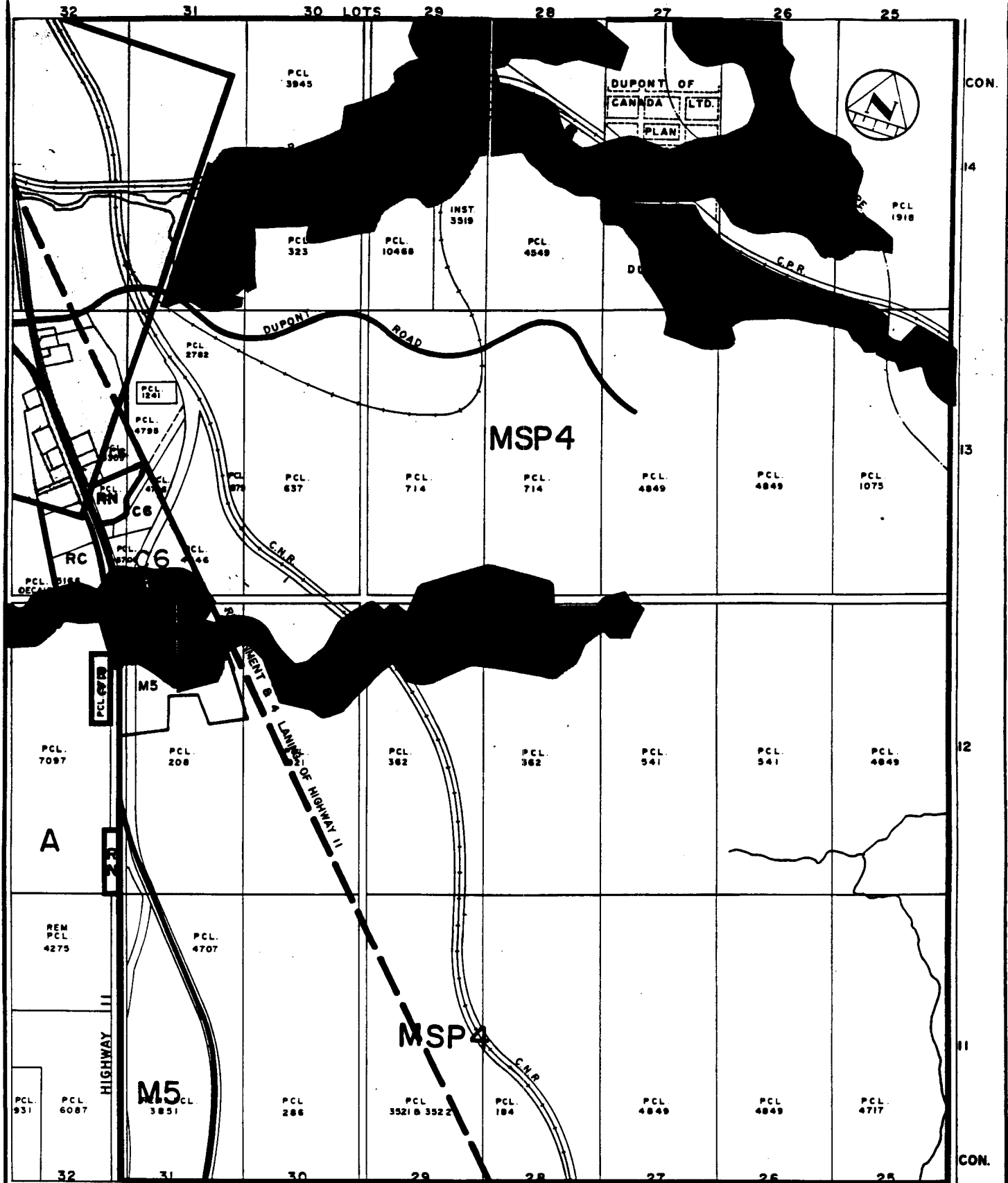
SCHEDULE

C

CITY OF NORTH BAY

ZONING BY-LAW N^o. 28-80

KEY MAP



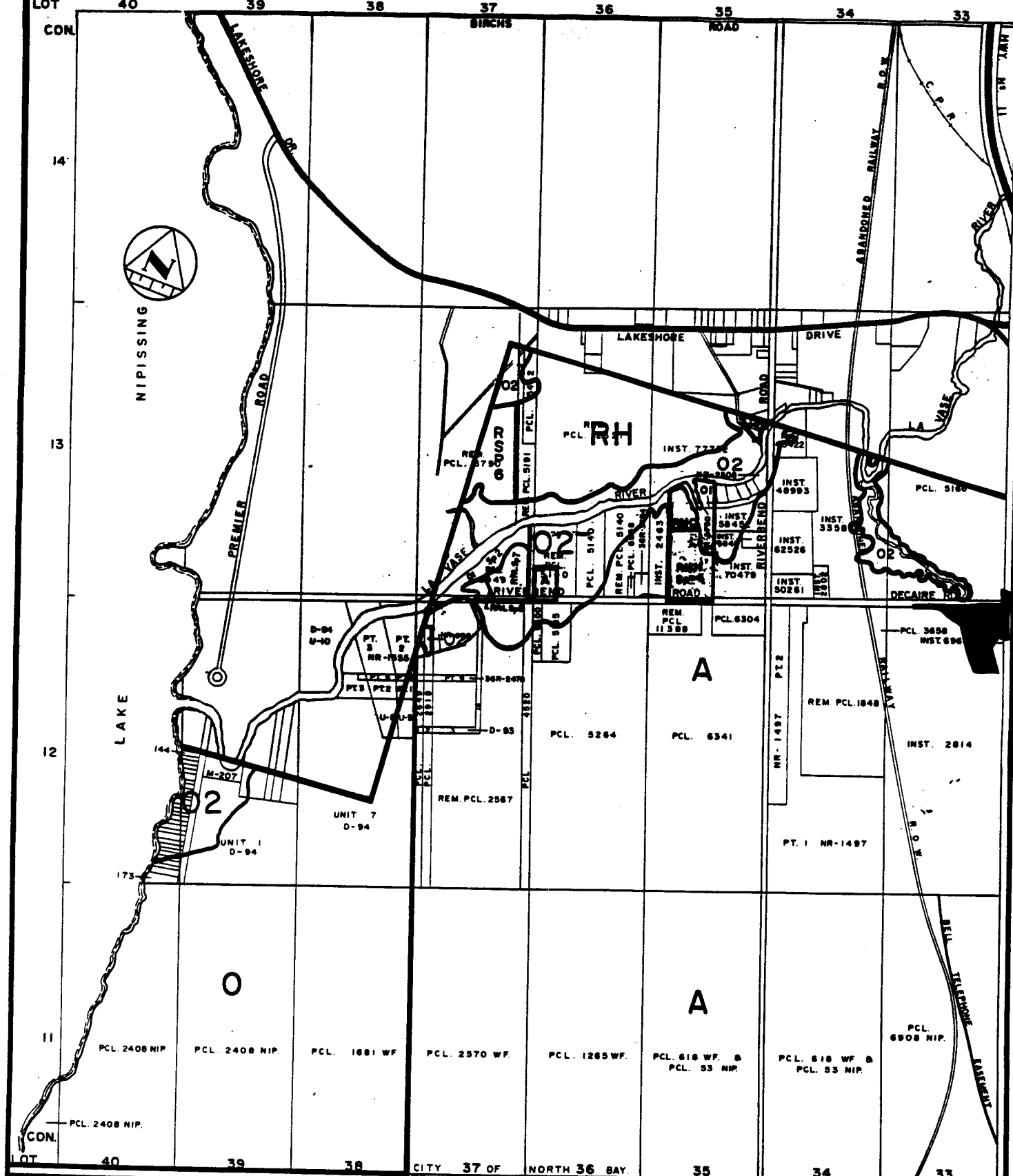
SCHEDULE

C1

0 200 400
METRES

CITY OF NORTH BAY
ZONING BY-LAW N^o. 28-80

SITE PLAN CONTROL - SEE SECTION 3.38 (a)



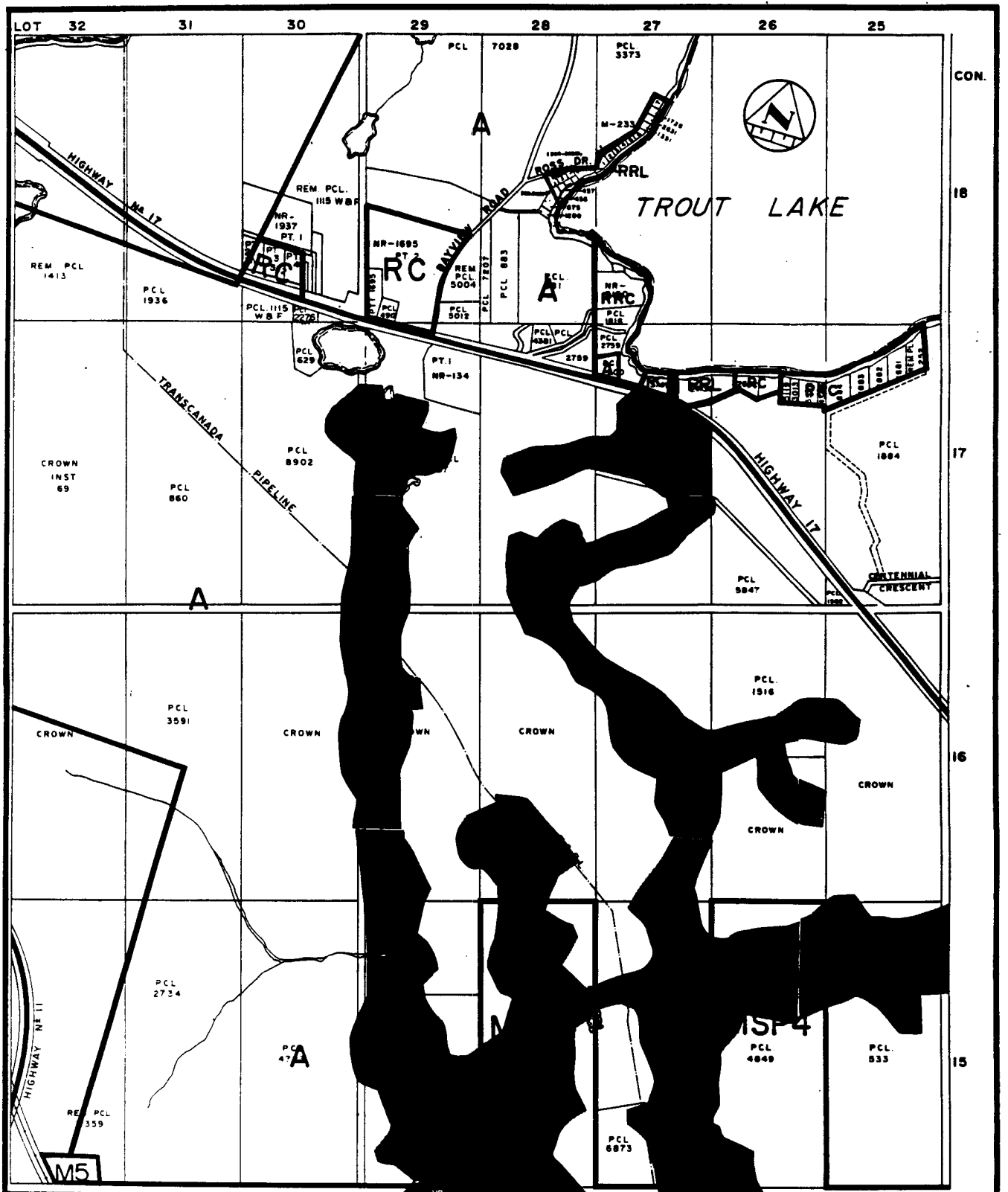
SCHEDULE

C 2

0 200 400 METRES

CITY OF NORTH BAY
 ZONING BY-LAW No. 28-80

SITE PLAN CONTROL - SEE SECTION 3.38 (c)

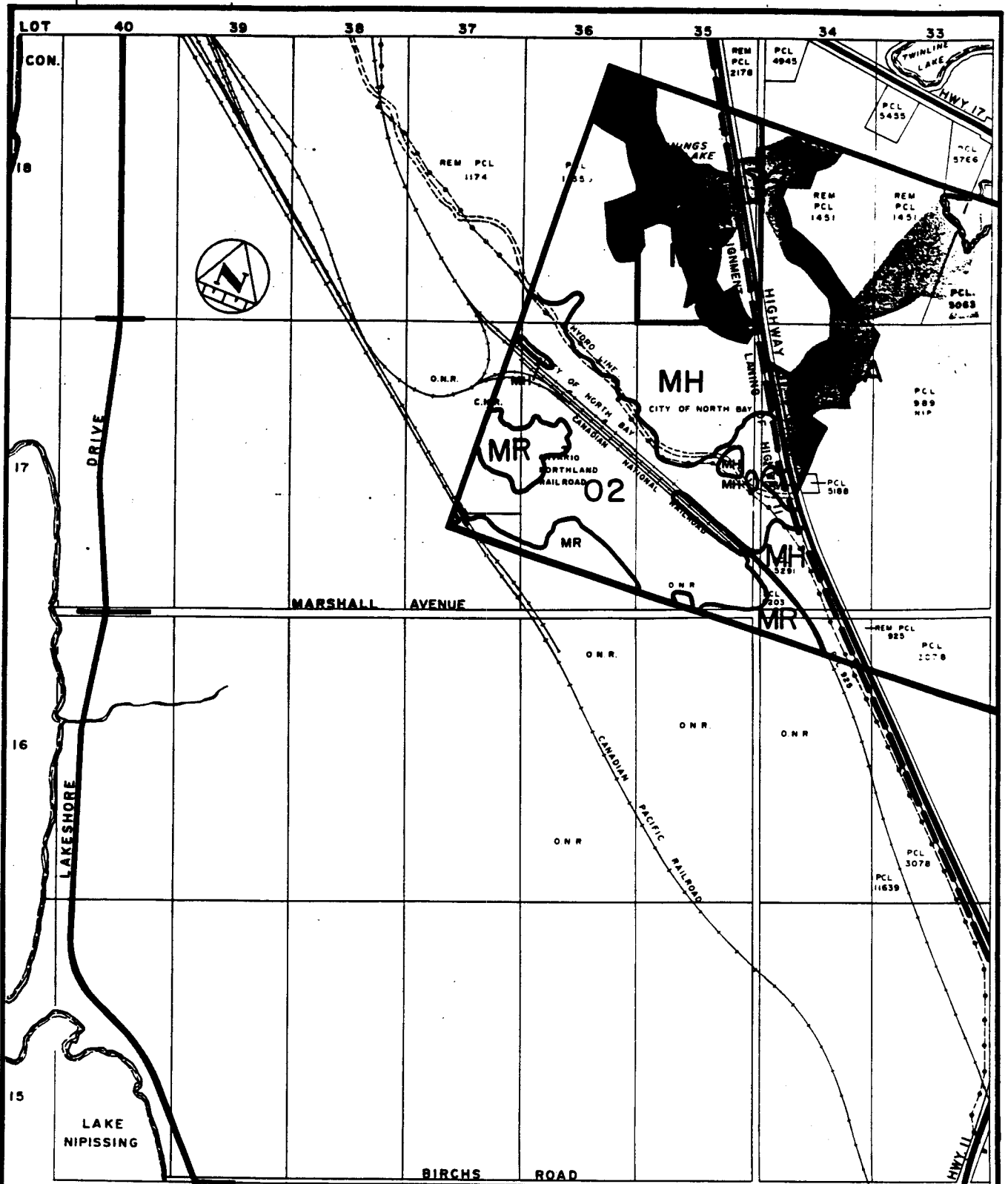


C 3

0 200 400
METRES

CITY OF NORTH BAY
ZONING BY-LAW NO. 28-80

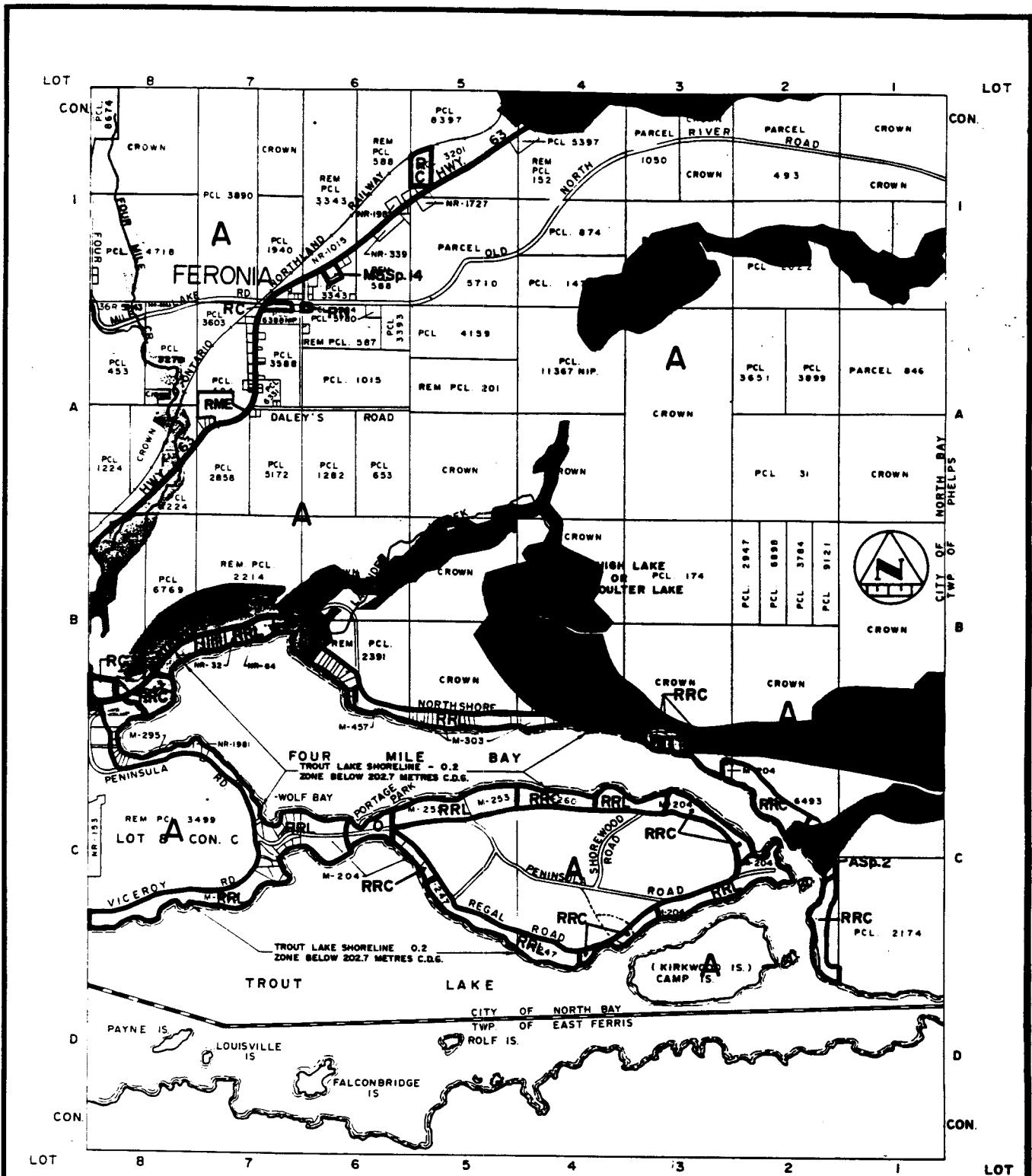
SITE PLAN CONTROL - SEE SECTION 3.38 (e)



SCHEDULE
C4
 0 200 400
 METRES

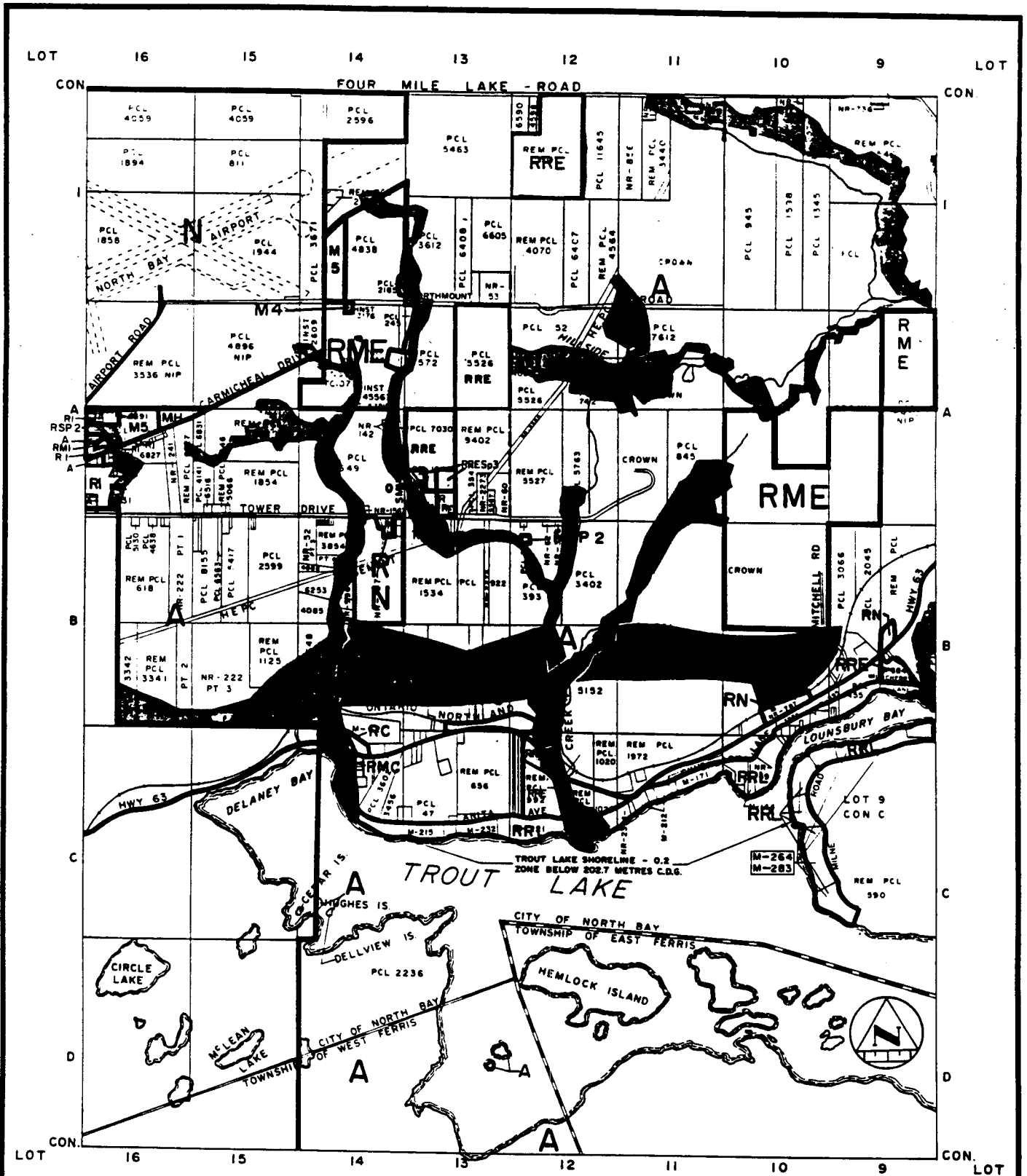
CITY OF NORTH BAY
 ZONING BY-LAW N^o. 28-80

SITE PLAN CONTROL - SEE SECTION 3.38 (e)



SCHEDULE
C5
 0 400 800
 METRES

CITY OF NORTH BAY
 ZONING BY-LAW No. 28-80
 SITE PLAN CONTROL - SEE SECTION 3.28 (e)



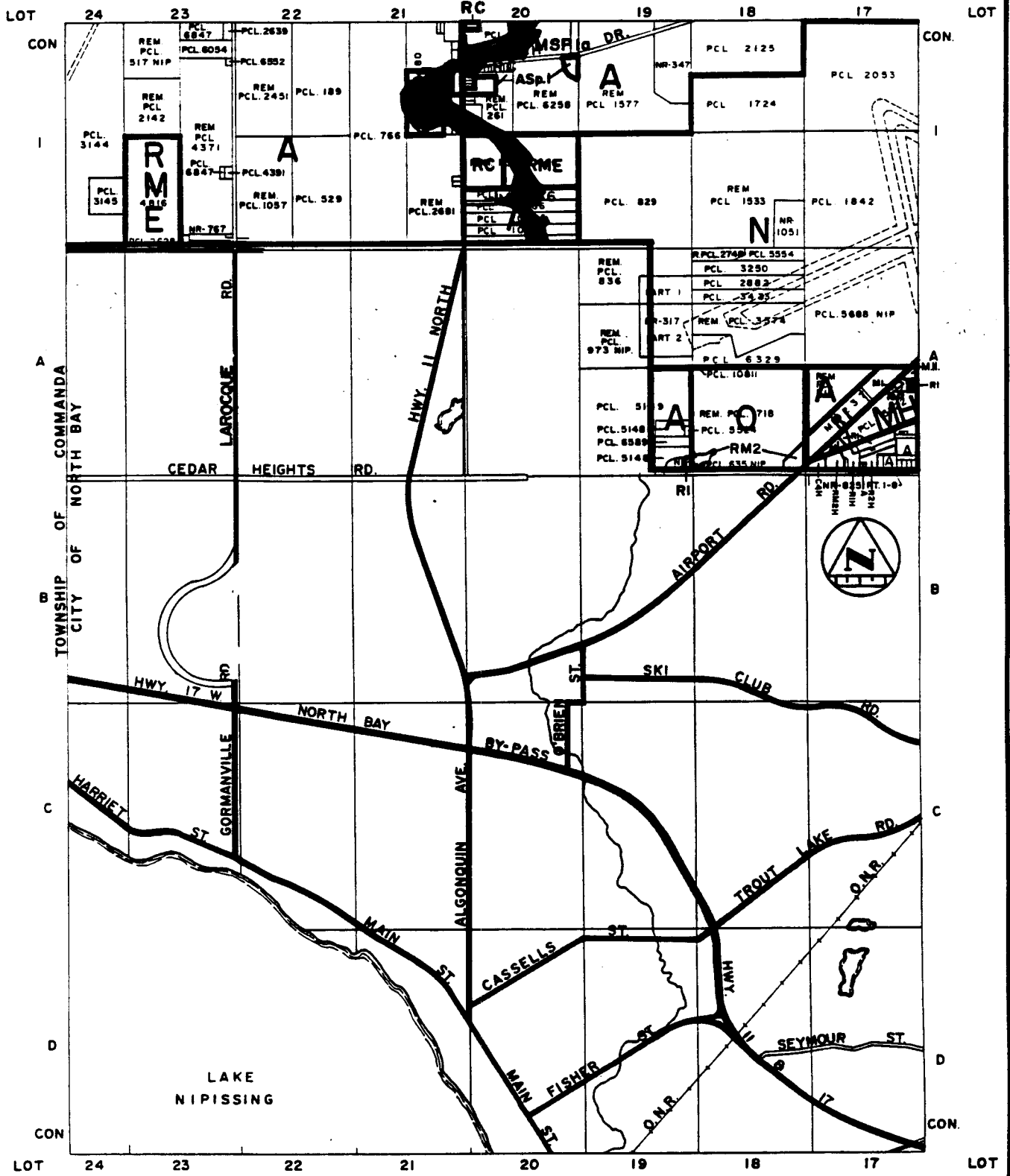
SCHEDULE

C 6

0 400 800 METRES

CITY OF NORTH BAY ZONING BY-LAW N^o. 28-80

SITE PLAN CONTROL - SEE SECTION 3.38 (e)



SCHEDULE

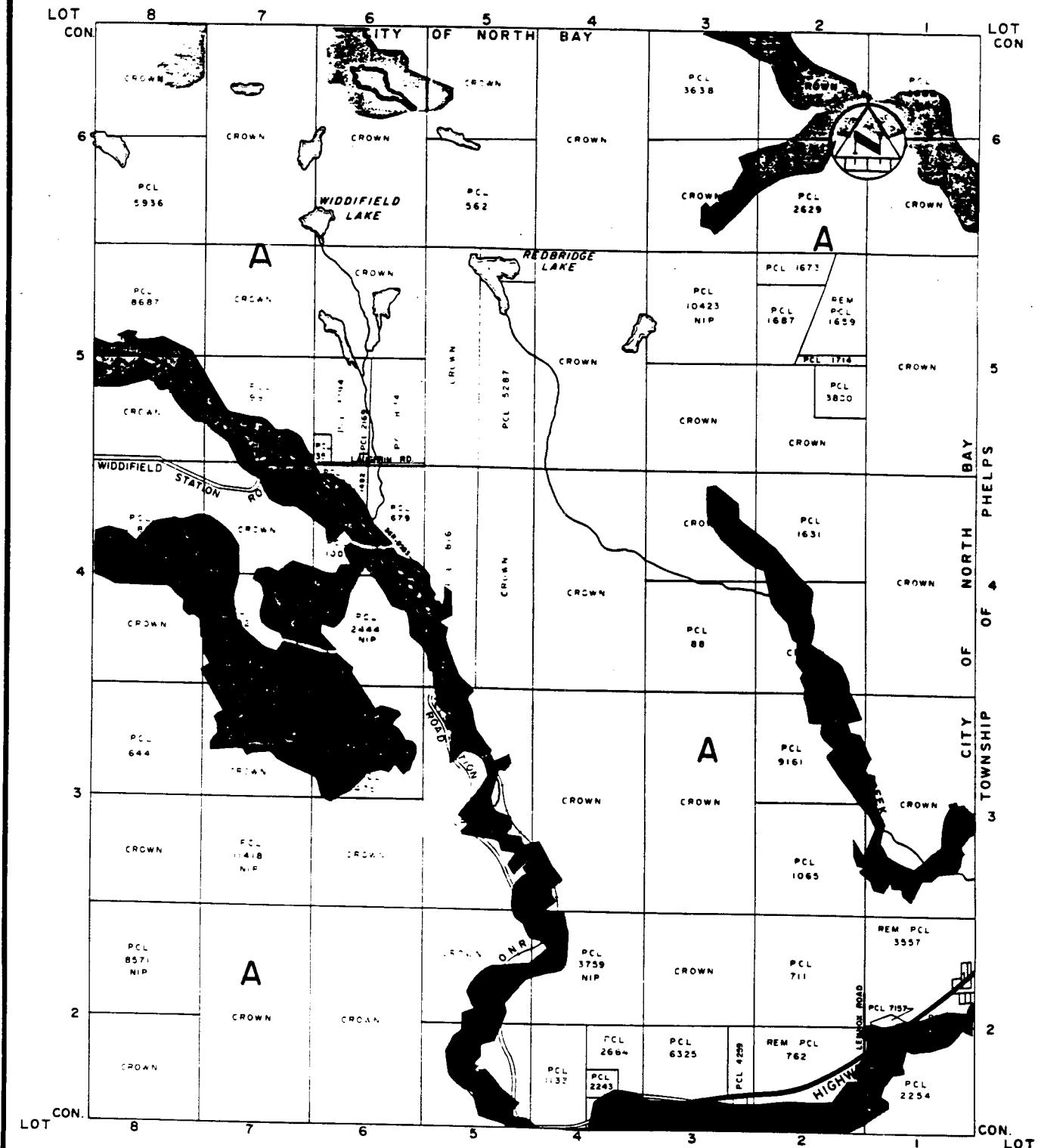
C7

0 400 800
METRES

CITY OF NORTH BAY
ZONING BY-LAW No. 28-80

SITE PLAN CONTROL - SEE SECTION 3.30(6)

TOWNSHIP OF MULOCK



SCHEDULE

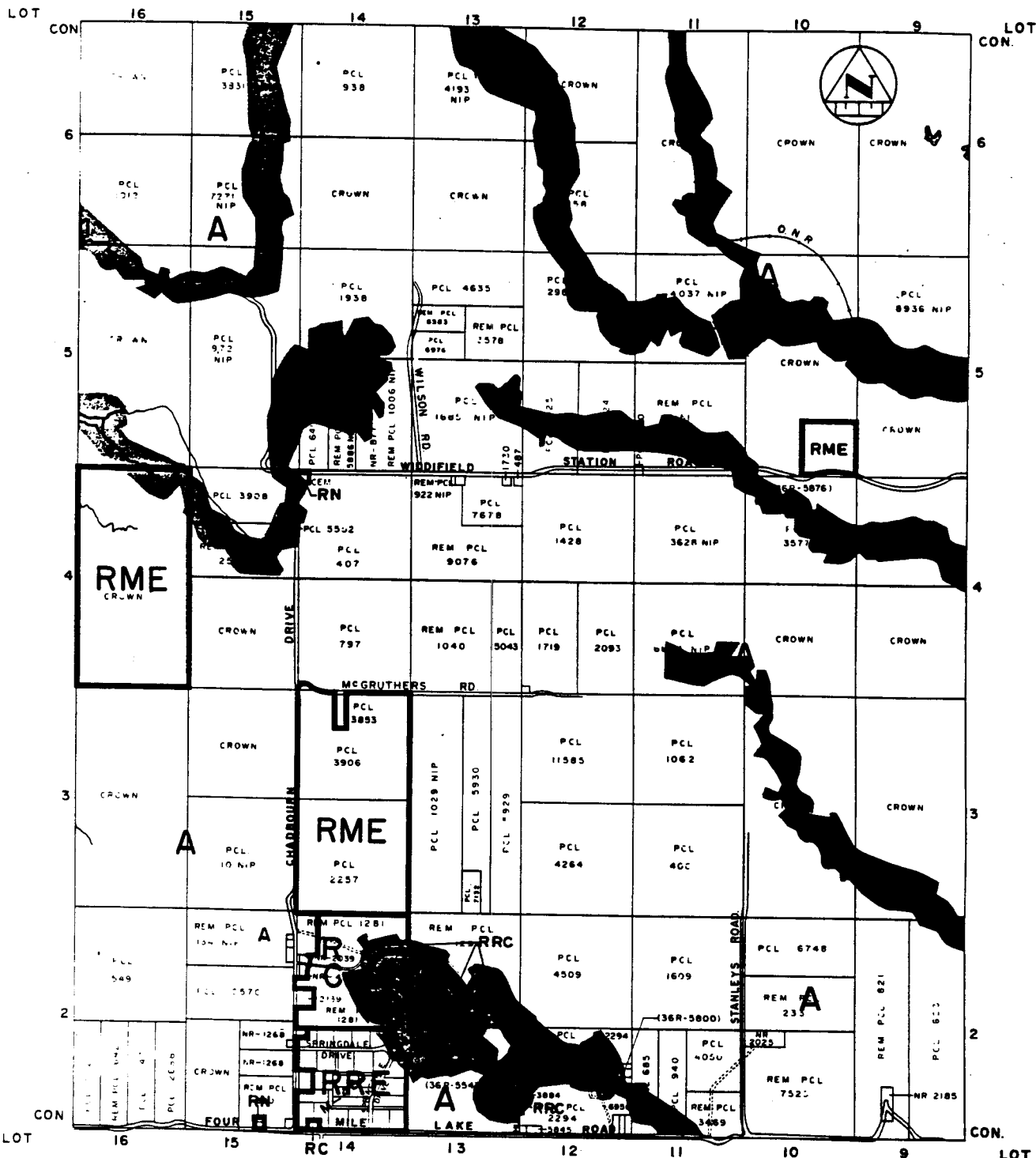
C8

0 400 800 METRES

CITY OF NORTH BAY
ZONING BY-LAW No. 28-80

SITE PLAN CONTROL - SEE SECTION 3.38 (a)

TOWNSHIP OF MULOCK



SCHEDULE

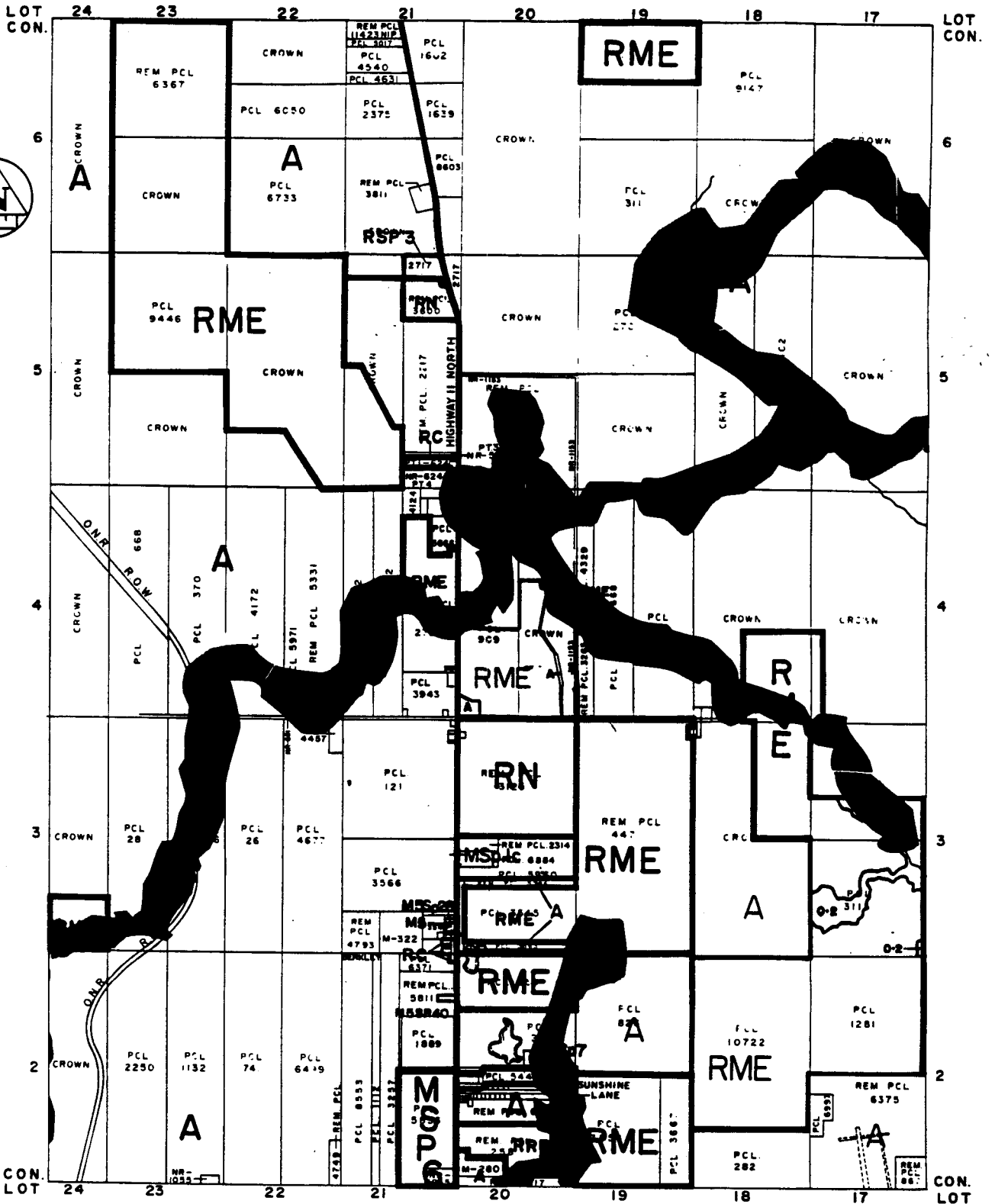
C9

0 400 800
METRES

CITY OF NORTH BAY
ZONING BY-LAW No. 28-80

SITE PLAN CONTROL - SEE SECTION 3.30 (a)

TOWNSHIP OF MERRICK



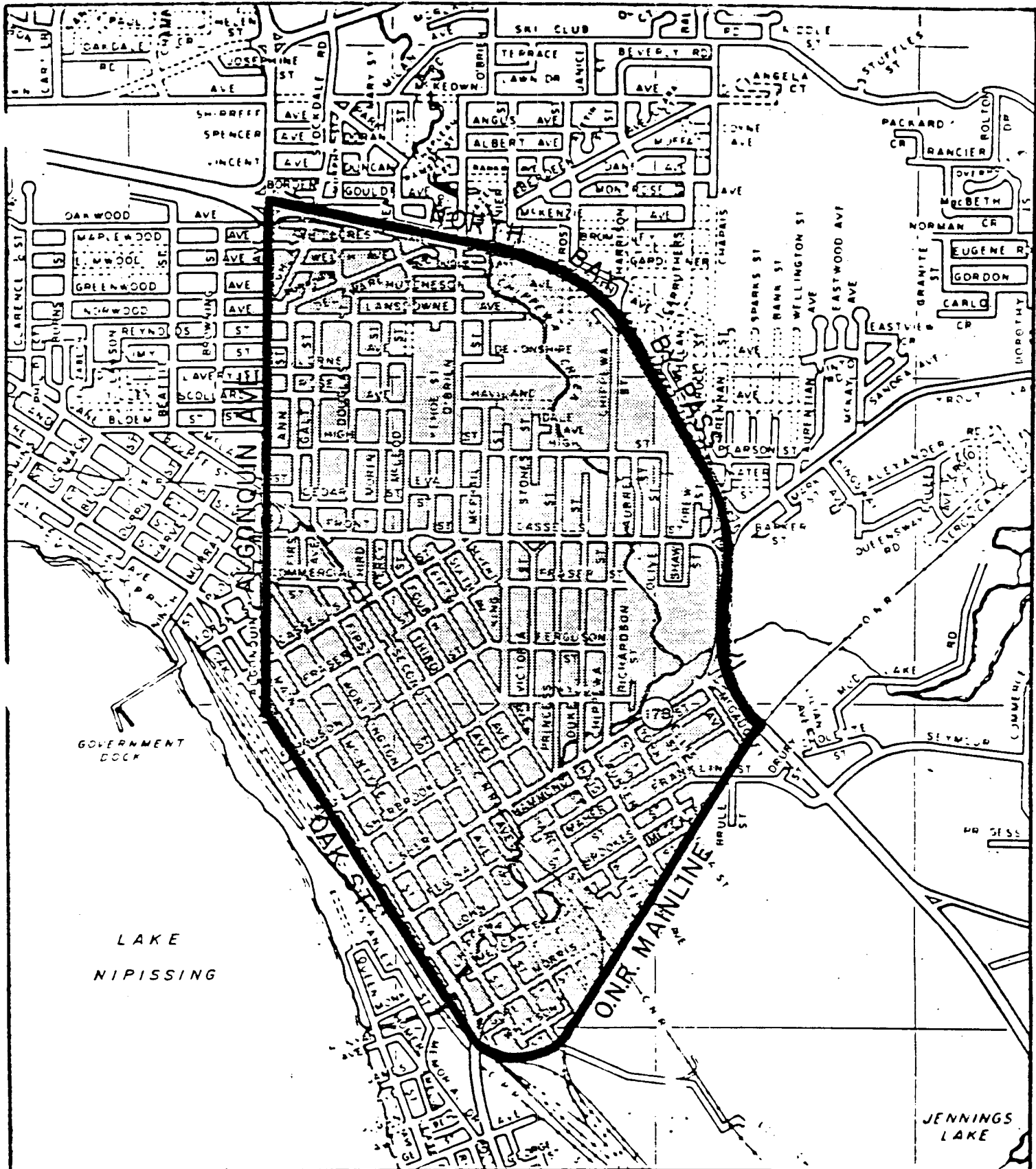
SCHEDULE

C10

0 400 800 METRES

CITY OF NORTH BAY ZONING BY-LAW N^o. 28-80

SITE PLAN CONTROL - SEE SECTION 3.38(4)



SCHEDULE

D

CITY OF NORTH BAY
ZONING BY-LAW No. 28-80
RESIDENTIAL CONVERSION AREA

RESIDENTIAL ZONES

SECTION 5 - RESIDENTIAL ZONES

5.1 General Provisions

- 5.1.1 Notwithstanding any other provisions of this By-law, where a building is erected on a key lot, the minimum front yard shall be the average of the front yard required for the adjacent interior lot and the exterior side yard required for the adjacent corner lot, except that where buildings are located on either or both said adjacent lots with setbacks less than those required herein, the actual setbacks shall be used in establishing the front yard setback of said key lot. **KEY LOT SETBACK**
- 5.1.2 Not more than one dwelling, unless part of a dwelling group as defined in Section 2.45 of this By-law, may be built on any lot. A dwelling may be erected on the sole parcel of land remaining to any owner and comprising part of one or more lots on a registered plan, as long as such parcel complies with the provisions of the Residential Zone in which it is located. **ONE DWELLING PER LOT**
- 5.1.3 On a lot having a frontage of at least fifteen (15) metres on a public street and extending from the said street to the shore of Lake Nipissing, a single detached dwelling may be erected on that portion of the lot nearest to the said street and a second house may be erected on that portion of the lot nearest to Lake Nipissing, provided that: **SPECIAL LOT FRONTAGE PROVISIONS**
- 5.1.3.1 An easement having a width of at least four and five-tenths (4.5) metres shall be provided for the house on that portion of the lot nearest to Lake Nipissing and the said easement shall constitute, for the purposes of this By-law, sufficient frontage;

- 5.1.3.2 Where the house nearest to the street has been lawfully erected prior to the passing of this By-law, is set back less than four and five-tenths (4.5) metres but not less than three (3) metres from a side lot line, the easement required by Section 5.1.3.1 shall be not less than three (3) metres in width, and **SPECIAL LOT FRONTAGE PROVISIONS**
- 5.1.3.3 all other relevant regulations in this By-law are complied with.
- 5.1.4 No Day Nursery is permitted in any Residential Zone except in accordance with the provisions of Section 5.1.11 of this By-law and subject to the provisions of The Day Nurseries Act, R.S.O. 1990, Chapter D2 and Amendments thereto. **DAY NURSERY RESTRICTION**
- 5.1.5 5.1.5.1 In any Residential zone parking spaces shall be provided and maintained in an attached or detached private garage or carport, in a side or rear yard, or in the case of a front yard in an area that is well defined and occupies not more than fifty (50) percent of the lot area of the front yard. **RESIDENTIAL PARKING REGULATIONS**
- 5.1.5.2 All parking spaces shall be appropriately sited, graded and drained to ensure that storm water runoff and snow melt is directed away from abutting properties and toward municipal storm water catchment systems.
- 5.1.6 In any Residential zone no commercial motor vehicle shall be parked or stored on any lot except in a private garage and provided that: **COMMERCIAL MOTOR VEHICLE PARKING**
- 5.1.6.1 The capacity of said vehicle is not greater than one (1) tonne;

- 5.1.6.2 said vehicle is operated by the occupant of the dwelling unit on said lot, and **COMMERCIAL MOTOR VEHICLE PARKING**
- 5.1.6.3 said vehicle, if parked in a side or rear yard, is screened by an opaque fence one and eight-tenths (1.8) metres in height.
- 5.1.7 In any Residential zone no boat, snowmobile, motor home or similar recreational vehicle or equipment shall be parked in a front yard except in accordance with the policies contained within subsections 5.1.5.1 and 5.1.5.2 and with the following: **RECREATIONAL VEHICLE STORAGE**
- 5.1.7.1 Parking in the front yard shall be permitted provided that the parking area is not to be used as a permanent storage area;
- 5.1.7.2 the recreational vehicles being parked shall not interfere with visibility of traffic, public safety, or otherwise interfere with the enjoyment of the residential amenities of the neighbourhood;
- 5.1.7.3 in the case of a lot which fronts on a body of water, the mooring of boats or the parking of boats within a boathouse shall be permitted, and
- 5.1.7.4 the parking of travel trailers, boats, or recreational vehicles having a height of not more than one and eight-tenths (1.8) metres, including any accessory trailer, shall be permitted provided they do not encroach upon the municipal road allowance.
- 5.1.8 Notwithstanding any other provisions in this By-law, Mobile Home Parks **MOBILE HOME PARKS** for the permanent parking of mobile homes used for full-time living accommodation are only permitted subject to the following regulations:
- 5.1.8.1 Mobile homes shall be located within Mobile Home Parks of not less than two and eight-tenths (2.8) hectares in size and shall not have a density greater than twenty (20) units per hectare.

- 5.1.8.2 Mobile Home Parks shall be comprised of individual lots within a Registered Plan of Subdivision and there shall be no more than (1) mobile home located on any such lot.
- 5.1.8.3 Mobile Home Parks shall be provided with full Municipal services.
- 5.1.8.4 Every Mobile Home Park shall have immediately within its boundaries a buffer area of at least seven and six-tenths (7.6) metres in depth in which no lots, buildings or structures shall be permitted.
- 5.1.8.5 Mobile Home Parks shall be landscaped according to good design principles to complement the residential nature of the park.
- 5.1.8.6 No Mobile Home which is less than twelve (12) metres long and three (3) metres wide, shall be permitted within the Mobile Home Park.
- 5.1.8.7 Neighbourhood commercial uses, such as variety stores, coin operated laundries and barber shops shall not occupy more than ten (10) percent of the total area of any Mobile Home Park and shall be subordinate to the residential use and character of the Park. Such commercial facilities will require an Amendment to this By-law and shall be located, designed and intended to serve frequent trade or service needs of people living in the Park and shall present no visible evidence of their commercial character to any part of a residential area outside the Park.

**MOBILE
HOME PARKS**

- 5.1.9 In any Residential (R) zone, buildings in a new development shall be erected and used in conformity with the comprehensive scheme of development

**DENSITY
CONTROL**

in the Secondary Plan which implements the density requirements established in the Official Plan and in the Sewer Needs Study of the City of North Bay for the neighbourhood in which said development is located by an Amendment to this By-law.

**DENSITY
CONTROL**

- 5.1.10 No recreational, institutional or public building located in any Residential (R) zone shall be situated closer than one-half (1/2) the height of said building or seven and six-tenths (7.6) metres, whichever is the greater, to any property line on the site on which said building is located.
- NON-RESIDENTIAL
BUILDINGS**
- 5.1.10.1 No Day Nursery may be located in an (R1), (R2), (R3) or (R4) zone unless it is within an institutional or public building located in that zone such as a school, a church, a public or private club or other such use. In all other Residential (R) zones a Day Nursery may be located in any building subject to the residential character of the area not being altered.
- DAY
NURSERY**
- 5.1.11 Notwithstanding any other provisions in this By-law, Group Homes are only permitted subject to the following regulations:
- 5.1.11.1 Occupancy of any Group Home shall be limited to a maximum of ten (10) unrelated residents;
- 5.1.11.2 no Group Home shall be closer than two hundred metres to any other Group Home.
- 5.1.12 **Residential Conversion Area**
- 5.1.12.1 In this section "Residential Conversion Area" means the area shown on Schedule "D" hereto and is that area bounded by the Ontario Northland Railway main line, the Highway No. 11 By-pass, Algonquin Avenue and Oak Street.
- 5.1.12.2 A building or structure constructed prior to March 3, 1980 in an R.3, RM.1 or RM.2 zone in the Residential Conversion Area may be altered for use as converted dwelling units provided that:
- 5.1.12.2.1 The minimum lot area for each converted dwelling unit shall be at least 186 square metres;

- 5.1.12.2.2 the minimum lot frontage for the converted dwelling shall be at least 9 metres;
- 5.1.12.2.3 the maximum lot coverage of the converted dwelling shall not exceed 35%;
- 5.1.12.2.4 each converted dwelling unit shall have the following minimum area:
- i) converted bachelor dwelling unit - 28 sq.m.
 - ii) converted 1-bedroom dwelling unit - 42 sq.m.
 - iii) converted 2-bedroom dwelling unit - 56 sq.m.
 - iv) converted 3-bedroom dwelling unit - 70 sq.m.
- 5.1.12.2.5 there shall be at least 1 parking space for each converted dwelling unit;
- 5.1.12.2.6 any converted dwelling unit located in a cellar shall not be more than 75% below grade;
- 5.1.12.2.7 the foundation walls or roof of a building shall not be extended into a required front yard, side yard or rear yard unless for a fire escape required by The Building Code or The Fire Code or an existing roofed porch may be enclosed to provide a common vestibule in a front yard or a rear yard according to Section 3.17;
- 5.1.12.2.8 no converted dwelling in an R.3 zone shall contain more than two (2) converted dwelling units, and no converted dwelling units in an RM.1 zone shall contain more than four (4) converted dwelling units, and
- 5.1.12.2.9 except as hereby expressly varied, all other applicable provisions of this By-law shall apply.

5.2 **Residential Low Density Zones**

5.2.1 No land, building or structure shall be hereafter erected or used or caused to be erected or used in any of the following Low Density Residential zones unless for a use within a zone designated as follows: **REGULATIONS**

USE	R1	R2	R3	R4	R5	RM1	RM2
Single Detached Dwelling Unit	*	*	*		*		
Duplex Dwelling Unit			*				
Semi-Detached Dwelling Unit			*		*		
Mobile Home				*			
Triplex Dwelling						*	
Double Duplex Dwelling						*	
Maisonette Dwelling							*
Row Houses							*
Multiple Dwellings						*	*
Boarding or Rooming House or Group Home						*	*
Accessory Home Based Businesses	*	*	*	*	*	*	*
Parks, Playgrounds & Non-Profit	*	*	*	*	*	*	*
Day Nurseries						*	*
Institutional Uses	*	*	*	*	*	*	*

5.2.2 No land, building or structure shall be used or caused to be used, and no building or structure shall be hereafter erected or altered, or caused to be erected or altered in a Low Density Residential zone except in accordance with the following regulations: **REGULATIONS**

5.2.2

ZONE	PERMITTED USE	MIN. LOT AREA PER DWELLING UNIT IN SQ.M.	MIN. LOT FRONTAGE IN METRES	MIN. FLOOR AREA PER DWELLING UNIT IN SQ.M.	MAXIMUM LOT COVERAGE
R1	Single Detached Dwelling	557.4	18	1 St. & Split Level 79 1-1/2 St. 102 2 St. 102	30%
R.2	Single Detached Dwelling	464.5	15	1 St. & Split Level 79 1-1/2 St. 102 2 St. 102	30%
R3	Single Detached Dwelling	418.0	13.7	1 St. & Split Level 79 1-1/2 St. 102 2 St. 102	35%
R3	Semi-detached Dwelling Unit	278.7 371.6(corner lot)	9 per DU 12 (corner lot) per DU	1 St. & Split Level 88 1-1/2 St. 2 St.	35%
R3	Duplex Dwelling Unit	279	18	79	35%
R4	Mobile Home	325.1(single unit) 371.6 (double unit)	10.5(single) 13.7 (double)		35%
R5	1 St. Single Detached Dwelling	278	9	79	35%
R5	1-1/2 St. or Greater Single Detached Dwelling	325	10.5	79	35%
R5	Semi-Detached Dwelling	278	9	79	35%
RM1	Triplex	232.2	19.8	Bachelor 25 1 Bedroom 32 2 Bedrooms 41 3 Bedrooms 50	35%
	Multiple-Up to 4 Units	232.2	19.8	Bachelor 25 1 Bedroom 32 2 Bedrooms 41 3 Bedrooms 50	35%
RM1	Double Duplex	232.2	22.8	Bachelor 25 1 Bedroom 32 2 Bedrooms 41 3 Bedrooms 50	35%
RM1	Boarding or Rooming House or Group Home	232.2	22.8	Bachelor 25 1 Bedroom 32 2 Bedrooms 41 3 Bedrooms 50	35%
RM2	Maisonette	232.2	36	Bachelor 25 1 Bedroom 32 2 Bedrooms 41 3 Bedrooms 50	30%
RM2	Row House	232.2	30	Bachelor 25 1 Bedroom 32 2 Bedrooms 41 3 Bedrooms 50	30%
RM2	Multiple	232.2	30	Bachelor 25 1 Bedroom 32 2 Bedrooms 41 3 Bedrooms 50	30%
RM2	Boarding or Rooming House or Group Home	232.2	30	Bachelor 25 1 Bedroom 32 2 Bedrooms 41 3 Bedrooms 50	35%

5.2.3 **Low Density Yard Requirements**

5.2.3.1 A front yard shall be provided in front of the main building. The minimum distance of a building to the front lot line shall be six (6) metres. **FRONT YARDS**

In a "Residential Fifth Density (R5)" zone the minimum front yard setback shall be four and five-tenths (4.5) metres provided the rear yard setback on the same lot is not less than eight and nine-tenths (8.9) metres for an interior lot or seven and six-tenths (7.6) metres for a corner lot.

5.2.3.2 A side yard shall be provided on each side of the main building. The minimum distance from the side lot line to the main wall of the main building shall be one and two-tenths (1.2) metres for one (1) storey dwellings, and an additional sixty-one (61) centimetres for each additional storey or part thereof. **INTERIOR LOT SIDE YARDS**

In a "Residential Fifth Density (R5)" zone one side yard for a single detached dwelling shall be a minimum of sixty-one (61) centimetres for a one (1) storey dwelling and an additional sixty-one (61) centimetres for each additional storey or part thereof.

5.2.3.2.1 Where a building is two (2) storeys on one side and one (1) storey on the other, the minimum side yard setback shall be one and eight-tenths (1.8) metres on the side which is two (2) storeys, and one and two-tenths (1.2) metres on the side which is one (1) storey.

5.2.3.3 On every lot other than a corner lot where there is no attached garage or carport, one side yard shall have a minimum width of three (3) metres for a driveway into the side yard.

5.2.3.4 Subject to 5.2.3.5 of this By-law, the width of an exterior side yard shall be not less than three (3) metres. **EXTERIOR SIDE YARDS**

5.2.3.5 In the case of a corner lot, no entrance to a garage shall be located closer than four and five-tenths (4.5) metres to the street line and no portion of any driveway shall be located closer than nine (9) metres to the intersection of any two streets measured along the street line and its projection to the intersection of such street line or its projection with another street line or its projection.

5.2.3.6 The minimum side yard width on the side of a lot abutting a three-tenths (0.3) metre reserve shall be three (3) metres.

**EXTERIOR
SIDE YARDS**

5.2.3.7 A rear yard shall be provided in the rear of the main building. The minimum distance from the rear lot line to the rear main wall of the main building shall be not less than ten and five-tenths (10.5) metres, except in the case of a corner lot where the rear yard shall be not less than seven and six-tenths (7.6) metres.

REAR YARDS

In a "Residential Fifth Density (R5)" zone the minimum rear yard setback shall be eight and nine-tenths (8.9) metres, provided the front yard setback on the same lot is not less than seven and six-tenths (7.6) metres. In a "Residential Fifth Density (R5)" zone, for a corner lot, the minimum rear yard shall be seven and six-tenths (7.6) metres.

5.2.3.7.1 In the case of a Mobile Home Park (R.4) zone, the lots which front on the seven and six-tenths (7.6) metre buffer strip shall have a rear yard of not less than four and five-tenths (4.5) metres.

5.2.3.8 No maisonette, row house or multiple dwelling shall be hereafter erected or altered, or caused to be erected or altered except in accordance with the following yard regulations:

**DWELLING YARD
REQUIREMENTS
FOR MAISONETTE,
MULTIPLE
DWELLING OR
ROW HOUSE**

- a) Front Yard minimum depth shall be six (6) metres.
- b) Side Yard minimum width shall be one and two-tenths (1.2) metres for one storey and an additional sixty-one (61) centimetres for each additional storey or part thereof, but one side yard must have a minimum width of six (6)

5.2.3.8

- b) metres and an exterior side yard must have a minimum width of three (3) metres.
- c) Rear Yard minimum depth shall be seven and six-tenths (7.6) metres.
- d) Not more than eight (8) dwelling units per building shall be built in any row housing development.
- e) Distance between buildings - minimum distance between buildings, except accessory buildings, or portions of a building on the same lot shall be equal to the average height of the two adjacent buildings or portions thereof.

**DWELLING YARD
REQUIREMENTS
FOR MAISONETTE,
MULTIPLE
DWELLING OR
ROW HOUSE**

5.2.3.9

Where a maisonette, multiple dwelling or row house has direct access to the outside by a doorway, open areas shall be provided and maintained in accordance with the following provisions:

**OPEN AREA
REQUIREMENTS
AND DISTANCE
REQUIREMENTS
BETWEEN
BUILDINGS**

- a) One open area located adjacent to a living room, dining room, family room, finished recreation room, study, den, or kitchen which is combined with one of the above uses shall be a private, outdoor living area for the occupants and shall have a

minimum yard depth of six (6) metres within which a privacy zone of four and five-tenths (4.5) metres shall be provided.

5.2.3.9

- b) One open area adjacent to a living room which is not designated as a private outdoor living area shall have a minimum depth of six (6) metres within which a privacy zone of three and six-tenths (3.6) metres shall be provided except that a privacy zone shall be required for said living room windowsill is a minimum of one and eight-tenths (1.8) metres above the adjacent exterior level.

**OPEN AREA
REQUIREMENTS
AND DISTANCE
REQUIREMENTS
BETWEEN
BUILDINGS**

- c) One open area adjacent to a habitable room other than a living room and which is not designated as a private outdoor living area shall have a minimum depth of five and three-tenths (5.3) metres within which a privacy zone of three and six-tenths (3.6) metres shall be provided except that no privacy zone shall be required:
- i) Where the habitable room is a minimum of one and eight-tenths (1.8) metres above the adjacent exterior level;
 - ii) where a kitchen does not include the main dining area or any other communal family space.

5.2.3.10

No person shall erect or use, or cause to be erected or used, any multiple unit except where play space for each dwelling unit

**MULTIPLE
UNIT PLAY
SPACE**

is provided as follows:

Per bachelor unit 0 sq. metres
Per one-bedroom unit 2.3 sq. metres
Per two-bedrooms
or more 4.6 sq. metres

5.2.3.11 Where in this By-law multiple unit play space is required, the said play space shall be provided and maintained in accordance with the following provisions:

- a) The play space shall be enclosed with a fence not less than one and two-tenths (1.2) metres in height;
- b) the play space shall be located no closer than three and six-tenths (3.6) metres to the nearest wall of any building;
- c) the play space shall not be separated from any building by any parking lot or driveway;
- d) the play space shall be located in one place, and
- e) the play space shall be located in a rear or side yard.

**MULTIPLE UNIT
PLAY SPACE
REGULATIONS**

5.3 **Residential High Density Zones**

5.3.1 No land, building or structure shall hereafter be erected or used, or caused to be erected or used in any of the following High Density Residential zones unless for a use within a zone designated as follows:

USES

5.3.1

USE	RM3	RM4	RM5	RM6
Apartment Dwellings	*	*	*	*
Parks, Playgrounds and Associated Non-Profit Uses	*	*	*	*
Licensed Day Nurseries, Churches, Public Schools Other Than Trade Schools	*	*	*	*
Institutional Uses	*	*	*	*
Accessory Home-Based Business	*	*	*	*
Accessory Non-Residential Use Under Subsection 5.3.5	*	*	*	*

5.3.2 No land, building or structure shall hereafter be used or caused to be used, and no building or structure shall hereafter be erected or altered, or caused to be erected or altered in a High Density Residential zone except in accordance with the following regulations: **REGULATIONS**

5.3.2

ZONE	DWELLING TYPE	MAX. GROSS FLOOR AREA AS A % OF LOT AREA	MIN. LOT FRONTAGE IN METRES	MIN. FLOOR AREA PER DWELLING UNIT IN SQUARE METRES	MIN. USABLE OPEN SPACE AS A % OF GROSS FLOOR AREA
RM 3	Apartment	75	30	Bachelor 32.5 1 Bedroom 51 2 Bedroom 62.5 3 Bedroom 74 4 Bedroom 83.6	50
RM4	Apartment	100	30	Bachelor 32.5 1 Bedroom 51 2 Bedroom 62.5 3 Bedroom 74 4 Bedroom 83.6	50
RM5	Apartment	125	38	Bachelor 32.5 1 Bedroom 51 2 Bedroom 62.5 3 Bedroom 74 4 Bedroom 83.6	50
RM6	Apartment	150	38	Bachelor 32.5 1 Bedroom 51 2 Bedroom 62.5 3 Bedroom 74 4 Bedroom 83.6	45

5.3.3 High Density Yard Requirements

5.3.3.1 Not less than fifty (50) percent of the usable open space required under 5.3.2 of this By-law shall be located in one place on the lot up to a maximum of four hundred and sixty-five (465) square metres.

5.3.3.2 No apartment building shall be hereafter erected or altered, or caused to be erected or altered except in accordance with the following regulations:

- a) Minimum front yard setback shall be **FRONT YARD** one-half the height of the building, but not less than seven and six-tenths (7.6) metres;

- b) minimum side yard shall be one-half the height of the building, but not less than six (6) metres; **SIDE YARD**
 - c) minimum side yard setback from the exterior side lot line shall be one-half the height of the building, but not less than six (6) metres, and **EXTERIOR SIDE YARD**
 - d) minimum rear yard shall be one-half the height of the building, but not less than seven and six-tenths (7.6) metres. **REAR YARD**
- 5.3.4 A canopy or other similar structure over a major entrance to an apartment building may project into the required yard a distance equal to one-half (1/2) the setback of the building from the lot line. **APARTMENT ENTRANCE CANOPIES**
- 5.3.5 A retail store to serve the day-to-day needs of the occupants may be permitted by Amendment to this By-law in an apartment building in a (RM.4), (RM.5) or (RM.6) zone provided that: **NON-RESIDENTIAL USES IN APARTMENT DWELLINGS**
- 5.3.5.1 Said use shall be located only on the ground floor, and
 - 5.3.5.2 the total area devoted to said uses shall be not more than ten (10) percent of the total floor area of the building, or two hundred and seventy-nine (279) square metres, whichever is less.
- 5.3.6 No person shall erect or use, or cause to be erected or used, any building containing apartment dwelling units unless the following areas are used exclusively for landscaping:

5.3.6.1 A strip of land not less than one and five-tenths (1.5) metres wide abutting the side lot lines and rear lot line.

**APARTMENT
LANDSCAPING**

5.3.6.2 A strip of land not less than one and five-tenths (1.5) metres wide abutting the walls of the building where windows to habitable rooms are located on the ground floor.

5.3.7 No person shall erect or use, or cause to be erected or used, an apartment building except where play space for each dwelling unit is provided as follows:

**APARTMENT
PLAY SPACE**

Per bachelor unit 0 sq. metres

Per one-bedroom unit 2.3 sq. metres

Per two-bedrooms or more 4.6 sq. metres

5.3.8 Where in this By-law apartment play space is required, the said play space shall be provided and maintained in accordance with the following provisions:

5.3.8.1 The play space shall be enclosed with a fence not less than one and two-tenths (1.2) metres in height;

**APARTMENT
PLAY SPACE
REGULATIONS**

5.3.8.2 the play space shall be located no closer than four and five-tenths (4.5) metres to the nearest wall of the building;

5.3.8.3 the play space shall not be separated from the main building by any parking lot or driveway;

COMMERCIAL ZONES

SECTION 6 - COMMERCIAL ZONES

6.1 General Provisions

6.1.1 In any Commercial zone which fronts on a street opposite to, or directly abuts any Residential zone:

6.1.1.1 No loading space shall be located in, nor open onto any side yard adjacent to the Residential zone.

**AMENITY
REQUIREMENTS**

6.1.1.2 A strip of land not less than one and five-tenths (1.5) metres in width along the lot line within the Commercial zone and adjacent to the Residential zone shall be adequately landscaped.

6.1.1.3 Exterior lighting and illuminated signs shall be so arranged as to direct light away from the adjacent Residential zone.

6.1.1.4 Outside storage shall be prohibited in any yard adjacent to the Residential zone.

6.1.2 In any Commercial zone which fronts on a Provincial Highway:

6.1.2.1 No front yard may be used for employee parking and any front yard that is not used for driveways and visitors' parking spaces shall be adequately landscaped.

IDEM

6.1.2.2 No loading space shall be located in, nor open onto, the front yard.

6.1.2.3 A strip of land not less than one and five-tenths (1.5) metres in width along the front lot line shall be adequately landscaped.

6.1.2.4 No outside storage shall be permitted in the front yard.

6.1.3 Where dwelling units are permitted in a Commercial zone, they shall conform to the following provisions:

6.1.3.1 They shall form a subordinate part of the commercial building.

6.1.3.2 The maximum gross floor area expressed as a percentage of the lot area shall be three hundred (300) percent in a General Commercial Inner Core (C.1) zone, one hundred and fifty (150) percent in a General Commercial Outer Core (C.2) zone and one hundred (100) percent in a District Commercial (C.4) zone.

DWELLING
UNIT
PROVISIONS

6.1.3.3 Where dwelling units form part of a Neighbourhood Commercial use, they may not exceed the permitted Commercial floor area.

6.1.3.4 The minimum floor area per unit shall be as follows:

Bachelor Units	25 sq. metres
1-Bedroom Units	32 sq. metres
2-Bedroom Units	41 sq. metres
3-Bedroom Units	50 sq. metres
4-Bedroom Units	59 sq. metres

6.1.3.5 The minimum usable open space shall not be less than four and six-tenths (4.6) square metres per unit.

6.1.3.6 Pedestrian access to the residential portion of the building shall be provided from an adjacent street and shall be for the sole use of the dwelling units.

6.1.3.7 No dwelling units shall be permitted in conjunction with automobile service stations, motor vehicle service establishments, or commercial parking lots.

- 6.1.3.8 Satisfactory access shall be provided for delivery vehicles to the residential portion of said building.
- 6.1.3.9 Not less than fifty (50) percent of the useable open space required under 6.1.3.5 of this By-law shall be located in one place on the lot up to a maximum of four hundred sixty-five (465) square metres. **DWELLING UNIT PROVISIONS**
- 6.1.3.10 A building or structure constructed prior to March 3, 1980 in a C.1 or C.2 zone may be altered for use as converted dwelling units provided that:
- 6.1.3.10.1 Each converted dwelling unit shall have the following minimum area:
- i) Converted Bachelor Dwelling Unit - 25 sq. metres
 - ii) Converted 1-Bedroom Dwelling Unit - 32 sq. metres
 - iii) Converted 2-Bedroom Dwelling Unit - 41 sq. metres
 - iv) Converted 3-Bedroom Dwelling Unit - 50 sq. metres
- 6.1.3.10.2 No converted dwelling unit shall be on the ground floor.
- 6.1.3.10.3 Subsections 6.2.2.3(c) and 6.3.2.3(e) do not apply hereto.
- 6.1.3.10.4 Except as hereby expressly varied, all other applicable provisions of this By-law shall apply.
- 6.1.4 Satisfactory access from a street to a side yard or a rear yard shall be provided for all commercial buildings to permit the carrying of goods and supplies. **ACCESS REQUIREMENT**
- 6.1.5 Where an automobile service station or public garage is permitted in a Commercial zone, the following provisions apply:

		Interior Lot	Corner Lot	
6.1.5.1	Minimum Frontage	45.5 m	45.5 m	
6.1.5.2	Minimum Lot Depth	30 m	45.7 m	
6.1.5.3	Minimum Front Yard Setbacks	12 m	12 m	
6.1.5.4	No portion of any pump island shall be located closer than three (3.0) metres to the lot line along any street.			AUTOMOBILE SERVICE STATIONS AND GAS BARS
6.1.5.5	No portion of any ingress or egress ramp shall be located closer than twelve (12) metres to the nearest edge of the travelled portion of any two (2) arterial or collector roads.			
6.1.5.6	No portion of any ingress or egress ramp along any street line shall be located closer than three (3) metres to any side lot line which abuts any other lot.			
6.1.5.7	The width of any ingress or egress ramp along any street line shall be not more than nine (9) metres nor less than seven and six-tenths (7.6) metres.			
6.1.5.8	The minimum distance between two ramps shall not be less than nine (9) metres.			AUTOMOBILE SERVICE STATIONS AND GAS BARS
6.1.5.9	The minimum interior angle of any ramp to the street line shall be greater than seventy (70) degrees and less than ninety (90) degrees.			
6.1.5.10	The area between the ramps and the street lines, and along the property lines shall be used for landscaping.			

6.1.5.11 No materials incidental to the operation of an Automobile Service Station or a Private Garage shall be stored outside a building, unless there is adequate screening to a height of not less than two and five-tenths (2.5) metres.

6.1.6 In any Commercial (C) zone which permits a lot to be used for a motor vehicle washing establishment, said establishment shall be constructed and maintained as follows:

**MOTOR VEHICLE
WASHING
ESTABLISHMENT**

6.1.6.1 The entrance layout for progressive movement of cars entering said establishment shall be sufficient to accommodate not less than ten (10) cars outside the building on said lot and the exit layout shall be sufficient to accommodate not less than five (5) cars outside the building on said lot.

6.1.6.2 Asphalt lanes in which vehicles shall move on the lot shall be clearly defined by lines painted on the surface of the lot and the edge of the lane nearest to the property line shall be defined by a curb of concrete or rolled asphalt or by a bumper fence;

**MOTOR VEHICLE
WASHING
ESTABLISHMENT**

6.1.6.3 The minimum inside turning radius for said lanes shall be six (6) metres.

6.1.6.4 Said lanes shall be clear and unobstructed in every way.

6.1.6.5 The minimum width of ramps shall be three (3) metres for one-way traffic, and six (6) metres for two-way traffic, and the maximum width of 1 ramp shall be six (6) metres for one-way traffic and nine (9) metres for two-way traffic.

- 6.1.6.6 No portion of any ramp shall be located closer than seven and six-tenths (7.6) metres to the nearest edge of the travelled portion of any two (2) roads.
- 6.1.6.7 The minimum distance between ramps shall be not less than ten and five-tenths (10.5) metres.
- 6.1.6.8 The interior angle of a ramp to a street line shall be not less than seventy (70) degrees and not more than ninety (90) degrees.
- 6.1.6.9 No portion of any ramp shall be located closer than three (3) metres to any side lot line or in the case of a corner lot, any rear lot line.
- 6.1.6.10 The entire lot except for that area reserved for landscaping shall have a cement or asphaltic binder or any other permanent type of surfacing. **MOTOR VEHICLE
WASHING
ESTABLISHMENT**
- 6.1.6.11 Adequate drainage facilities for containing and directing on-site water to public drainage systems shall be provided.

6.2 **General Commercial Inner Core (C1) Zone**

- 6.2.1 No land, building or structure shall be erected or used, or caused to be erected or used in any General Commercial Inner Core (C1) zone except for one of the following uses:
 - 6.2.1.1 Animal Hospitals;
Automobile Sales, Service & Leasing Establishments;
Automobile Service Stations and Gas Bars;
Banks;
Broadcast Studios or Newsrooms;
Business Offices;
Bus Stations;
Clubs;
Day-care Facilities;
Farmers Market;

Financial Institutions;
Flea Market;
Food Stores;
Funeral Homes; **COMMERCIAL USES**
Group Homes;
Hotels, Motels;
Local Retail Stores;
Personal Service Establishments;
Places of Entertainment;
Professional Offices;
Public and Private Parks;
Public and Private Parking Areas;
Recreational Vehicle Sales, Service & Leasing;
Repair Garage (Body Shop);
Restaurants and Taverns;
Retail Stores;
Service Establishments that are
not obnoxious;
Wholesale Uses.

6.2.1.2 Dwelling units connected to
and forming an integral
part of the commercial
building, providing that
access to the dwelling **RESIDENTIAL USES**
units is separate from
the access to the commercial
portion of the building, and
no dwelling units shall be
permitted on the ground floor.

6.2.1.3 Organizations:
Places of Worship; **INSTITUTIONAL**
Public and Private Hospitals;
Institutional Uses.

6.2.2 In a General Commercial Inner Core (C1)
zone, no building, structure or land
shall be used or caused to be used,
and no building or structure shall **REGULATIONS**
be hereafter erected or altered, or
caused to be erected or altered
except in accordance with the
provisions of Sections 3 and 6.1
and the following regulations:

6.2.2.1 Maximum lot coverage
one hundred (100) **COVERAGE**
percent.

6.2.2.2 The minimum front yard
setback shall be nil. **FRONT YARD**

6.2.2.3 a) Where a side lot line
abuts a Commercial or **SIDE YARD**
Industrial zone, and

access is available to the rear of the building by a public or private lane, the setback from the said side lot line may be nil.

- b) Where a side lot line abuts a Commercial or Industrial zone, and access is not available to the rear of the building by a public or private lane, the setback from the said side lot line shall be a minimum of four and five-tenths (4.5) metres.
- c) Where a side lot line abuts a Residential or Open Space zone, the setback from the said side lot line shall be a minimum of four and five-tenths (4.5) metres.
- d) Where a side lot line abuts a street, the setback from the said side lot line may be nil.
- e) Where the building contains residential accommodation of one or more storeys in height, and the windows of habitable rooms face the interior side lot line, the nearest main wall of the residential portion of the building shall be not less than one-half (1/2) the height of the residential portion of the building from the side lot line, but not less than six (6) metres.

SIDE YARD

- 6.2.2.4 a) Where a rear lot line abuts a Commercial or Industrial zone, and access is available to the rear of the building by a public or private lane, the setback from the said rear lot line shall be a minimum of three (3) metres.

REAR YARD

- b) Where a rear lot line abuts a Commercial or Industrial zone, and no access is available to the rear

of the building except by means of a yard, the setback from the said rear lot line shall be a minimum of six (6) metres.

- c) Where a rear lot line abuts a Residential or Open Space zone, the setback from the said rear lot line shall be a minimum of ten and five-tenths (10.5) metres.
- d) Where the building contains residential accommodation of one or more storeys in height, the nearest main wall of the residential portion of the building shall be not less than ten and five-tenths (10.5) metres from the rear lot line.

FLOOR SPACE INDEX

6.2.2.5 The maximum Floor Space Index shall be 3.0 for the Commercial portion of the building.

6.3 **General Commercial Outer Core (C2) Zone**

6.3.1 No land, building or structure shall be erected or used, or caused to be erected or used in any General Commercial Outer Core (C2) zone, except for one of the following uses: except for one of the following uses:

- 6.3.1.1 Animal Hospitals;
Automobile Sales, Service & Leasing Establishments;
Automobile Service Stations
and Gas Bars;
Banks;
Broadcast Studios or Newsrooms;
Business Offices;
Bus Stations;
Clubs;
Day-care Facilities;
Farmers Market;
Financial Institutions;
Flea Market;
Food Stores;
Funeral Homes;
Group Homes;
Hotels, Motels;
Local Retail Stores;
Personal Services Establishments;
Places of Entertainment;
Professional Offices;
Public and Private Parks;

**COMMERCIAL
USES**

Public and Private Parking Areas;
Recreational Vehicle Sales, Service & Leasing;
Repair Garage (Body Shop);
Restaurants and Taverns;
Retail Stores;
Service Establishments that
are not obnoxious;
Wholesale Uses.

6.3.1.2 Dwelling units connected to
and forming an integral
part of the commercial
building provided that
access to the dwelling
units is separate from
the access to the commercial
portion of the building,
and no dwelling units shall be
permitted on the ground floor.

**RESIDENTIAL
USES**

6.3.1.3 Institutional Uses;
Places of Worship;
Public or Private
Hospitals;

INSTITUTIONAL

6.3.2 In a General Commercial Outer Core (C2)
zone, no building, structure or land
shall be used, or caused to be
used, and no building or structure
shall be hereafter erected or altered,
or caused to be erected or altered,
except in accordance with the
provisions of Sections 3 and 6.1 and
the following regulations:

REGULATIONS

6.3.2.1 Maximum lot coverage of
seventy-five (75) percent.

COVERAGE

6.3.2.2 The minimum front yard
setback shall be nil.

FRONT YARD

6.3.2.3 a) Where a side lot line
abuts a Commercial or
Industrial zone, and
access is available to
the rear of the building
by a public or private
lane, the setback from
the said side lot line
may be nil.

SIDE YARD

- b) Where a side lot line abuts a Commercial or Industrial zone, and access is not available to the rear of the building by a public or private lane, the setback from the said side lot line shall be a minimum of four and five-tenths (4.5) metres.
- c) Where a side lot line abuts a Residential or Open Space zone, the setback from the said side lot line shall be a minimum of four and five-tenths (4.5) metres.
- d) Where a side lot line abuts a street, the setback from the said side lot line may be nil.
- e) Where the building contains residential accommodation of one or more storeys in height, and the windows of habitable rooms face the interior side lot line, the nearest main wall of the residential portion of the building shall be not less than one-half (1/2) the height of the residential portion of the building from the side lot line, but not less than six (6) metres.

SIDE YARD

- 6.3.2.4 a) Where a rear lot line abuts a Commercial or Industrial zone, and access is available to the rear of the building by a public or private lane, the setback from the said rear lot line shall be a minimum of three (3) metres.

REAR YARD

- b) Where a rear lot line abuts a Commercial or Industrial zone, and no access is available to the rear of the building except by means of a yard, the setback from the said rear lot line shall be a minimum of six (6) metres.

- c) Where a rear lot line abuts a Residential or Open Space zone, the setback from the said rear lot line shall be a minimum of ten and five-tenths (10.5) metres.
- d) Where the building contains residential accommodation of one or more storeys in height, the nearest main wall of the residential portion of the building shall be no less than ten and five-tenths (10.5) metres from the rear lot line.

6.3.2.5 The Maximum Floor Space Index shall be 3.0 for the Commercial portion of the building. **FLOOR SPACE INDEX**

6.4 **Regional Shopping Centre (C3) Zone**

6.4.1 No land, building or structure shall be erected or used, or caused to be erected or used in any Regional Shopping Centre (C3) zone, except for the following uses:

- 6.4.1.1 . Automobile Service Station and/or Gas Bar;
Banks or Financial Institutions;
Bake Shop;
Barber Shop or Beauty Salon;
Book or Stationery Store;
Business Offices;
Children, Ladies' and Men's Apparel;
Drug Store;
Dry Cleaning Pick-up Depot;
Food Stores;
Florist;
Hardware Store;
Home Furnishings and Appliances;
Jewellery Store;
Laundromat;
Library, Museum or Art Gallery;
Liquor, Beer or Wine Store;
Paint and/or Wallpaper Store;
Pet Shop;
Photographic Supplies;
Places of Entertainment;
Professional Offices;
Restaurants and Taverns;
Retail Stores;
Sporting Goods;
Tobacconist.

**REGIONAL SHOPPING
CENTRE USES
PERMITTED**

6.4.2 In a Regional Shopping Centre (C3) zone, no land, building or structure shall be hereafter erected or altered, or caused to be erected or altered except in accordance with the provisions of Sections 3 and 6.1 and the following regulations:

- 6.4.2.1 Maximum Lot Coverage of twenty-five (25) percent.
- 6.4.2.2 The setback from the front lot line shall be a minimum of twenty-one (21) metres.

COVERAGE

FRONT YARD

6.4.2.3 a) The setback from the side lot line shall be a minimum of seven and six-tenths (7.6) metres. **SIDE YARD**

b) Where a side lot line abuts a street, the setback from the said side lot line shall be a minimum of twenty-one (21) metres.

6.4.2.4 a) Where a rear lot line abuts a Commercial or Industrial zone, the setback from the said rear lot line shall be a minimum of seven and six-tenths (7.6) metres. **REAR YARD**

b) Where a rear lot line abuts a Residential or Open Space zone, the setback from the said rear lot line shall be a minimum of ten and five-tenths (10.5) metres.

c) Where the rear lot line abuts a street, the setback from the said rear lot line shall be a minimum of twenty-one (21) metres.

6.4.2.5 In a Regional Shopping Centre (C3) zone, the lands shall be in one ownership, or if in several ownerships, all owners shall individually and jointly comply with the regulations set forth herein. **OWNERSHIP**

6.4.2.6 Notwithstanding Section 6.1, required parking spaces may be located ahead of the front yard setback line, but in no case within three (3) metres of either the street line or the one and five-tenths (1.5) metre buffer strip as required in Section 6.1.1.3. **PARKING**

6.5 District Commercial (C4) Zone

- 6.5.1 No land, building or structure shall be erected or used, or caused to be erected or used in any District Commercial (C4) zone, except for one or more of the following uses:
- DISTRICT
COMMERCIAL
USES
PERMITTED**
- 6.5.1.1 Automobile Service Station or Gas Bar;
Automobile Sales, Service or Leasing Establishments;
Banks; (SECTION 49
BY-LAW NO. 165-80)
Business Offices;
Clubs;
Day-care Facilities;
Financial Institutions;
Funeral Homes;
Food Stores;
Hotels, Motels;
Instructional Services;
Local Retail Stores;
Places of Worship;
Public and Private Parking Areas;
Places of Entertainment;
Professional Offices; **COMMERCIAL USES**
Repair Garages;
Restaurants and Taverns;
Retail Stores;
Service Establishments that are not obnoxious.
- 6.5.1.2 Dwelling units connected to and forming an integral part of the commercial building, provided that access to the dwelling units is separate from the access to the commercial portion of the building, and no dwelling units will be permitted on the ground floor. **RESIDENTIAL USES**
- 6.5.2 In a District Commercial (C4) zone, no building, structure or land shall be used, or caused to be used, and no building or structure shall be hereafter erected or altered, or caused to be erected or altered except in accordance with the provisions of Sections 3 and 6.1 and the following regulations:

- 6.5.2.1 Maximum Lot Coverage of thirty (30) percent. **COVERAGE**
- 6.5.2.2 The setback from the front lot line shall be a minimum of seven and six-tenths (7.6) metres. **FRONT YARD**
- 6.5.2.3 a) The setback from the side lot line shall be a minimum of seven and six-tenths (7.6) metres. **SIDE YARD**
- b) Where a side lot line abuts a street, the setback from the said side lot line shall be a minimum of seven and six-tenths (7.6) metres.
- c) Where the side lot line does not abut a street and where the building contains residential accommodation of one or more storeys in height, and the windows of habitable rooms face the lot line, the nearest main wall of the residential portion of the building shall be no less than one-half (1/2) the height of the residential portion of the building from the lot line, but not less than seven and six-tenths (7.6) metres from the side lot line.
- 6.5.2.4 a) Where a rear lot line abuts a Commercial or Industrial zone, the setback from the said rear lot line shall be a minimum of seven and six-tenths (7.6) metres. **REAR YARD**
- b) Where a rear lot line abuts a Residential or Open Space zone, the setback from the said rear lot line shall be a minimum of ten and five-tenths (10.5) metres.

- c) Where the rear lot line abuts a street, the setback from the said rear lot line shall be a minimum of seven and six-tenths (7.6) metres. **REAR YARD**
- d) Where the rear lot line does not abut a street and where the building contains residential accommodation of one or more storeys in height, and the windows of habitable rooms face the lot line, the nearest main wall of the residential portion of the building shall be no less than one-half (1/2) the height of the residential portion of the building from the lot line, but not less than ten and five-tenths (10.5) metres from the rear lot line.
- 6.5.2.5 In a District Commercial (C4) zone, the lands shall be in one ownership or, **OWNERSHIP** if in several ownerships, all owners shall individually and jointly comply with the regulations set forth herein.
- 6.5.2.6 Notwithstanding Section 6.1, the required parking spaces may be located **PARKING** in the front yard, but in no case within three (3) metres of the street line or the one and five-tenths (1.5) metre buffer strip required in Section 6.1.1.3.
- 6.5.2.7 The maximum floor space index shall be 1.0 for the commercial portion of the building.

6.6 Neighbourhood Commercial (C5) Zone

- 6.6.1 No land, building or structure shall be erected or used, or caused to be erected or used in any Neighbourhood Commercial (C5) zone, except for one or more of the following uses: **NEIGHBOURHOOD COMMERCIAL USES PERMITTED**
- 6.6.1.1 Convenience Stores;
Day-care Facilities;
Dry Cleaning Depots;
Gas Bars;
Local Retail Stores;
Personal Service Establishments;
Professional & Business Offices;
Restaurants. **COMMERCIAL USES**
- 6.6.1.2 Dwelling units connected to and forming an integral part of the commercial building provided that they do not exceed the floor area of the commercial portion of the use and access to the dwelling units is separate from the access to the commercial portion of the building, and the dwelling units are located above or at the rear of business premises. **RESIDENTIAL USES**
- 6.6.2 In a Neighbourhood Commercial (C5) zone, no building, structure or land shall be used or caused to be used, and no building or structure shall be hereafter erected or altered, or caused to be erected or altered except in accordance with the provisions of Sections 3 and 6.1 and the following regulations: **REGULATIONS**
- 6.6.2.1 In a Neighbourhood Commercial zone, any person who conducts a commercial undertaking for which commercial vehicles are stored on the premises, shall provide in such a zone, an area on the property for the exclusive storage of such vehicles. The said storage area shall be **VEHICULAR STORAGE**

screened by an opaqued fence not less than two and five-tenths (2.5) metres in height, located in such a manner as to screen the said storage area from the surrounding residential properties.

- 6.6.2.2 The lands shall be in one ownership, or, if in several ownerships, all owners shall individually and jointly comply with the provisions set forth herein. **OWNERSHIP**
- 6.6.2.3 Maximum lot coverage of twenty-five (25) percent. **COVERAGE**
- 6.6.2.4 The setback from the front lot line shall be a minimum of nine (9) metres. **FRONT YARD**
- 6.6.2.5 a) Where a side lot line abuts a Commercial or Industrial zone, and access is available to the rear of the building by a public or private lane, the setback from the said side lot line may be nil. **SIDE YARD**
- b) Where a side lot line abuts a Commercial or Industrial zone, and no access is available to the rear of the building except by means of a side yard, the setback from one side lot line shall be a minimum of three and six-tenths (3.6) metres; the setback from the other side lot line may be nil.
- c) Where a side lot line abuts a Residential or Open Space zone, the setback from the said side lot line shall be a minimum of four and five-tenths (4.5) metres.
- d) Where a side lot line abuts a street, the setback from the said side lot line shall be a minimum of three (3) metres. **SIDE YARD**

e) Where the building contains Residential accommodation above the Commercial area and the windows of habitable rooms face the side lot line, the nearest main wall of the Residential portion of the building shall be not less than six (6) metres from the side lot line.

6.6.2.6 a) Where a rear lot line abuts a Commercial or Industrial zone, the setback from the said rear lot line shall be a minimum of **REAR YARD** six (6) metres.

b) Where a rear lot line abuts a Residential or Open Space zone, the setback from the said rear lot line shall be a minimum of ten and five-tenths (10.5) metres.

c) Where the building contains Residential accommodation above the Commercial Area, the nearest main wall of the Residential portion of the building shall be no less than ten and five-tenths (10.5) metres from the rear lot line.

6.7 Highway Commercial (C6) Zone

- 6.7.1 No land, building or structure shall be erected or used, or caused to be erected or used in any Highway Commercial (C6) zone, except for one or more of the following uses: **HIGHWAY COMMERCIAL USES PERMITTED**
- 6.7.1.1 Animal Hospitals;
Automobile Sales Showrooms;
Automobile Service Establishments including Car Wash Establishments;
Automobile Service Stations and Gas Bars;
Banks and Financial Services;
Bed and Breakfast Establishments;
Clubs and Fraternal Organizations;
Farmers Markets;
Flea Markets;
Funeral Homes;
Hotels, Motels, Restaurants and Taverns;
Industrial Equipment Sales and Service;
New and/or Used Car Lots;
Personal Services Establishments;
Places of Entertainment;
Places of Worship;
Public or Private Garages;
Recreational Vehicle Sales and Service;
Repair Garages;
Retail Lumber and Building Supplies;
Vegetable or Fruit Market.
- 6.7.1.2 One (1) dwelling unit for a resident-owner either as part of the main building or detached.
- 6.7.2 In a Highway Commercial (C6) zone, no building, structure or land shall be used, or caused to be used, and no building or structure shall be hereafter erected or altered, or caused to be erected or altered, except in accordance with the provisions of Sections 3 and 6.1 and the following regulations: **REGULATIONS**
- 6.7.2.1 Maximum Lot Coverage of forty (40) percent. **COVERAGE**
- 6.7.2.2 The setback from the front lot line shall be a minimum of seven and six-tenths (7.6) metres. **FRONT YARD**

- 6.7.2.3 The setback from the side yard shall be a minimum of four and five-tenths (4.5) metres except where the side lot line abuts a Residential or Open Space zone, in which case the setback from the said lot line shall be a minimum of seven and six-tenths (7.6) metres. **SIDE YARD**
- 6.7.2.4 Where a side lot line abuts a street, the setback from the said side lot line shall be a minimum of seven and six-tenths (7.6) metres. **EXTERIOR SIDE YARD**
- 6.7.2.5 The setback from the rear lot line shall be a minimum of seven and six-tenths (7.6) metres. **REAR YARD**
- 6.7.2.6 Notwithstanding Section 6.1, the required parking spaces may be located in the front yard, but in no case within three (3) metres of the street line or the one and five-tenths (1.5) metre buffer strip required in Section 6.1.1.3. **PARKING**

6.8 Tourist Commercial (C7) Zone

- 6.8.1 No land, building or structure shall be erected or used, or caused to be erected or used in any Commercial (C7) zone except for one or more of the following uses:
- TOURIST
COMMERCIAL
USES
PERMITTED**
- 6.8.1.1 Automobile Service Stations and Gas Bars;
Banks and Financial Services;
Bed and Breakfast Establishments;
Camps, Tourist Cabins and Housekeeping Cottages;
Farmers Markets;
Flea Markets;
Hotels, Motels, Restaurants and Taverns;
Local Retail Stores;
Marinas;
Places of Entertainment;
Places of Recreation;
Places of Worship;
Public and Private Parks;
Recreational Vehicles and Equipment, Sales, Leasing and Service;
Seasonal Tent and Trailer Parks;
Accessory Retail Establishments to the above uses;
Accessory Residential Units to the above uses.
- 6.8.2 No person shall use land, or erect or use, or cause to be erected or use, a building or structure in any Tourist Commercial (C7) zone except in accordance with the provisions of Sections 3 and 6.1 and the following regulations:
- REGULATIONS**
- 6.8.2.1 Maximum Lot Coverage of thirty-five (35) percent.
- COVERAGE**
- 6.8.2.2 The setback from the front lot line shall be a minimum of seven and six-tenths (7.6) metres.
- FRONT
YARD**
- 6.8.2.3 a) Side yard width shall be not less than three (3) metres, provided that, where a Tourist Commercial zone abuts a Residential zone,
- SIDE YARD**

side yard width along the abutting side lot line shall be not less than four and five-tenths (4.5) metres.

- b) Where a Tourist Commercial zone abuts a Residential zone, a strip of land not less than one and five-tenths (1.5) metres in width adjacent to the abutting property line shall be used for no other purpose than landscaping.

6.8.2.4 The setback from the rear lot line shall be a minimum of seven and six-tenths (7.6) metres.

REAR YARD

INDUSTRIAL ZONES

SECTION 7 - INDUSTRIAL ZONES

7.1 General Provisions

- | | | |
|-------|---|---|
| 7.1.1 | No person shall use or cause to be used the front or side yard of any lot in an Industrial (M) zone for any purpose other than for landscaping or the parking of employees' or visitors' private passenger vehicles, provided that no parking shall be permitted in an area having a depth of one and five-tenths (1.5) metres across the entire frontage and flankage of the lot nearest the street line. | USE OF
FRONT AND
SIDE YARDS |
| 7.1.2 | Where a lot in any Industrial (M) zone fronts on a street opposite a Residential zone, or directly abuts a Residential zone, the following amenity requirements shall be provided:

a) No employee or visitor parking spaces, loading spaces or outside storage shall be permitted in the front yard or side yard adjacent to the Residential zone.

b) Exterior lighting and illuminated signs shall be so arranged as to direct light away from any Residential zone.

c) The front yard and a strip of land not less than six (6) metres in width along the side and rear lot lines within the Industrial (M) zone and adjacent to the Residential zone shall have an adequate buffer strip except where used for entrances and exits. | AMENITY
REQUIREMENTS
(GENERAL) |
| 7.1.3 | Where a lot in any Industrial (M) zone fronts on a Provincial Highway and is not opposite any Residential zone, the following amenity requirements shall be provided: | AMENITY
REQUIREMENTS
(PROVINCIAL
HIGHWAYS) |

- 7.1.3 a) A strip of land not less than one and five-tenths (1.5) metres in width along the front lot line adjacent to the road shall have an adequate buffer strip.
- b) Visitor or employee parking spaces shall be permitted in the front yard.
- c) No loading space or outside storage shall be located in, nor open onto a front yard.
- AMENITY
REQUIREMENTS
(PROVINCIAL
HIGHWAYS)**

- 7.1.4 No fence shall be erected upon any land in an Industrial (M) zone or any part thereof, unless it is constructed of iron or wood rail or post and wire of open construction, with or without brick or stone foundations, and no such fence shall be placed nearer to the street line than the nearest main front wall of the building or buildings erected on the said land.
- FENCES**

- 7.1.5 Where a recycling centre or scrap yard, automobile wrecking yard or shop, or similar use is permitted in a Restricted Industrial (M5) zone, the following regulations shall apply:
- SCRAP YARDS**

7.1.5.1 The minimum distance between the boundary of the lot and the boundary of any Rural, Residential or Open Space zone shall be one hundred and fifty-two (152) metres.

7.1.5.2 The lot shall be surrounded on all sides by a fence or wall having a minimum height of two and five-tenths (2.5) metres. Such fence or wall shall be constructed of permanent materials and provide a complete visual barrier and shall be maintained in a neat and visually attractive manner.

- 7.1.5.3 The fence or wall required shall be set back a minimum of nine (9) metres from any street adjacent to the said lot. The space between the said street(s) and fence(s) shall not be used for any purpose other than providing an adequate buffer strip or provision of a one and five-tenths (1.5) metre buffer strip and visitors' parking area. **SCRAP YARDS**
- 7.1.5.4 Material used or stored in the open on the said lot shall be piled no higher than the fence required. **PROVIDE COMPLETE VISUAL BARRIER FROM STREET(S)**
- 7.1.6 In any Industrial (M) zone no part of any building or structure shall be used or caused to be used for an accessory use except in accordance with the following provisions:
- 7.1.6.1 Any accessory Commercial use shall be permitted within the main building provided that said use does not exceed twenty-five (25) percent of the gross floor area or two hundred and seventy-nine (279) square metres. **ACCESSORY COMMERCIAL USES PERMITTED**
- 7.1.7 In any Industrial zone an accessory building shall not be built closer to any side lot line than the minimum distance required by this By-law for the main building on the same lot. **ACCESSORY BUILDINGS**

7.2 Light Industrial One (M1) Zone

- 7.2.1 No land, building or structure shall be erected or used, or caused to be erected or used in any Light Industrial One zone except for one or more of the following:
- 7.2.1.1 The use of land, buildings or structures designed for the purpose of manufacturing or processing of any goods, substances or things for sale, and does not include any Heavy Industry (M4) or any Light Industrial (M3) uses, but shall include printing. **PERMITTED USES**
- 7.2.1.2 Administrative offices or day-care facilities associated with and integral with the main use.
- 7.2.1.3 One (1) apartment unit within the main building for an essential worker, owner/operator or caretaker.
- 7.2.1.4 All permitted uses shall be conducted within an enclosed building with no outside storage permitted.
- 7.2.2 In a Light Industrial One (M1) zone no building, structure or land shall be used, or caused to be used, and no building or structure shall be hereafter erected or altered, or caused to be erected or altered except in accordance with the provisions of Sections 3 and 7.1 and the following regulations: **REGULATIONS**
- 7.2.2.1 The setback from the front lot line shall be a minimum of seven and six-tenths (7.6) metres. **FRONT YARD**

7.2.2.2 Maximum lot coverage shall not exceed fifty (50) percent.

COVERAGE

7.2.2.3 a) Except as required by Sub-clauses (b), (c) and (d), the setback from the side lot line shall be a minimum of four and five-tenths (4.5) metres.

SIDE YARD

b) Where a side lot line abuts a Residential or Open Space zone, the setback from the said side lot line shall be a minimum of nine (9) metres.

c) Where a side lot line abuts a street, the setback from the said side lot line shall be a minimum of nine (9) metres.

d) Where a side lot line abuts a railway, the setback from the said side lot line may be nil.

7.2.2.4 a) Except as required by Sub-clauses (b) and (c), the setback from the rear lot line shall be a minimum of twelve (12) metres.

REAR YARD

b) Where the rear lot line abuts a Residential or Open Space zone, the setback from the said rear lot line shall be a minimum of fifteen (15) metres.

c) Where the rear lot line abuts a railway, the setback from the said rear lot line may be nil.

7.3 Light Industrial Two (M2) Zone

- 7.3.1 No land, building or structure shall be erected or used, or caused to be erected or used in any Light Industrial Two (M2) zone except for one or more of the following uses: **LIGHT INDUSTRIAL**
- 7.3.1.1 Light Industrial Two (M2) zone uses included the use of land, building or structure designed for the manufacturing, assembling, processing, preparing, inspecting or ornamenting, finishing, treating, altering, repairing, warehousing, storing or adapting for sale any goods, substances or things, and includes food, beverages, tobacco, rubber, leather, textile, knitting, woodworking, or similar industries where such operations do not involve the emission of air or water pollutants that exceed the standards set by the appropriate Provincial Regulatory Authority. **PERMITTED USES**
- 7.3.1.2 All uses permitted in a Light Industrial One (M1) zone.
- 7.3.1.3 Administrative offices and day-care facilities associated with and integral with the main use.
- 7.3.1.4 One (1) apartment unit within the main building for an essential worker, owner/operator or caretaker.
- 7.3.1.5 All permitted uses shall be conducted within an enclosed building or structure with no outside storage permitted.

- 7.3.2 In a Light Industrial Two (M2) zone, no building, structure or land shall be used, or caused to be used, and no building or structure shall be hereafter erected or altered, or caused to be erected or altered except in accordance with the provisions of Sections 3 and 7.1 and the following regulations:
- REGULATIONS**
- 7.3.2.1 Maximum lot coverage shall be fifty (50) percent. **COVERAGE**
- 7.3.2.2 The setback from the front lot line shall be a minimum of fifteen (15) metres. **FRONT YARD**
- 7.3.2.3 a) Except as required by Sub-clauses (b), (c) and (d), the setback from the side lot line shall be a minimum of four and five-tenths (4.5) metres.
- b) Where a side lot line abuts a Residential or Open Space zone, the setback from the said side lot line shall be a minimum of nine (9) metres. **SIDE YARD**
- c) Where a side lot line abuts a street, the setback from the said side lot line shall be a minimum of nine (9) metres.
- d) Where a side lot line abuts a railway, the setback from the said side lot line may be nil.
- 7.3.2.4 a) Except as required by Sub-clauses (b) and (c), the setback from the rear lot line shall be a minimum of twelve (12) metres. **REAR YARD**

b) Where the rear lot line abuts a Residential or Open Space zone, the setback from the said rear lot line shall be a minimum of fifteen (15) metres.

REAR YARD

c) Where the rear lot line abuts a railway, the setback from the said rear lot line may be nil.

7.4 Light Industrial Three (M3) Zone

- | | | |
|---------|--|--|
| 7.4.1 | No land, building or structure shall be erected or used, or caused to be erected or used in any Light Industrial Three (M3) zone except for one or more of the following uses: | LIGHT
INDUSTRIAL
USES PERMITTED |
| 7.4.1.1 | Those uses permitted in a Light Industrial Two (M2) zone requiring outdoor storage. | |
| 7.4.1.2 | The use of land, building or structure designed for the purpose of manufacturing, assembling, processing, preparing, inspecting or ornamenting, finishing, treating, altering, repairing, warehousing, storing or adapting for sale any goods, substances or things, and the storage of building and construction equipment and materials where such operations do not involve the emission of air or water pollutants that exceed the standards set by the appropriate Provincial Regulatory Authority. This does not include forest product industries, metal fabricating, refineries, mills, foundries, chemical plants or similar heavy industries. It also does not include a mine, pit, quarry or oil wells. | |
| 7.4.1.3 | Auto Dealerships and Service Establishments;
Body Shop;
Bulk Sales Establishments;
Construction Contractor Yards;
Heavy Equipment Sales and Service;
Heavy Equipment Storage;
Recreational Vehicle and Equipment Sales and Service;
Recycling Centres and Waste Transfer Stations;
Repair Garage;
Transportation and Communications and Utility Yards and Terminals;
Warehouse and Storage Uses. | |

- 7.4.1.4 Administrative offices and day-care facilities associated with **LIGHT INDUSTRIAL** and integral with the main use. **USES PERMITTED**
- 7.4.1.5 One (1) apartment unit within the main building for an essential worker, owner/operator or caretaker.
- 7.4.1.6 Outdoor storage is permitted, subject to the provisions of Section 7.4.2.5.

7.4.2 In a Light Industrial Three (M3) zone no building, structure or land shall be used, or caused to be used, and no building or structure shall be hereafter erected or altered, or caused to be erected or altered except in accordance with the provisions of Section 3 and 7.1 and the following regulations:

REGULATIONS

7.4.2.1 Maximum lot coverage shall be fifty (50) percent.

COVERAGE

7.4.2.2 The setback from the front lot line shall be a minimum of fifteen (15) metres.

FRONT YARD

7.4.2.3 a) Except as required by Sub-clauses (b), (c) and (d), the setback from the side lot line shall be a minimum of four and five-tenths (4.5) metres.

SIDE YARD

b) Where a side lot line abuts a Residential or Open Space zone, the setback from the said side lot line shall be a minimum of nine (9) metres.

- c) Where a side lot line abuts a street, the setback from the said side lot line shall be a minimum of nine (9) metres.

SIDE YARD

- d) Where a side lot line abuts a railway, the setback from the said side lot line may be nil.

- 7.4.2.4 a) Except as required by Sub-clauses (b) and (c), the setback from the rear lot line shall be a minimum of twelve (12) metres.

REAR YARD

- b) Where the rear lot line abuts a Residential or Open Space zone, the setback from the said rear lot line shall be a minimum of fifteen (15) metres.

- c) Where the rear lot line abuts a railway, the setback from the said rear lot line may be nil.

- 7.4.2.5 Where part of the use permitted under 7.4.1 is carried on outside a building, that part of the operation shall not be conducted in the front yard and shall be enclosed by adequate screening in the form of landscaping or fencing to a height of not less than two and five-tenths (2.5) metres and not greater than the height of the first storey of the main building on the property.

**OUTDOOR
STORAGE**

7.5 Heavy Industrial (M4) Zone

- 7.5.1 No land, building or structure shall be erected or used, or caused to be erected or used in any Heavy Industrial (M4) zone, except for one or more of the following uses:
- HEAVY
INDUSTRIAL
USES
PERMITTED**
- 7.5.1.1 Bulk Sales Establishments;
Construction Contractor Yards;
Heavy Equipment Storage;
Recycling Centres and Waste Transfer Stations;
Transportation and Communications
and Utility Yards and Terminals;
Warehouse Uses;
Wholesale Uses;
The use of land, buildings
or structures designed for
the manufacturing, assembling,
processing, preparing, treating
or adapting of any goods,
substances or things for sale,
including refineries, mills,
foundries, chemical plants or
similar industries where such
operations involve stamping,
presses, furnaces, heavy machinery,
and the emission of air or water
pollutants that do not exceed the
standards set by the appropriate
Provincial Regulatory Authority.
This does not include a mine, pit,
quarry or oil wells.
- 7.5.1.2 Administrative offices and day-care
facilities associated with and integral to
the main use.
- 7.5.1.3 One (1) apartment unit shall be
permitted for an essential worker,
owner/operator or caretaker within the main
building.
- 7.5.1.4 Outdoor storage will be permitted
subject to the provisions of
Section 7.5.2.5.
- 7.5.2 In a Heavy Industrial (M4) zone no
building, structure or land shall
be used, or cause to be used,
- REGULATIONS**

and no building or structure shall be hereafter erected or altered, or cause to be erected or altered except in accordance with the provisions of Section 3 and 7.1 and the following regulations:

- 7.5.2.1 Maximum lot coverage shall be seventy (70) percent. **COVERAGE**
- 7.5.2.2 The setback from the front lot line shall be a minimum of fifteen (15) metres. **FRONT YARD**
- 7.5.2.3 a) Except as required by Sub-clauses (b), (c) and (d), the setback from the side lot line shall be a minimum of four and five-tenths (4.5) metres. **SIDE YARD**
- b) Where a side lot line abuts a Residential or Open Space zone, the setback from the said lot line shall be a minimum of ten and five-tenths (10.5) metres.
- c) Where a side lot line abuts a street, the setback from the said side lot line shall be a minimum of ten and five-tenths (10.5) metres.
- d) Where a side lot line abuts a railway, the setback from the said side lot line may be nil.
- 7.5.2.4 a) Except as required by Sub-clauses (b) and (c), the setback from the rear lot line shall be a minimum of twelve (12) metres. **REAR YARD**
- b) Where the rear lot line abuts a Residential or Open Space zone, the setback from the said rear lot line shall be a minimum of fifteen (15) metres.
- c) Where the rear lot line abuts a railway, the setback from the said rear lot line may be nil.

7.5.2.5 Where part of the use permitted under 7.5.1 is carried on outside a building, that part of the operation shall not be conducted in the front yard and shall be enclosed by adequate screening in the form of a buffer strip or fencing to a height of not less than two and five-tenths (2.5) metres and not greater than the height of the first storey of the main building on the property.

**OUTDOOR
STORAGE**

7.6 **Restricted Industrial (M5) Zone**

- 7.6.1 No land, building or structure shall be erected or used, or caused to be erected or used in any Restricted Industrial (M5) zone except for one or more of the following uses: **RESTRICTED INDUSTRIAL**
- 7.6.1.1 Bulk Sales Establishments;
Construction Contractor Yards;
Heavy Equipment Storage;
Recycling Centres and Waste Transfer Stations;
Recreational Vehicle and Equipment and Sales and Service;
Scrap Yards;
Transportation and Communications and Utility Yards and Terminals;
Warehouse Uses;
Wholesale Uses.
- 7.6.1.2 Any use permitted in a Light Industrial Three (M3) zone which does not immediately require full Municipal services, subject to an agreement between the prospective industry and the City.
- 7.6.1.3 One (1) apartment unit shall be permitted for an essential worker, owner/operator or caretaker provided that the said unit is located within the main building.
- 7.6.2 The use of land in a Restricted Industrial (M5) zone shall be contingent upon a written agreement between the prospective industry and the City that urban services will not be made available to such land or, in the case of Light Industrial Three (M3) use permitted, subject to a written agreement that services will be made available in a specified period of time.
- 7.6.3 In a Restricted Industrial (M5) zone, no building, structure or land shall be used, or caused to be used, and no building or structure shall be hereafter erected or altered, or caused to be erected or altered except in accordance with the provisions of Sections 3 and 7.1 and the following regulations: **REGULATIONS**

- | | | |
|---------|---|-------------------|
| 7.6.3.1 | Maximum lot coverage shall be fifty (50) percent. | COVERAGE |
| 7.6.3.2 | The setback from the front lot line shall be a minimum of fifteen (15) metres. | FRONT YARD |
| 7.6.3.3 | a) Except as required by Sub-clauses (b), (c) and (d), the setback from the side lot line shall be a minimum of four and five-tenths (4.5) metres.

b) Where a side lot line abuts a Residential or Open Space zone, the setback from the said side lot line shall be a minimum of nine (9) metres.

c) Where a side lot line abuts a street, the setback from the said side lot line shall be a minimum of nine (9) metres.

d) Where a side lot line abuts a railway, the setback from the said side lot line may be nil. | SIDE YARD |
| 7.6.3.4 | a) Except as required by Sub-clauses (b) and (c), the setback from the rear lot line shall be a minimum of twelve (12) metres.

b) Where the rear lot line abuts a Residential or Open Space zone, the setback from the said rear lot line shall be a minimum of fifteen (15) metres.

c) Where the rear lot line abuts a railway, the setback from the said rear lot line may be nil. | REAR YARD |

7.6.3.5 Where part of the use permitted under 7.6.1 is carried on outside a building, that part of the operation shall not be conducted in the front yard and shall be enclosed by adequate screening in the form of landscaping or fencing to a height of not less than two and five-tenths (2.5) metres and not greater than the height of the first storey of the main building on the property.

STORAGE

7.7 Industrial-Commercial (MC) Zone

7.7.1 No land, building or structure shall be erected or used, or caused to be erected or used in any Industrial-Commercial (MC) zone except for one or more of the following uses:

**INDUSTRIAL-COMMERCIAL
ZONE PERMITTED USES**

7.7.1.1 Automobile Sales, Leasing and Service Establishments;
Banks;
Builder's Supply Yards and Stores;
Convenience Stores;
Hotels and Motels;
Heavy Equipment Sales and Service;
Farmers Market;
Flea Market;
Printing and Photographic Services;
Public Garages;
Recreational Vehicles and Equipment Sales and Service;
Repair Garages;
Restaurants and Taverns;
Service Stations or Gas Bars.

7.7.1.2 All those uses permitted in the Light Industrial One (M1) zone.

7.7.1.3 One (1) apartment unit shall be permitted for an essential worker, owner/operator or caretaker within the main building.

7.7.2 Where an automobile service station, public garage or gas bar is permitted in an Industrial-Commercial (MC) zone, the following provisions will apply:

**AUTOMOBILE
SERVICE
STATIONS OR
GAS BARS**

7.7.2.1 Minimum frontage shall be forty-five and five-tenths (45.5) metres.

7.7.2.2 Minimum lot depth shall be forty-five and five-tenths (45.5) metres.

7.7.2.3 Minimum front yard setback shall be fifteen (15) metres.

- 7.7.2.4 No portion of any pump island shall be located closer than four and five-tenths (4.5) metres to the lot line along any street.
- 7.7.2.5 No portion of any ingress or egress ramp shall be located closer than twelve (12) metres to the nearest edge of the travelled portion of any two (2) arterial or collector roads.
- 7.7.2.6 No portion of any ingress or egress ramp along any street line shall be located closer than three (3) metres to any side lot line which abuts any other lot.
- 7.7.2.7 The width of any ingress or egress ramp along any street line shall be not more than nine (9) metres nor less than seven and six-tenths (7.6) metres.
- 7.7.2.8 The minimum distance between two (2) ramps shall be not less than nine (9) metres.
- 7.7.2.9 The minimum interior angle of any ramp to the street line shall be greater than seventy (70) degrees and less than ninety (90) degrees.
- 7.7.2.10 The area between the ramps, between the ramps and the street lines, and along the property lines shall be used for landscaping.
- 7.7.2.11 No storage of materials incidental to the operation of an Automobile Service Station or a Public Garage shall be carried on outside a building, unless it is adequately screened to a height of not less than one and eight-tenths (1.8) metres.

**AUTOMOBILE
SERVICE
STATIONS OR
GAS BARS**

- 7.7.3 In an Industrial-Commercial (MC) zone, no building, structure or land shall be used, or caused to be used, and no building or structure shall be hereafter erected or altered, or caused to be erected or altered except in accordance with the provisions of Sections 3 and 7.1 and the following regulations:
- REGULATIONS**
- 7.7.3.1 Maximum lot coverage shall be forty (40) percent. **COVERAGER**
- 7.7.3.2 The setback from the front lot line shall be a minimum of fifteen (15) metres. **FRONT YARD**
- 7.7.3.3 The setback from the side yard shall be a minimum of four and five-tenths (4.5) metres except where the side lot line abuts a Residential or Open Space zone in which case the setback from the said side lot line shall be a minimum of seven and six-tenths (7.6) metres. **SIDE YARD**
- 7.7.3.4 Where a side lot line abuts a street, the setback from the said side lot line shall be a minimum of twelve (12) metres. **EXTERIOR SIDE YARD**
- 7.7.3.5 The setback from the rear lot line shall be a minimum of seven and six-tenths (7.6) metres. **REAR YARD**

7.8 Railway (MR) Zone

7.8.1 In a Railway (MR) zone, no building, structure or land shall be used, or caused to be used, and no building or structure shall be hereafter erected or altered, or caused to be erected or altered except in accordance with the provisions of Sections 3 and 7.1 for one or more of the following uses:

**RAILWAY
INDUSTRIAL
USES
PERMITTED**

- 7.8.1.1 Railway lines and yards.
- 7.8.1.2 Buildings and structures necessary for the operation and maintenance of railway facilities, and
- 7.8.1.3 other operations that are incidental and accessory to the operation of a railway.

7.9

Industrial Business Park (MBP) Zone

7.9.1 No land, building or structure shall be erected or used, or caused to be erected or used in any Industrial Business Park (MBP) zone, except for one or more of the following uses:

7.9.1.1 Computer, Electronic or Data Processing Business; Corporate Administrative Offices; Research and Development Facilities; Laboratory; Scientific, Technological or Communications Establishments; Architecture, Engineering, Surveying, Planning or Design Offices. **INDUSTRIAL BUSINESS PARK ZONE PERMITTED USES**

7.9.1.2 All those uses permitted in the Light Industrial One (M.1) zone.

7.9.1.3 Accessory Office and Business Establishments; Accessory Day-care Facilities; Accessory Convenience Stores; Accessory Restaurants.

7.9.2 In an Industrial Business Park (MBP) zone, no building, structure or land shall be used, or caused to be used, and no building or structure shall be hereafter erected or altered, or caused to be erected or altered, except in accordance with the provisions of Sections 3 and 7.1 and the following regulations: **REGULATIONS**

7.9.2.1 Maximum lot coverage shall be fifty (50) percent. **COVERAGE**

7.9.2.2 Minimum lot area shall be not less than four thousand and forty-seven (4,047) square metres. **LOT AREA**

7.9.2.3 The setback from the front lot line shall be a minimum of fifteen (15) metres. **FRONT YARD**

7.9.2.4 The setback from the side yard shall be a minimum of four and five-tenths (4.5) metres, except where the side lot line abuts a Residential or Open Space zone, in which case the setback from the said side lot line shall be a minimum of seven and six-tenths (7.6) metres. **SIDE YARD**

7.9.2.5 Where a side lot line abuts a street, the setback from the said side lot line shall be a minimum of twelve (12) metres. **EXTERIOR SIDE YARD**

The setback from the rear lot line shall be a minimum of twelve (12) metres. **REAR YARD**

7.9.3 In any Industrial Business Park zone which fronts on a street opposite to, or directly abuts any Residential zone:

7.9.3.1 No loading space shall be located in, nor open onto any side yard adjacent to the Residential zone.

7.9.3.2 A strip of land not less than one and five-tenths (1.5) metres in width along the side lot lines within the Business Park zone and adjacent to the Residential zone shall be adequately landscaped. **AMENITY REQUIREMENTS**

7.9.3.3 A strip of land not less than three (3) metres in width along the lot frontage shall be adequately landscaped.

7.9.3.4 Exterior lighting and illuminated signs shall be so arranged as to direct light away from the adjacent Residential zone.

7.9.3.5 Outside storage shall be prohibited in any yard.

OPEN SPACE

SECTION 8 - OPEN SPACE ZONES

8.1 Open Space (0) Zone

8.1.1 No land, building or structure shall be erected or used, or caused to be erected or used in any Open Space (0) zone, except for one or more of the following uses:

**SPECIAL
USES
PERMITTED**

- Cemeteries;
- Conservation Areas;
- Golf Courses;
- Local Recreational Facilities;
- Museums and Historical Sites;
- Private Open Spaces;
- Public and Private Parking;
- Public and Private Parks;
- Rinks and Skating Facilities;
- Ski clubs;
- Sporting Fields and Courts;
- Buildings or structures accessory to the foregoing.

8.1.2 In an Open Space (0) zone no building, structure or land shall be used, or caused to be used, and no building or structure shall be hereafter erected or altered, or caused to be erected or altered except in accordance with the provisions of Section 3 and the following regulations:

REGULATIONS

8.1.2.1 There shall be no minimum lot area.

LOT AREA

8.1.2.2 There shall be no minimum lot frontage.

LOT FRONTAGE

8.1.2.3 The setback from the front, side and rear lot lines shall be a minimum of seven and six-tenths (7.6) metres.

YARDS

8.1.2.4 The maximum lot coverage shall not exceed ten (10%) percent.

COVERAGE

8.1.3 In any Open Space (0) zone an accessory building shall not be built closer to any lot line than seven and six-tenths (7.6) metres.

**ACCESSORY
BUILDINGS**

8.2 **Floodway (0.1) Zone**

8.2.1 No land, building or structure shall be erected or used, or caused to be erected or used, in any Floodway (0.1) zone, except for one or more of the following uses:

Marinas, Boathouses, Docks;
Public and/or Private Parks;
Agricultural and related uses excluding buildings and structures;
Roads, bridges, railways and/or other public services of approved hydrological design;
Structural works for flood and/or erosion-sedimentation control.

8.3 **Floodplain and Erosion (0.2) Zone**

8.3.1 No land, building or structure shall be erected or used, or caused to be erected or used, in any Floodplain and Erosion (0.2) zone, except for one or more of the following uses:

Public and/or private parks and those structures accessory to;
Recreational uses;
Marinas, boathouses and docks;
Roads, bridges, railways and other public services of approved structural designs;
Parking areas which are not required for habitable buildings, and where the object being parked is not explosive, corrosive, flammable or a pollutant;
Agricultural and related uses, excluding buildings and structures, and
Structural works of approved design for flood or erosion and sedimentation control.

8.3.2 In addition to lands designated as "(0.2)" on any Schedule hereto, lands in the City of North Bay abutting the shores of Trout Lake which are below the Canadian Geodetic Datum (C.G.D.) elevation of two hundred two and seven-tenths (202.7) metres are

deemed to be a Floodplain and Erosion (0.2) zone.

- 8.3.3 In a Floodplain and Erosion (0.2) zone no building, structure or land shall be used, or caused to be used, and no building or structure shall be erected or altered, or caused to be erected or altered, except in accordance with the provisions of Section 3 and the following regulations:
- a) There shall be no minimum lot area.
 - b) There shall be no minimum lot frontage.
 - c) The setback from the front, side and rear lot lines shall be a minimum of seven and six-tenths (7.6) metres.
 - d) The maximum lot coverage shall not exceed ten (10) percent.
- 8.3.4 In any Floodplain and Erosion (0.2) zone, an accessory building shall not be built closer to any lot line than seven and six-tenths (7.6) metres.

INSTITUTIONAL ZONE

SECTION 9 - INSTITUTIONAL (N) ZONE

- 9.1 No land, building or structure shall be erected or used, or caused to be erected or used in any Institutional (N) zone except for one or more of the following uses:
- SPECIAL USES PERMITTED**
- Cemeteries;
Colleges, Universities and Private Schools;
Day Nurseries;
Elementary and Secondary Schools;
Government Lands and Buildings;
Group Homes;
Homes for the Aged;
Hospitals;
Museums;
Nursing Home;
Place of Worship;
Recreational facilities owned and operated by a public authority;
Sanitoriums;
Welfare Institutions;
Buildings or Structures accessory to the foregoing.
- 9.2 In an Institutional (N) zone, no building, structure or land shall be used, or caused to be used, and no building or structure shall hereafter be erected or altered, or caused to be erected or altered except in accordance with the provisions of Section 3 and the following regulations:
- 9.2.1 There shall be no minimum lot area.
- 9.2.2 There shall be no minimum lot frontage.
- 9.2.3 The minimum front, side and rear yards shall be seven and six-tenths (7.6) metres or half the height of the building, whichever is greater.
- 9.2.4 The maximum lot coverage shall not exceed fifty (50) percent.
- 9.3 In any Institutional (N) zone, an accessory building shall not be built closer to any lot line than seven and six-tenths (7.6) metres.
- ACCESSORY BUILDINGS**

RURAL ZONES

SECTION 10 - RURAL ZONES

10.1 Rural (A) Zone

10.1.1 In a Rural (A) zone, no building, structure or land shall be used, or caused to be used, and no building or structure shall be hereafter erected or altered, or caused to be erected or altered, except in accordance with the provisions of Section 3 and for the following uses on a lot of record as registered in the Registry Office or filed in The Land Titles Office for the District of Nipissing:

USES
(SECTION 50
BY-LAW 165-80)

Agricultural and Forestry Uses;
Cemeteries;
Conservation Areas;
Public and Private Recreational Uses;
Existing single detached dwellings and new single detached dwellings on a lot created pursuant to Section 50 or 53 of the Planning Act, R.S.O. 1990 as amended;
Accessory uses to the above, and home based businesses in accordance with Section 3.36.

10.1.2 In a Rural (A) zone, no building, structure or land shall be used, or caused to be used, and no building shall be hereafter erected or altered, or caused to be erected or altered except in accordance with the provisions of Section 3 and the following regulations:

REGULATIONS

PERMITTED USE	MINIMUM LOT AREA	MINIMUM LOT FRONTAGE	MINIMUM FLOOR AREA	MAXIMUM LOT COVERAGE	REQUIRED FRONT & REAR YARDS	REQUIRED SIDE YARDS
Agricultural	Nil	Nil	N/A	N/A	N/A	N/A
Forestry	Nil	Nil	N/A	N/A	N/A	N/A
Cemeteries	Nil	Nil	N/A	10%	N/A	N/A
Golf Courses	Nil	Nil	N/A	10%	30 Metres	30 Metres
Kennels	1,395 sq m	30 metres	N/A	15%	30 m - 30 m	30 m - 30 m
Riding Stables	.8 hectare	76 metres	N/A	30%	30 m - 30 m	30 m - 30 m
Public & Private Recreational	1.6 hectares	76 metres	N/A	15%	15 m - 15 m	7.6 m - 7.6 m
Conservation Areas	1,395 sq m	30 metres	N/A	15%	15 m - 15 m	7.6 m - 7.6 m
Single Detached Dwellings i) Infilling	1,395 sq m	30 metres	79 sq m	30%	15 m - 15 m	7.6 m - 7.6 m
ii) Lots of Record	1,395 sq m	30 m	79 sq m	30%	15 m - 15 m	7.6 m - 7.6 m

10.1.3 The following uses are restricted in a Rural (A) zone unless such use is incidental to a principal agricultural use:

**(SECTION 51
BY-LAW 165-80)**

Barns, poultry houses, stables or other structures for accommodating animals, including fowls for commercial purposes;
Commercial Kennels;
Commercial Fur Farms;
Commercial Greenhouses and Nurseries;
Commercial Mushroom Farms;
Commercial Poultry or Game Farms and Hatcheries;

**RURAL ZONE
USES
RESTRICTED**

- 10.1.3.1 No person shall erect or use, or cause to be erected or used, any building or structure for any of the said Restricted Uses closer than ninety (90) metres to any Urban or Rural Residential zone.
- 10.1.4 Where a Restricted Use is permitted in any Rural (A) zone, said use shall be located not closer than thirty (30) metres to any lot line, or closer than ninety (90) metres to any existing dwelling unit on an adjoining lot or closer than thirty (30) metres to any inflowing stream or watercourse to Trout Lake or Lake Nipissing.
- 10.1.5 In any Rural (A) zone where a single detached dwelling is permitted, not more than one (1) dwelling unit shall be erected on any single lot. **SINGLE DETACHED DWELLING LOT USE REQUIREMENT**
- 10.1.6 In any Rural (A) zone an accessory building, other than a garage, shall be located no closer than three (3) metres to any single detached dwelling. **DISTANCE BETWEEN BUILDINGS**
- 10.1.7 In any Rural (A) zone an accessory building shall not be built closer than three (3) metres to any side or rear lot line. **ACCESSORY BUILDINGS (SIDE AND REAR YARD)**
- 10.1.8 In any Rural (A) zone a garage or carport may be built within the front yard, provided that such garage or carport is not built closer to the front lot line than the minimum distance required by this By-law for the main building on the same lot. **ACCESSORY BUILDINGS (FRONT YARD)**
- 10.1.9 In any Rural (A) zone, before a building permit is issued, the lot must be approved for on-site sewage disposal and water supply by the applicable regulatory authority. **SEWAGE DISPOSAL**

10.2 Rural Residential Cottage (RRC) Zone

10.2.1 No person shall use, or cause to use, land or erect or alter, or cause to erect or alter, any building or structure in a Rural Residential Cottage (RRC) zone except for:

RRC USES

Existing Single Detached Cottage;

New Single Detached Cottage;
Home Based Businesses in accordance with Section 3.36;
Public or Private Park and Beach.

10.2.2 In a Rural Residential Cottage (RRC) zone, no person shall erect, or cause to erect, a new cottage or use, or cause to use, a building, except in conformity with the following regulations:

**RRC ZONE
REQUIREMENTS**

- 1) Minimum Lot Area shall be four-tenths (0.4) hectares.
- 2) Minimum Lot Frontage shall be sixty-one (61) metres.
- 3) Minimum Front Yard shall be thirty (30) metres.
- 4) Minimum Rear Yard shall be twelve (12) metres.
- 5) Minimum Side Yards shall be six (6) metres.
- 6) Minimum Floor Area shall be thirty-seven (37) square metres.

10.2.2 7) Maximum Lot Coverage shall be ten (10) percent.

**RRC ZONE
REQUIREMENTS**

- 8) Maximum height of the main building shall be ten and five-tenths (10.5) metres.
- 9) The lot shall be approved for on-site sewage disposal and water supply by the applicable regulatory authority.

- | | | |
|--------|---|---|
| 10.2.3 | The front lot line of a lot with shoreline frontage shall be that lot line which defines the waterfront side of said lot. | SHORELINE
LOT
FRONTAGE |
| 10.2.4 | In any Rural Residential Cottage (RRC) zone an accessory building other than a garage shall be located no closer than three (3) metres to any single detached cottage. | DISTANCE
BETWEEN
BUILDINGS |
| 10.2.5 | In any Rural Residential Cottage (RRC) zone an accessory building shall not be built closer to any side lot line than the minimum distance required by this By-law for the main building on the same lot. | ACCESSORY
BUILDINGS |
| 10.2.6 | In any Rural Residential Cottage (RRC) zone, a boathouse may be built on the front lot line. | |
| 10.2.7 | In any Rural Residential Cottage (RRC) zone an accessory building shall not be closer than four and five-tenths (4.5) metres to any rear property line if the doors open facing the rear or sixty-one (61) centimetres if the doors open facing the side property line. | |
| 10.2.8 | Pursuant to Section 34(3.5) of the Planning Act R.S.O. 1990, as amended, no person shall use land or erect or use a building or structure in a "Rural Residential Cottage (RRC)" zone shown on Schedules C-5 and C-6 unless such building or structure, designed for human habitation, has no opening such as a door, window, vent, passageway or any other opening below the Canadian Geodetic Datum elevation of two hundred and two and seven-tenths (202.7) metres. | |

10.3 **Rural Residential Lakefront (RRL) Zone**

10.3.1 No person shall use, or cause to use, land or erect or alter, or cause to be erected or altered, a building or structure in a Rural Residential Lakefront (RRL) zone except for:

**RRL USES
PERMITTED**

Existing single detached dwelling;

New single detached dwelling;

Local park and playground;

Accessory uses to the above;

Home Occupations in accordance with Section 3.36.

10.3.2 In a Rural Residential Lakefront (RRL) zone, no person shall erect, or cause to erect, a new residence, or use, or cause to be used, a building except in conformity with the following regulations:

- 1) Minimum Lot Area shall be four-tenths (0.4) hectares.
- 2) Minimum Lot Frontage shall be sixty-one (61) metres.
- 3) Minimum Front Yard shall be thirty (30) metres.
- 4) Minimum Rear Yard shall be twelve (12) metres.
- 5) Minimum Side Yards shall be six (6) metres.

**RRL ZONE
REQUIREMENTS**

10.3.2 6) Minimum Floor Area shall be:

**RRL ZONE
REQUIREMENTS**

- i) 1 Storey Ninety-three (93) square metres;
- ii) 1-1/2 Storeys One hundred and twenty-one (121) square metres;
- iii) 2 Storeys or more One hundred and thirty (130) square metres.

- 7) Maximum Lot Coverage shall be ten (10) percent.
 - 8) Maximum Height of the main building shall be ten and five-tenths (10.5) metres.
 - 9) The lot shall be approved for on-site sewage disposal and water supply by the applicable regulatory authority.
- 10.3.3 The front lot line of a lot with shoreline frontage shall be that lot line which defines the waterfront side of said lot. **SHORELINE LOT FRONTAGE**
- 10.3.4 In any Rural Residential Lakefront (RRL) zone an accessory building other than a garage shall be located no closer than three (3) metres to any single detached dwelling. **DISTANCE BETWEEN BUILDINGS**
- 10.3.5 In any Rural Residential Lakefront (RRL) zone an accessory building shall not be built closer to any side lot line than the minimum distance required by this By-law for the main building on the same lot. **ACCESSORY BUILDING**
- 10.3.6 In any Rural Residential Lakefront (RRL) zone a boathouse may be built on the front lot line.
- 10.3.7 Pursuant to Section 34(5) of the Planning Act, no person shall use land or erect or use a building or structure in a "Rural Residential Lakefront (RRL)" zone shown on Schedules C-5 and C-6, as amended by By-law No. 94-84, unless such building or structure, designed for human habitation, has no opening such as a door, window, vent, passageway or any other opening below the Canadian Geodetic Datum elevation of two hundred and two and seven-tenths (202.7) metres. **ACCESSORY BUILDING**
- 10.3.8 In any Rural Residential Lakefront (RRL) zone an accessory building shall not be built closer than four and five-tenths (4.5) metres to the rear property line if the doors open facing the rear or 61 cm if the doors open facing the side property line.

10.4 Rural Residential Estate (RRE) Zone

10.4.1 No person shall use, or cause to use, land or erect or alter, or cause to erect or alter any building or structure in a Rural Residential Estate (RRE) zone except for:

**RRE USES
PERMITTED**

Single detached dwellings;

Local park and playground;

Accessory uses to the above;

Home Occupations in accordance with Section 3.36.

10.4.2 In a Rural Residential Estate (RRE) zone no person shall erect or use, or cause to erect or use any building except in conformity with the following Regulations:

- 1) Minimum Lot Area shall be one and two-tenths (1.2) hectares.
- 2) Minimum Lot Frontage shall be seventy-six (76) metres.
- 3) Minimum Front Yard shall be fifteen (15) metres.
- 4) Minimum Rear Yard shall be fifteen (15) metres.
- 5) Minimum Side Yard shall be fifteen (15) metres.
- 6) Minimum Floor Area shall be ninety-three (93) square metres.
- 7) Maximum Lot Coverage shall be five (5) percent.
- 8) Maximum Height of main building shall be ten and five-tenths (10.5) metres.

**RRE ZONE
REQUIREMENTS**

10.4.3 In any Rural Residential Estate (RRE) zone an accessory building other than a garage shall be located no closer than three (3) metres to any single detached dwelling.

**DISTANCE
BETWEEN
BUILDINGS**

- 10.4.4 In any Rural Residential Estate (RRE) zone an accessory building shall not be built closer than three (3) metres to any side or rear property line.
- 10.4.5 The lot shall be approved for on-site sewage disposal and water supply by the applicable regulatory authority.

10.5 **Rural Extractive Industrial (RME) Zone**

10.5.1 No land, building or structure shall be erected or used, or caused to be erected or used in any Rural Extractive Industrial (RME) zone except for one of the following uses:

**EXTRACTIVE
INDUSTRIAL
USES
PERMITTED**

Asphalt Plant;
Concrete/Block Plant;
Pit;
Quarry;

Any buildings and equipment necessary for the extraction of sand, gravel or stone.

10.5.2 No person shall operate any of the above permitted uses within:

**REQUIREMENTS FOR
EXCAVATIONS**

- i) Sixty-one (61) metres of any boundary or property line of any adjacent zone;
- ii) sixty-one (61) metres of the front lot line, or
- iii) thirty (30) metres to the edge of any stream or body of water which is part of the Trout Lake or Lake Nipissing watersheds.

10.5.3 In a Rural Extractive Industrial (RME) zone no person shall establish a use except in conformity with the following regulations:

- 1) Minimum Lot Area shall be ten (10) hectares.
- 2) Minimum Lot Frontage shall be two hundred and one (201) metres.

10.5.4 In any RME zone an accessory building shall not be built closer to any property line than sixty-one (61) metres or thirty (30) metres to any stream or body of water as part of any watershed.

10.5.5 A strip of land not less than seven and six-tenths (7.6) metres in width along the property line be adequately landscaped to create a buffer zone.

10.6 **Rural Commercial (RC) Zone**

10.6.1 No land, building or structure shall be erected or used, or caused to be erected or used in any Rural Commercial (RC) zone except for one of the following uses:

**RC USES
PERMITTED**

Adult Entertainment Parlour;
Driving Ranges;
Hotel, Motel and Cabins, or other
Tourist Commercial Establishment;
Public and Private Recreational Facilities;
Race Track;
Restaurants;
Retail Commercial outlet;
Taverns;
Transportation Terminals;
Service station;
Veterinary establishment;

Accessory uses to the above including a single detached dwelling unit for the resident-owner, either as part of the main building or detached.

10.6.2 In a Rural Commercial (RC) zone, no person shall erect or use, or cause to erect or use any building except in conformity with the following regulations:

- 1) Minimum Lot Area shall be eight-tenths (0.8) hectares.
- 2) Minimum Lot Frontage shall be seventy-six (76) metres.
- 3) Minimum Front Yard shall be fifteen (15) metres.
- 4) Minimum Rear Yard shall be fifteen (15) metres.
- 5) Minimum Side Yard shall be fifteen (15) metres.

**RC ZONE
REQUIREMENTS**

10.6.2 6) Maximum Lot Coverage shall be fifteen (15) percent.

**RC ZONE
REQUIREMENTS**

7) Maximum Height of the main building shall be ten and five-tenths (10.5) metres.

10.6.3 In any Rural Commercial (RC) zone an accessory building shall not be built closer to any side lot line than the minimum distance required by this By-law for the main building on the same lot.

**ACCESSORY
BUILDINGS**

10.6.4 No person shall establish, operate, or use a new Adult Entertainment Parlour use in a Rural Commercial zone except in conformity with the following regulations:

- a) The use shall be located in freestanding, single use buildings.
- b) The minimum on-site parking requirement shall be one (1) parking space for every three (3) seats.
- c) That no new adult entertainment parlour use shall be located closer than:
 - i) 150 metres from any highway or local street;
 - ii) 500 metres from any residential, institutional or open space uses;
 - iii) 2000 metres from any other adult entertainment parlour.

10.7 Rural Marine Commercial (RMC) Zone

10.7.1 No person shall use or cause to use land, or erect or alter, or cause to erect or alter any building or structure in a Rural Marine Commercial (RMC) zone except for a:

RMC USES

Marina;

Marine air base, and

Accessory uses to the above including restaurants and taverns.

10.7.2 In a Rural Marine Commercial (RMC) zone, no person shall erect or use, or cause to erect or use any building except in conformity with the following regulations:

- 1) Minimum Lot Area shall be four-tenths (0.4) hectares;
- 2) Minimum Lot Frontage shall be sixty-one (61) metres;
- 3) Minimum Front Yard shall be ten and five-tenths (10.5) metres;
- 4) Minimum Rear Yard shall be ten and five-tenths (10.5) metres;
- 5) Minimum Side Yard shall be seven and six-tenths (7.6) metres;
- 6) Maximum Lot Coverage shall be fifty (50) percent;
- 7) Maximum Height of the main building shall be ten and five-tenths (10.5) metres;
- 8) The lot shall be approved by the applicable regulatory authority for an on-site sewage disposal and water supply system.

**RMC ZONE
REQUIREMENTS**

- | | | |
|--------|--|---|
| 10.7.3 | In any Rural Marine Commercial (RMC) zone any accessory building shall be located no closer than seven and six-tenths (7.6) metres to the main building. | DISTANCE
BETWEEN
BUILDINGS |
| 10.7.4 | In any Rural Marine Commercial (RMC) zone an accessory building shall not be built closer to any side lot line than the minimum distance required by this By-law for the main building on the same lot. | ACCESSORY
BUILDINGS |
| 10.7.5 | In a Rural Marine Commercial (RMC) zone, no person shall establish a new commercial use except in conformity with the regulations set out in Section 10.7.2 and by an Amendment to this By-law pursuant to Section 2.9.3 of the Official Plan. | NEW USES |

10.8 Rural Institutional (RN) Zone

10.8.1 No person shall use, or cause to use land, or erect or alter, or cause to erect or alter any building or structure in a Rural Institutional (RN) zone except for a:

Cemetery;
Day Nursery;
Group Home;
Home for the Aged;
Nursing Home;
Place of Worship;
Private Club;
Public or Private Museum and Park;
Public or Private Recreation;
Public or Private School;
Sanitarium;
Accessory uses to the above.

**RN USES
PERMITTED**

10.8.2 In a Rural Institutional (RN) zone no person shall erect or use, or cause to erect or use a building except in conformity with the following regulations:

- 1) Minimum Lot Area shall be four-tenths (0.4) hectares;
- 2) Minimum Lot Frontage shall be sixty-one (61) metres;
- 3) Minimum Front Yard shall be fifteen (15) metres;
- 4) Minimum Rear Yard shall be fifteen (15) metres;
- 5) Minimum Side Yard shall be seven and six-tenths (7.6) metres;
- 6) Maximum Lot Coverage shall be fifteen (15) percent;
- 7) Maximum Height of the main building shall be ten and five-tenths (10.5) metres.

**RN ZONE
REQUIREMENTS**

- | | | |
|--------|---|---|
| 10.8.3 | In any Rural Institutional (RN) zone an accessory building shall be located no closer than three (3) metres to the main building. | DISTANCE
BETWEEN
BUILDINGS |
| 10.8.4 | In any Rural Institutional (RN) zone an accessory building shall not be built closer to any side lot line than three (3) metres. | ACCESSORY
BUILDINGS |

SPECIAL ZONES

SECTION 11 - SPECIAL ZONES

11.1 WHEREAS Zoning By-law No. 1097 of the former Township of Widdifield, hereby repealed, was amended by By-law Nos. 16-70, 29-71, 50-75, 55-75, 112-75, 59-76 and 65-76, each of which made Special Provisions or Regulations to Zoning By-law No. 1097;

WHEREAS Zoning By-law No. 9-69 of the City of North Bay, hereby repealed, was amended by By-laws Nos. 22-71, 83-72, 51-73 and 76-73, each of which made Special Provisions or Regulations to Zoning By-law No. 9-69, and

WHEREAS Zoning By-law No. 907 of the former Township of West Ferris, hereby repealed, was amended by By-laws Nos. 60-74, 144-76, 26-77 and 28-77, each of which made Special Provisions or Regulations to Zoning By-law No. 907.

NOW THEREFORE such Special Amendments are hereby incorporated into this By-law by way of the Special Zones established in Section 11. Each of the following Special Zones is accompanied by an individual schedule indicating the subject property. However, should such schedule be referred to within the text of the Special Zone as a Site Plan, such Schedule may make additional Special Requirements for such Special Zone. The Special Zones herein established are to be further indicated on the Urban and Rural Schedules to this By-law as further noted within the text of each Special Zone.

11.2 RESIDENTIAL SPECIAL ZONES

11.2.1 Residential Special Zone #1 (R Sp.1)

11.2.1.1 The property description of Residential Special 1 Zone (R Sp.1) is:

Lots 264, 265, 266 and the easterly two and five-tenths (2.5) metres of Lot 263, Plan 10, Worthington Street, see attached Schedule and Schedule "B-50".

11.2.1.2 The Special Requirements of this Residential Special 1 Zone (R Sp.1) are as follows:

a) Permitted Uses in this zone are:

i) Commercial

A social and recreational centre for Senior Citizens.

ii) Residential

An apartment building which contains dwelling units for the purpose of accommodating only Senior Citizens. Said dwelling units will be connected to and form an integral part of the commercial building, but no dwelling units will be permitted on the ground floor.

b) The Regulations of this zone are:

No building, structure or land shall be hereafter erected or altered, or caused to be erected or altered except in accordance with the following regulations:

i) Maximum lot coverage shall be fifty (50) percent.

ii) Minimum front yard shall be six (6) metres.

iii) Minimum side yard shall be six (6) metres

except that where the building contains residential accommodation of one or more storeys in height and the windows of habitable rooms face the said lot line, the nearest main wall of the residential portion of the building shall be no less than one-half (1/2) the height of the building from the said lot line, but not less than six (6) metres.

- iv) Minimum rear yard shall be one and two-tenths (1.2) metres except that where the building contains residential accommodation of one or more storeys in height and the windows of habitable rooms face the said lot line, the nearest main wall of the residential portion of the building shall be no less than ten and five-tenths (10.5) metres from the rear lot line.
- v) Maximum height of the building, exclusive of any roof structure that is used only for the mechanical operation of any building, shall not exceed eleven (11) storeys.
- vi) The parking space requirements are:

<u>Type of Building</u>	<u>Minimum Parking Requirements</u>
Senior Citizens' Apartment Building	One (1) parking space for each four (4) dwelling units.
Senior Citizens' Social and Recreational Centre	Eight (8) spaces.

11.2.1.3 The use of land in this Residential Special 1 Zone (R Sp.1) shall conform to all other regulations of this By-law, except as hereby expressly varied.

11.2.2 Residential Special Zone 2 (R Sp.2)

11.2.2.1 The property description of this Residential Special 2 Zone (R Sp.2) is:

Lot 16, Concession "A", former Township of Widdifield, Parcels 2969 W&F and 2879 W&F and part of Parts 1, 2 and 3, Plan 36R-6078, Little Down Lane (see attached Schedule and Schedule "C-6").

11.2.2.2 The special requirements of this Residential Special 2 Zone (R Sp.2) are as follows:

a) Permitted Uses in this zone are:

i) Residential

Mobile Homes.

b) The regulations in this zone are:

Maximum of twenty (20) mobile home sites.

11.2.2.3 The use of land in this Residential Special 2 Zone (R Sp.2) shall conform to all other regulations of this By-law, except as hereby expressly varied.

11.2.3 Residential Special Zone 3 (R Sp.3)

11.2.3.1 The property description of this Residential Special 3 Zone (R Sp.3) is:

Part North Half Lot 21, Concession 5, in the former Township of Widdifield, being the Remainder of Parcel 6531 W&F, Highway #11 North (see attached Schedule and Schedule "C-10").

11.2.3.2 The special requirements of the Residential Special 3 Zone (R Sp.3) are as follows:

a) Permitted Uses in this zone are:

i) Residential

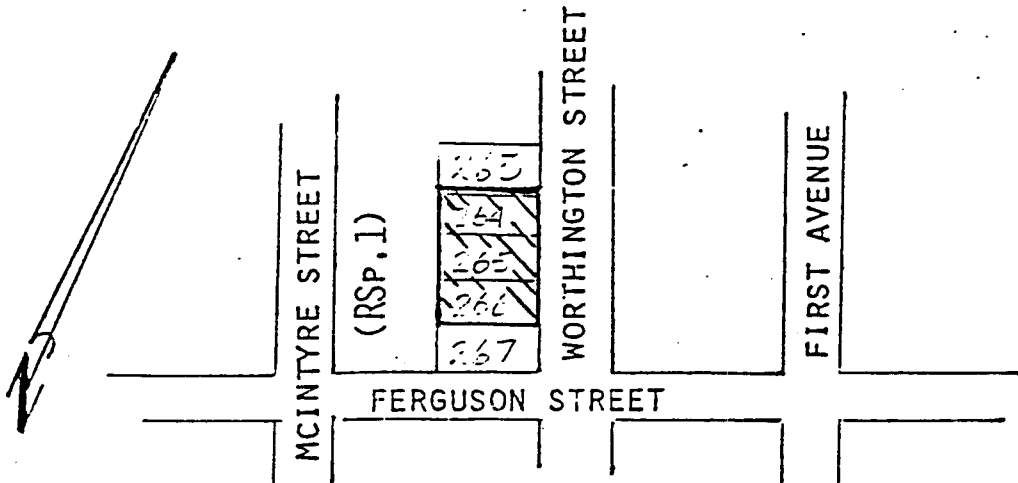
Mobile Homes.

b) Regulations in this zone are:

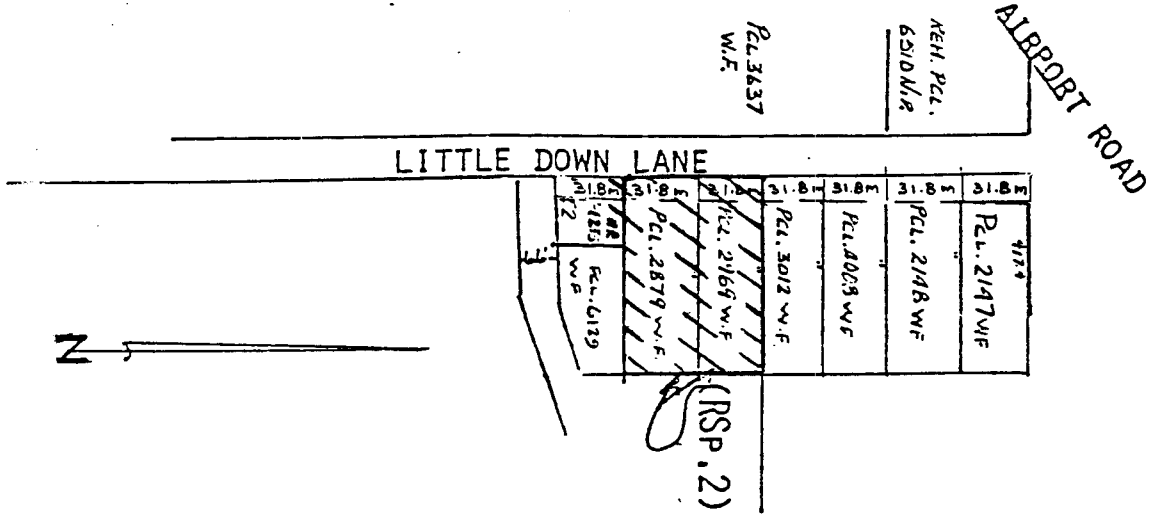
No building, structure or land shall be hereafter erected or altered, or caused to be erected or altered except in accordance with the regulations and provisions of the "Residential First Density (R1) Zone".

11.2.3.3 The use of land in this Residential Special 3 Zone (R Sp.3) shall conform to all other regulations of this By-law, except as hereby expressly varied.

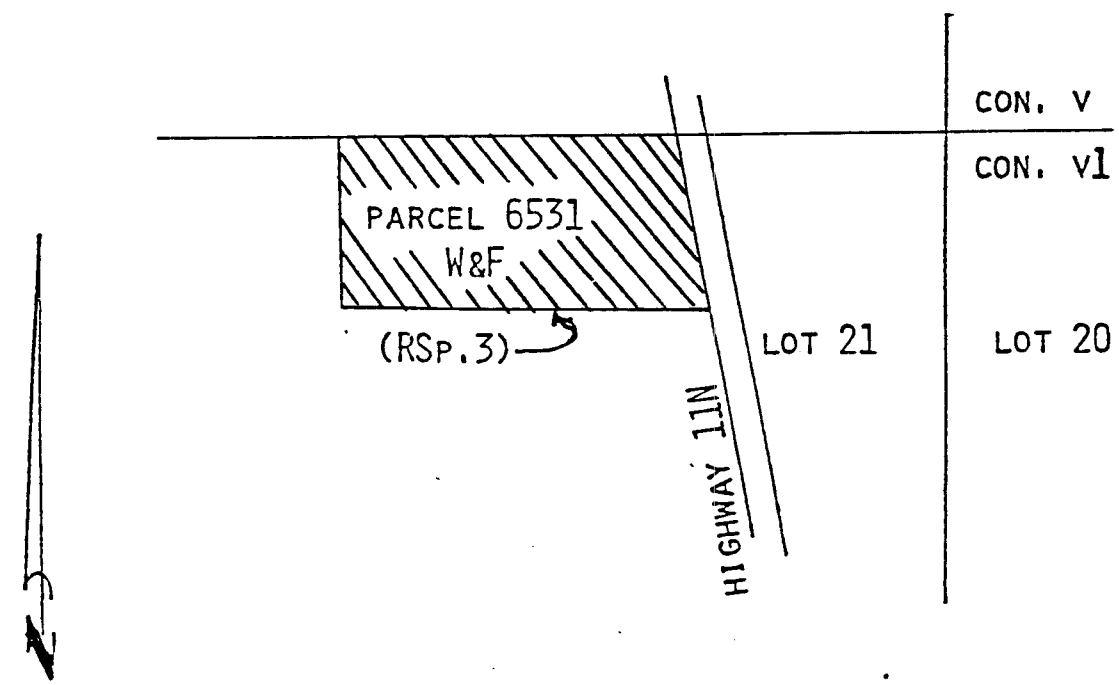
SCHEDULE TO RESIDENTIAL SPECIAL ZONE NO. 1 (RSP. 1)



SCHEDULE TO RESIDENTIAL SPECIAL ZONE NO. 2 (RSP.2)



SCHEDULE TO RESIDENTIAL SPECIAL ZONE NO. 3 (RSP.3)



11.2.4 Residential Special Zone 4 (R Sp.4)

11.2.4.1 The property description of this Residential Special 4 Zone (R Sp.4) is:

Part of Part 1, Plan 36R-3621, McKee Drive (see attached Schedule and Schedule "B-45").

11.2.4.2 The special requirements of this Residential Special 4 Zone (R Sp.4) are as follows:

a) Permitted Uses in this zone are:

i) Residential

Single detached dwellings.

b) Regulations in this zone are:

<u>Minimum Lot Area</u>	<u>Minimum Lot Frontage</u>	<u>Minimum Floor Area</u>	<u>Maximum Lot Coverage</u>
465 square metres	18 metres	93 square metres	30%

c) Minimum Front Yard shall be six (6) metres.

d) Minimum Rear Yard shall be nine (9) metres, except in the case of a corner lot where the rear yard shall be not less than six (6) metres.

e) Minimum Side Yard shall be as follows:

i) Minimum of one and two-tenths (1.2) metres for a one-storey dwelling and an additional sixty-one (61) centimetres for each additional storey or part thereof.

- 11.2.4.2 e) ii) On every lot other than a corner lot where there is no attached garage or carport or other provision for off-street parking on the same lot, one side yard shall have a minimum width of three (3) metres.
- iii) An exterior side yard of a corner lot shall be not less than three (3) metres.
- iv) In the case of a corner lot, no garage shall be located closer than six (6) metres to the street line and no portion of any driveway shall be located closer than nine (9) metres to the intersection of any two streets measured along the street line and its projection to the intersections of such street line or its projection with another street line or its projection.
- 11.2.4.3 The use of land in this Residential Special 4 Zone (R Sp.4) shall conform to all other regulations of this By-law, except as hereby expressly varied.

11.2.5 Residential Special Zone 5 (R Sp.5)

11.2.5.1 The property description of this Residential Special 5 Zone (R Sp.5) is:

That part of The Hydro Electric Power Commission Easement #63927 in the East Half of the South Half of Lot 22, Concession "B" in the former Township of Widdifield and referred to as Blocks "C" and "D" on the Draft Plan of Subdivision being Ministry of Housing File #48T-25026 (see attached Schedule and Schedule "B-31").

11.2.5.2 The special requirements in this Residential Special 5 Zone (R Sp.5) are:

a) Permitted in this zone are:

The property described herein and as shown on Schedule "B-31" may be used for such purposes as vehicular parking, lot area requirements, play space, private outdoor living area and yard setbacks of the "RM2" zone for any contiguous and abutting property having a zoning of "RM2" in this By-law.

11.2.5.3 The use of land in this Residential Special 5 Zone (R Sp.5) shall conform to all other regulations of this By-law, except as hereby expressly varied.

11.2.6 Residential Special Zone 6 (R Sp.6)

11.2.6.1 The property description of this Residential Special 6 Zone (R Sp.6) is:

Part Lot 37, Concessions 13 and 14 in the former Township of West Ferris (see Schedule and Schedules "B-82" and "C-2").

11.2.6.2 The special requirements of this zone are:

a) Permitted Uses in this zone are:

i) Residential

Single wide and double wide mobile home dwellings.

b) Regulations in this zone are:

<u>Minimum Lot Area</u>	<u>Minimum Lot Frontage</u>	<u>Minimum Floor Area</u>	<u>Maximum Height</u>	<u>Maximum Lot Coverage</u>
325.5 square metres	10.5 metres	88 square metres	4.5 metres	30%

c) Minimum Front Yard shall be six (6) metres.

d) Minimum Rear Yard shall be four and five-tenths (4.5) metres, except in the case of a corner lot where the rear yard shall be not less than three (3) metres.

e) Minimum Side Yard shall be:

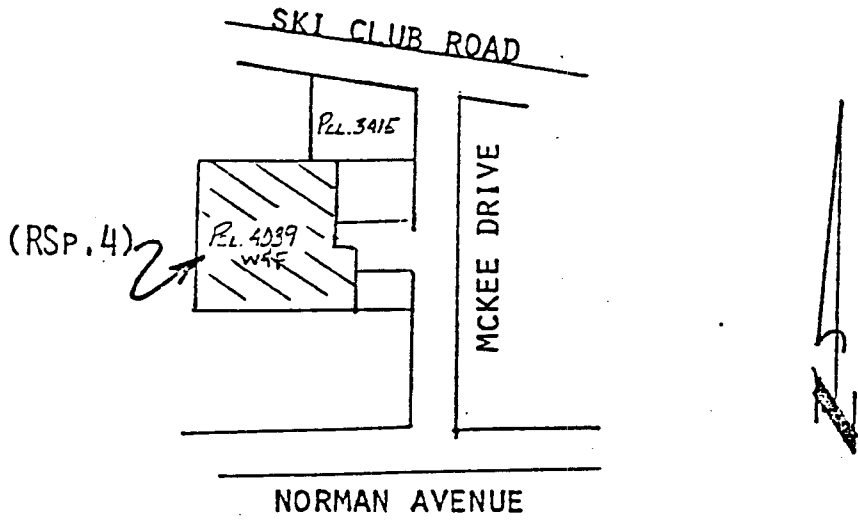
i) Four and five-tenths (4.5) metres;

ii) where a side yard has no entry point to the mobile home unit, the side yard shall be a minimum of one and five-tenths (1.5) metres;

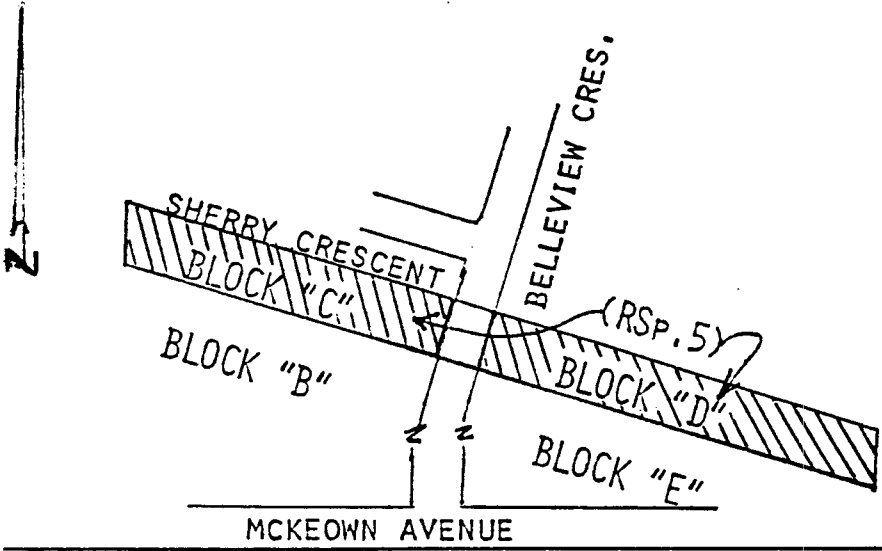
iii) an exterior side yard shall be not less than three (3) metres.

11.2.6.3 The use of land in this Residential Special 6 Zone (R Sp.6) shall conform to all other regulations of this By-law, except as hereby expressly varied.

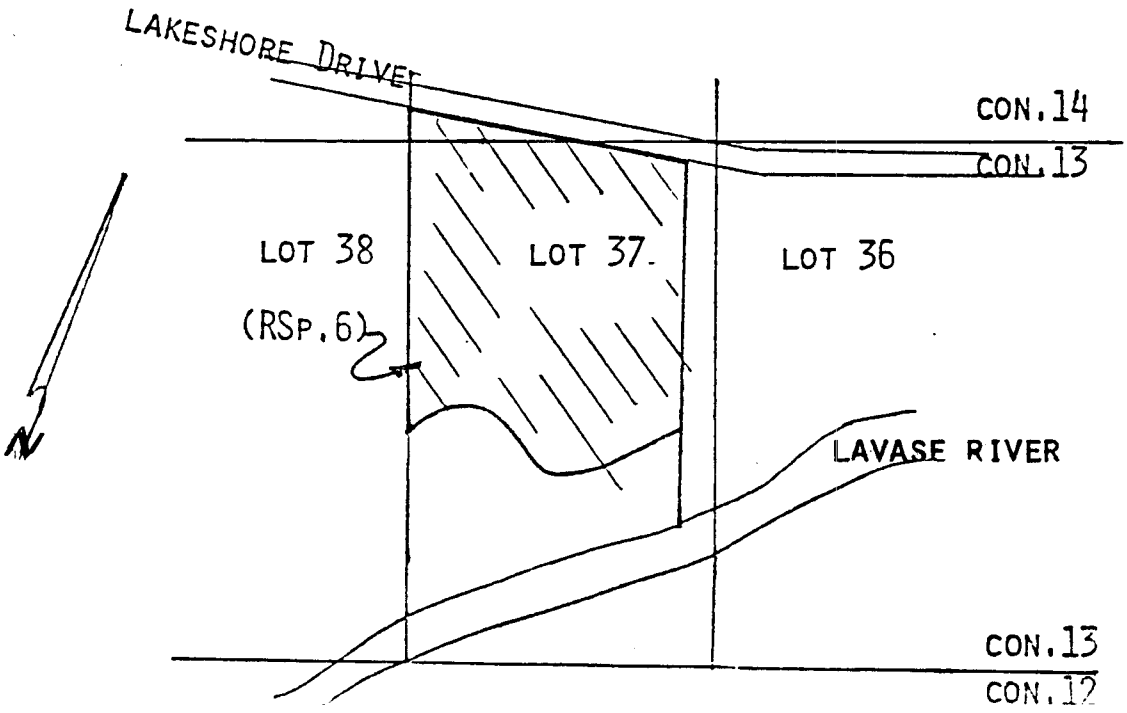
SCHEDULE OF RESIDENTIAL SPECIAL ZONE NO. 4 (RSP.4)



SCHEDULE OF RESIDENTIAL SPECIAL ZONE NO. 5 (RSP.5)



SCHEDULE OF RESIDENTIAL SPECIAL ZONE NO. 6 (RSP.6)



11.2.7 Residential Special Zone 7 (R Sp.7)

11.2.7.1 The property description of this Residential Special 7 Zone (R Sp.7) is:

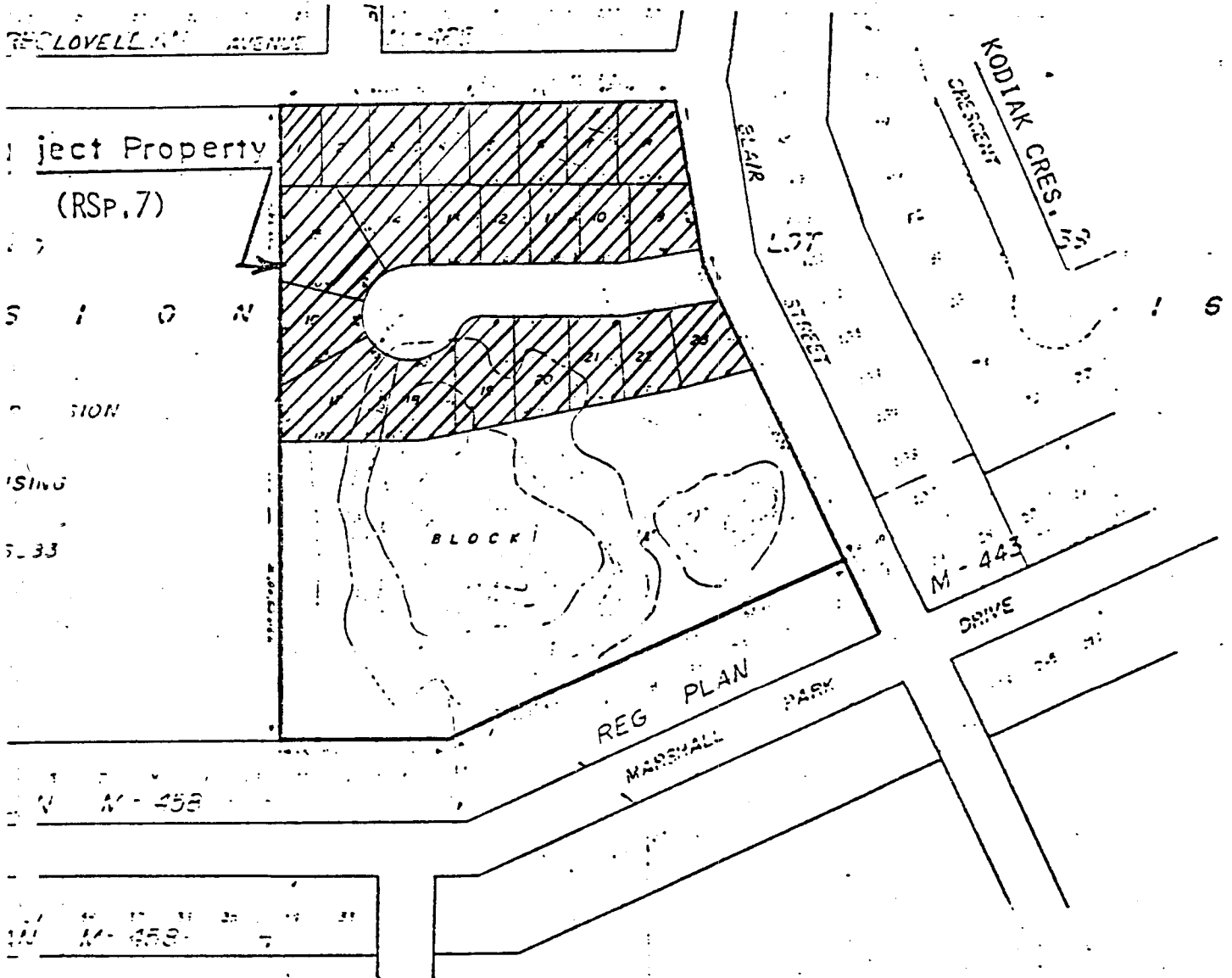
Part of Lot 37, Concession 16 in the former Township of West Ferris, being Lots 1 to 23 inclusive on Plan M-502 as shown on the attached Schedule and Schedule "B-71".

11.2.7.2 The special requirement of this Residential Special 7 Zone (R Sp.7) is that:

On the lands subject to the "R Sp.7" zone of this By-law, no building intended for human habitation shall be designed and constructed or located in such a way as to permit the entry of flood waters below the level of one hundred and ninety-eight (198) metres, Canadian Geodetic Datum, but this provision shall not apply to a detached accessory building that is not intended for human habitation. For the purposes of the "R Sp.7" zone of this By-law where a garage is attached to and forms part of a main building, the garage portion only shall be regarded as a detached accessory building.

11.2.7.3 The use of land in this Residential Special 7 Zone (R Sp.7) shall conform to all other regulations of this By-law, except as hereby expressly varied.

SCHEDULE TO RESIDENTIAL SPECIAL ZONE NO. 7(RSP.7)



11.2.8 **Residential Special Zone 8 (R Sp.8)**

11.2.8.1 The property description of this Residential Special 8 Zone (R Sp.8) is:

Lots 373, 374 and Part of Lot 375 on Plan 21 as shown on the attached Schedule and Schedule "B-50".

11.2.8.2 The special requirements of this zone are:

a) Permitted uses in this zone are:

i) Residential

Apartment dwellings and craft centre.

b) Regulations in this zone are:

i) Minimum lot frontage is fifty (50) metres.

ii) Minimum front yard setback is seven and six-tenths (7.6) metres.

iii) Minimum side yard setback is three (3) metres.

iv) Minimum rear yard setback is eleven and eight-tenths (11.8) metres.

v) Minimum parking requirement is one (1) space per four (4) dwelling units.

vi) Minimum usable open space is nine (9) percent of gross floor area.

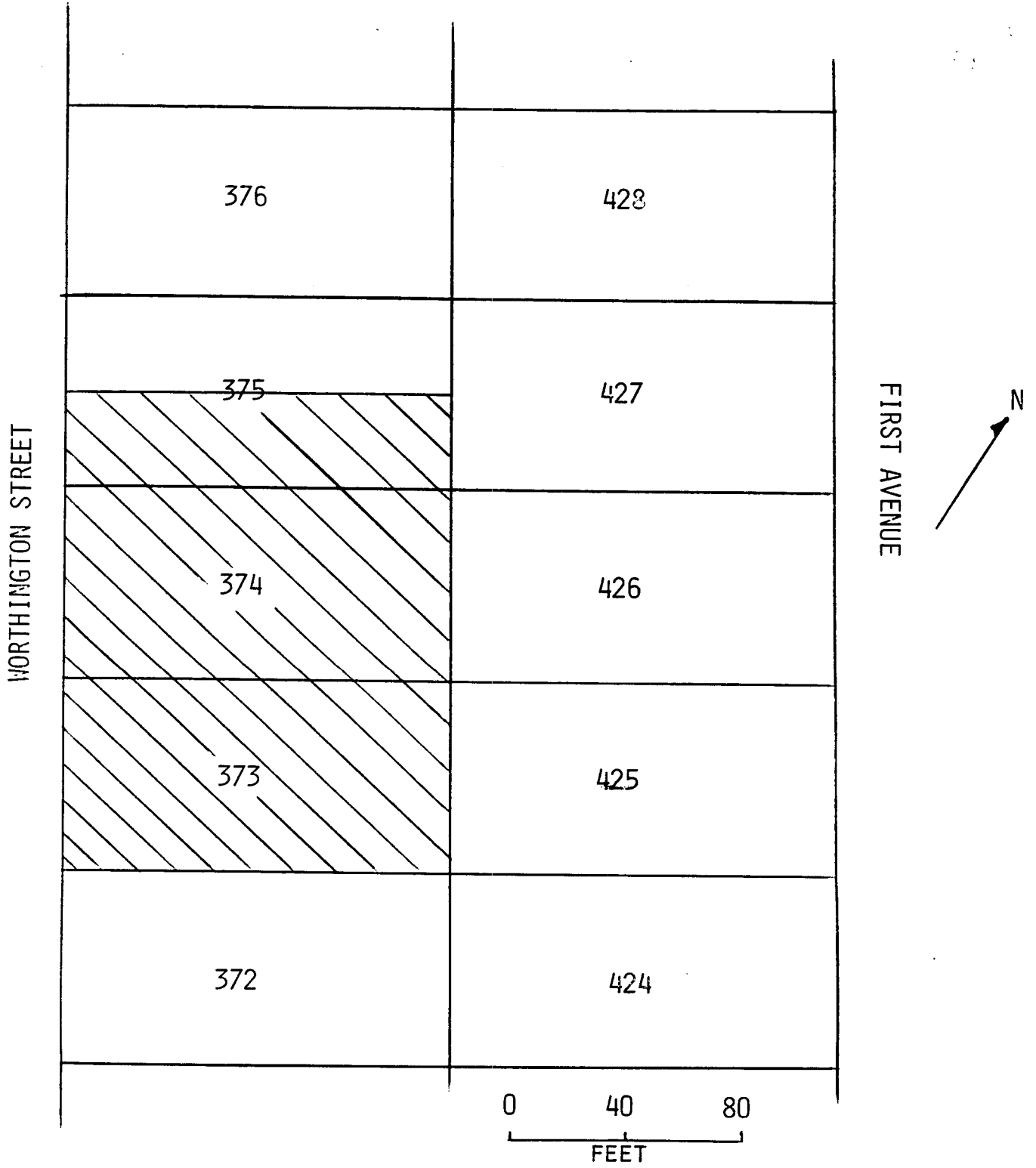
vii) Minimum floor area for a one (1) bedroom unit is forty-nine (49) square metres.

viii) Minimum floor area for a two (2) bedroom unit is sixty-two and five-tenths (62.5) square metres.

- 11.2.8.2 b) ix) Maximum floor space index is two hundred and fifty (250) percent.
- x) Maximum height of building, exclusive of any roof structure that is used only for the mechanical operation of the building is six (6) storeys.
- xi) No play space for children shall be required.

11.2.8.3 The use of land in this Residential Special 8 Zone (R Sp.8) shall conform to all other regulations of this By-law, except as hereby expressly varied.

SCHEDULE TO RESIDENTIAL SPECIAL ZONE NO. 8 (RSP.8)



11.2.9 **Residential Multiple Second Density Special
Zone 9 (RM 2 Sp. 9)**

11.2.9.1 The property description of this
"Residential Multiple Second Density
Special Zone No. 9 (RM 2 Sp.9)" is:

Lots 29, 30 and 31 on Plan M-195
along Lakeshore Drive and Howard
Avenue in the City of North Bay as
shown on the attached Schedule and
Schedule "B.70".

11.2.9.2 a) No person shall use land or
erect or construct any building
or structure in this "Residential
Multiple Second Density Special
Zone No. 9 (RM 2 Sp.9)" except
for the following uses:

A nine (9) unit multiple dwelling.

b) The regulations for this
"Residential Multiple Second
Density Special Zone No. 9
(RM 2 Sp.9)" are as follows:

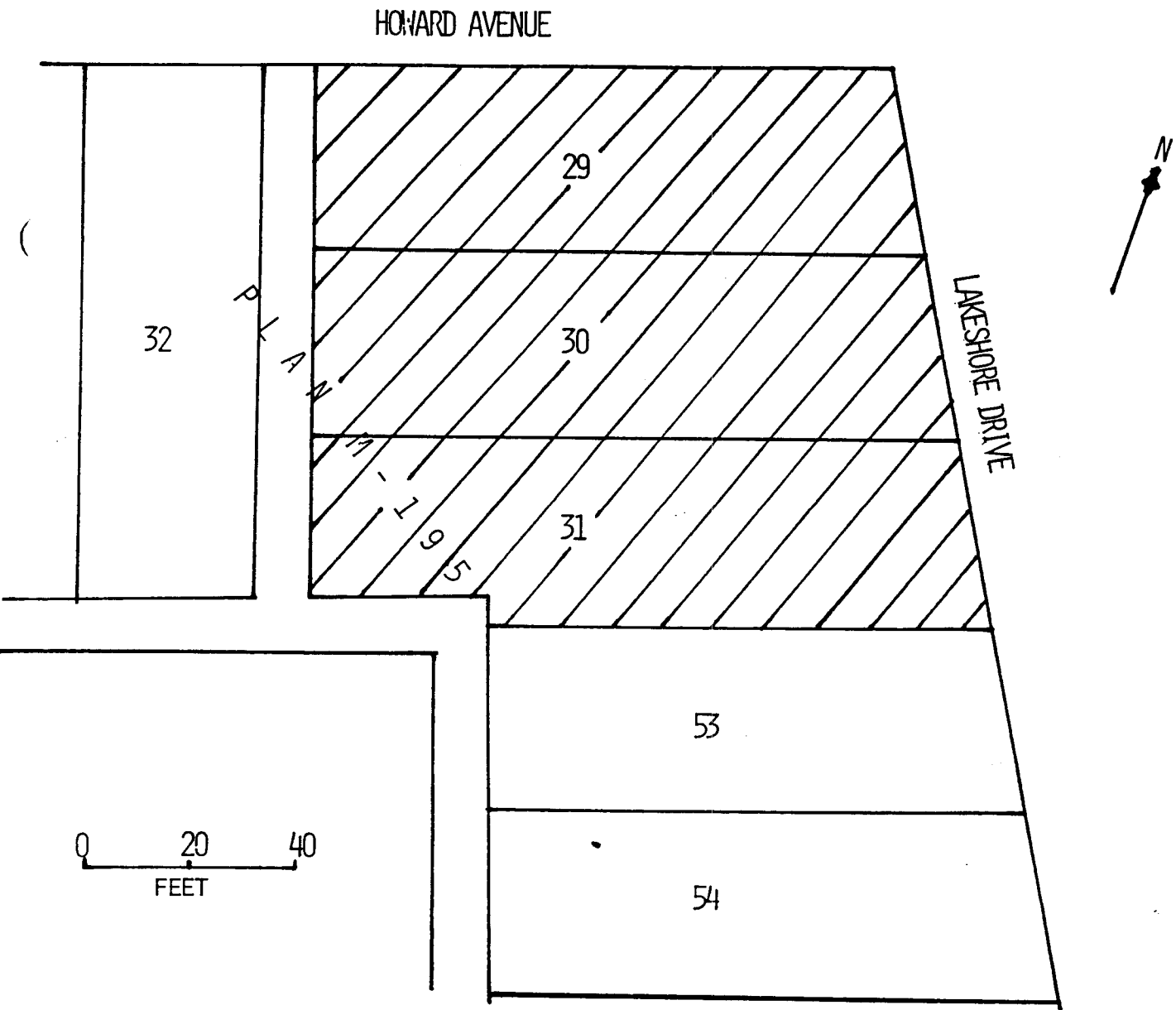
- i) Maximum lot coverage shall be
thirty percent (30%).
- ii) The minimum lot frontage
shall be thirty and four-tenths
(30.4) metres.
- iii) The minimum front yard
setback shall be seven and
six-tenths (7.6) metres.
- iv) The minimum side yard setback
shall be one and two-tenths
(1.2) metres for a one-storey
dwelling and an additional
sixty-one (61) centimetres
for each additional storey
or part thereof.
- v) The minimum exterior side
yard setback shall be four
and five-tenths (4.5) metres.

11.2.9.2 vi) In the case of a corner lot, no portion of any driveway shall be located closer than nine (9) metres to the intersection of the two streets measured at the lot lines.

vii) The minimum rear yard setback shall be seven and six-tenths (7.6) metres.

11.2.9.3 The use of land or buildings in this "Residential Multiple Second Density Special Zone No. 9 (RM 2 Sp.9)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

SCHEDULE TO "RESIDENTIAL MULTIPLE SECOND DENSITY SPECIAL ZONE NO. 9(RM2SP.9)"



11.2.10 Residential Special Zone No. 10 (RM 1 Sp.10)

11.2.10.1 The property description of this "Residential Special Zone No. 10 (RM 1 Sp.10)" is:

South part of Lot 368, Plan No. 21 in the City of North Bay as shown on the attached Schedule and Schedule "B-50".

11.2.10.2 a) No person shall use land, or use, erect or construct any building or structure in this "Residential Multiple First Density Special Zone No. 10 (RM 1 Sp.10)" except for the following uses:

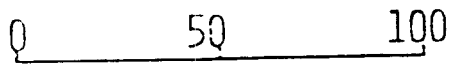
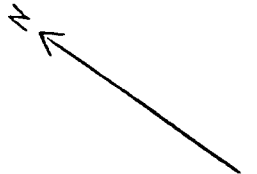
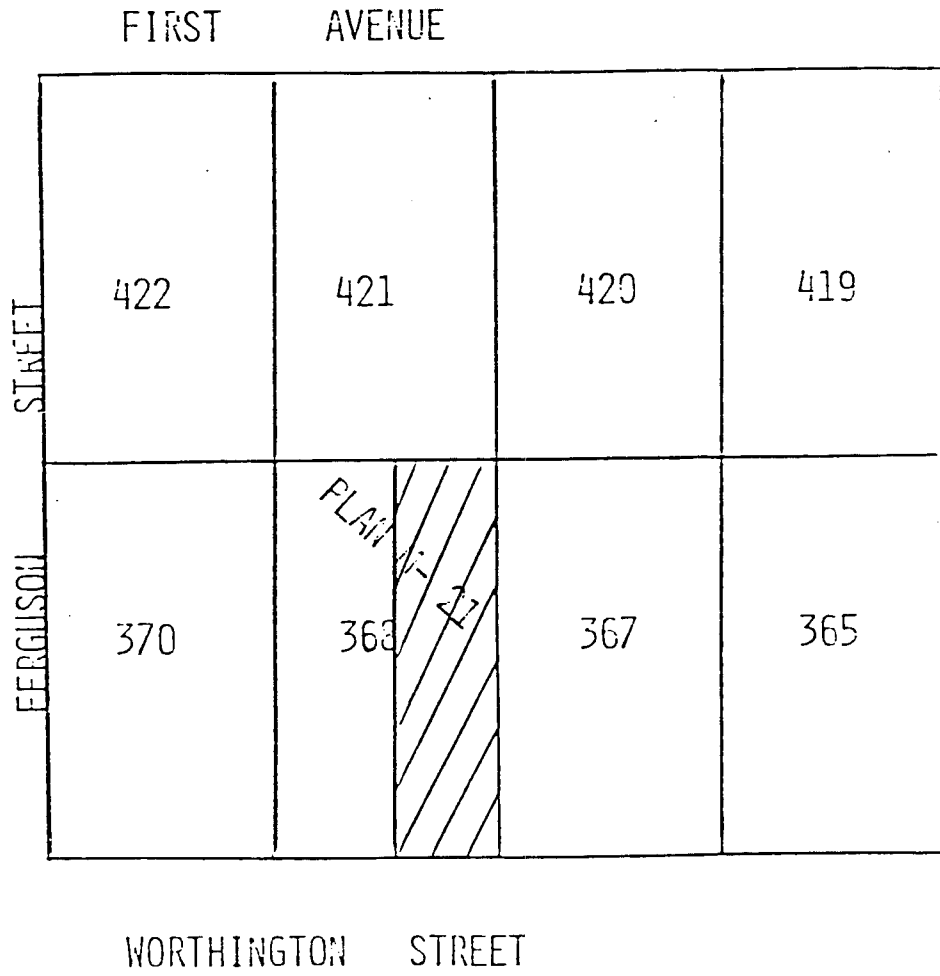
- a triplex dwelling.

b) The regulations for this "Residential Multiple First Density Special Zone No. 10 (RM 1 Sp.10)" are as follows:

- i) Maximum lot coverage shall be twenty-five (25) percent.
- ii) The minimum lot frontage shall be seven and seventy-seven one hundreds (7.77) metres.
- iii) The minimum front yard setback shall be six and zero-tenths (6.0) metres.
- iv) The minimum southerly side yard setback shall be nil.
- v) The minimum northerly side yard setback shall be zero and two-tenths (0.2) metres.
- vi) The minimum rear yard setback shall be nineteen and five-tenths (19.5) metres.

11.2.10.3 The use of land in this "Residential Special Zone No. 10 (RM 1 Sp.10)" shall conform to all other regulations of this By-law except as hereby expressly varied.

SCHEDULE TO RESIDENTIAL SPECIAL (RM.1) ZONE NO.10
(RM, 1SP.10)



11.2.11 Residential Special Zone No. 11 (RM 2 Sp.11)

11.2.11.1 The property description of this "Residential Special Zone No. 11 (RM 2 Sp.11)" is:

Part of Block "C", Plan M-364 and Part 1, Plan 36R-4229 in the City of North Bay as shown on the attached Schedule and Schedule "B-70".

11.2.11.2 a) No person shall use land, or erect or construct any building or structure in this "Residential Special Zone No. 11 (RM 2 Sp.11)" except for the following uses:

- a total of thirty-nine (39) two-storey townhouse units;

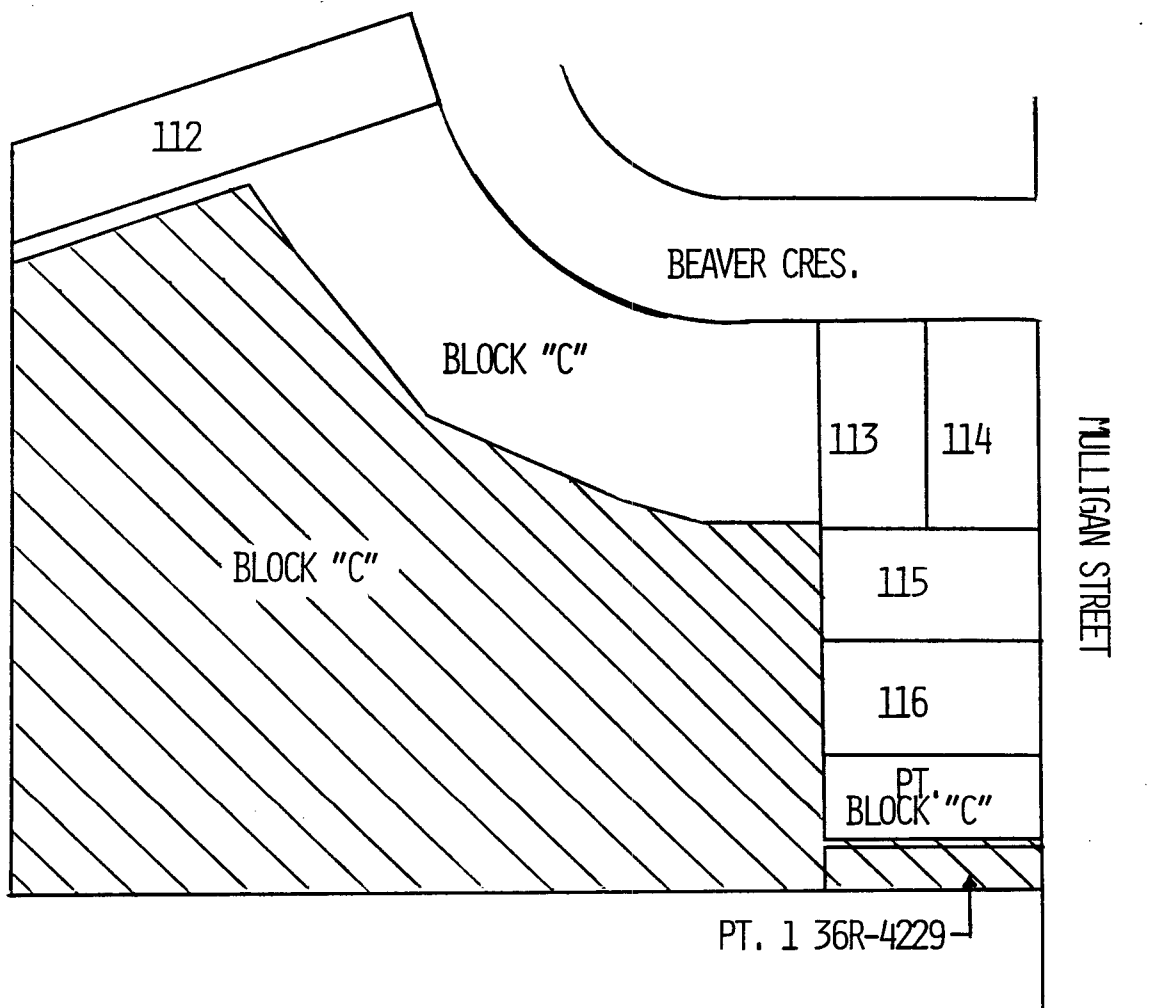
- private park and playground.

b) The regulations for this "Residential Special Zone No. 11 (RM 2 Sp.11)" are as follows:

- i) The minimum lot area per dwelling unit shall be two hundred and seventy-nine (279) square metres.
- ii) The maximum lot coverage shall be thirty percent (30%).
- iii) The setback from the front lot line shall be a minimum of six (6) metres.
- iv) The setback from the side lot line shall be a minimum of seven and six-tenths (7.6) metres.
- v) The setback from the rear lot line shall be a minimum of seven and six-tenths (7.6) metres.
- vi) The minimum number of off-street parking spaces shall be forty-nine (49).

11.2.11.3 The use of land or buildings in this "Residential Special Zone No. 11 (RM 2 Sp.11)" shall conform to all other regulations of this By-law except as hereby expressly varied.

SCHEDULE TO "RESIDENTIAL SPECIAL ZONE NO. 11(RM.2SP.11)"



0 100
FEET

11.2.12 Residential Special Zone No. 12 (RM 1 Sp.12)

11.2.12.1 The property description of this "Residential Special Zone No. 12 (RM 1 Sp.12)" is:

Part of Lot 472, Plan No. 21 along First Avenue in the City of North Bay as shown on the attached Schedule and Schedule "B-51".

11.2.12.2 a) No person shall use land, or erect or construct any building or structure in this "Residential Special Zone No. 12 (RM 1 Sp.12)" except for the following uses:

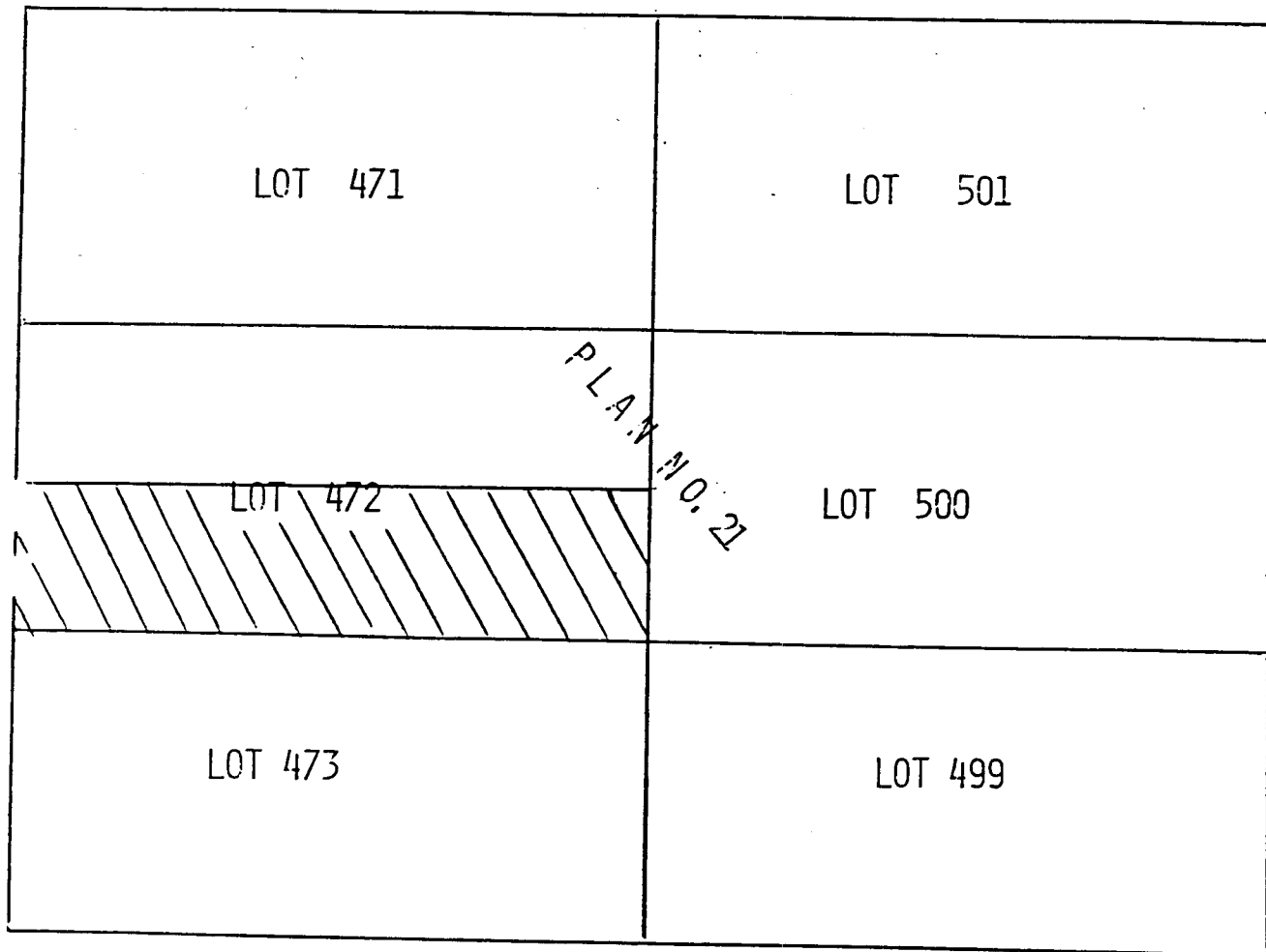
- triplex dwelling;
- accessory uses to the above.

b) The regulations for this "Residential Special Zone No. 12 (RM 1 Sp.12)" are as follows:

- i) The minimum lot area per dwelling unit shall be one hundred and thirty-four and eight-tenths (134.8) square metres.
- ii) The minimum lot frontage shall be ten (10) metres.
- iii) The setback from the front lot line shall be a minimum of nineteen and five-tenths (19.5) metres.
- iv) The setback from the northerly side lot line shall be a minimum of one (1) metre.
- v) The setback from the southerly side lot line shall be a minimum of six-tenths (.6) metres.
- vi) The setback from the rear yard lot line shall be a minimum of ten and five-tenths (10.5) metres.

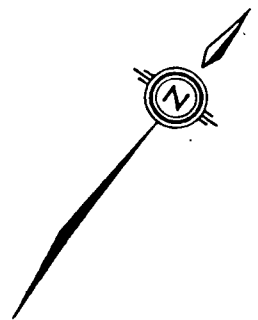
11.2.12.3 The use of land or buildings in this "Residential Special Zone No. 12 (RM 1 Sp.12)" shall conform to all other regulations of this By-law except as hereby expressly varied.

SCHEDULE TO "RESIDENTIAL SPECIAL ZONE NO.12 (RM.1SP.12)"



SHERBROOKE STREET

0 20 40 60



11.2.13 **Residential Multiple Second Density Special
Zone No. 13 (RM 2 Sp.13)**

11.2.13.1 The property description of this
"Residential Multiple Second
Density Special Zone No. 13
(RM 2 Sp.13)" is:

Part 1 of Plan 36R-5557 along Front
Street and First Avenue in the City
of North Bay as shown on the
attached Schedule and Schedule "B-42".

11.2.13.2 a) No person shall use land, or erect
or construct any building or
structure in this "Residential
Multiple Second Density Special
Zone No. 13 (RM 2 Sp.13)" except
for the following uses:

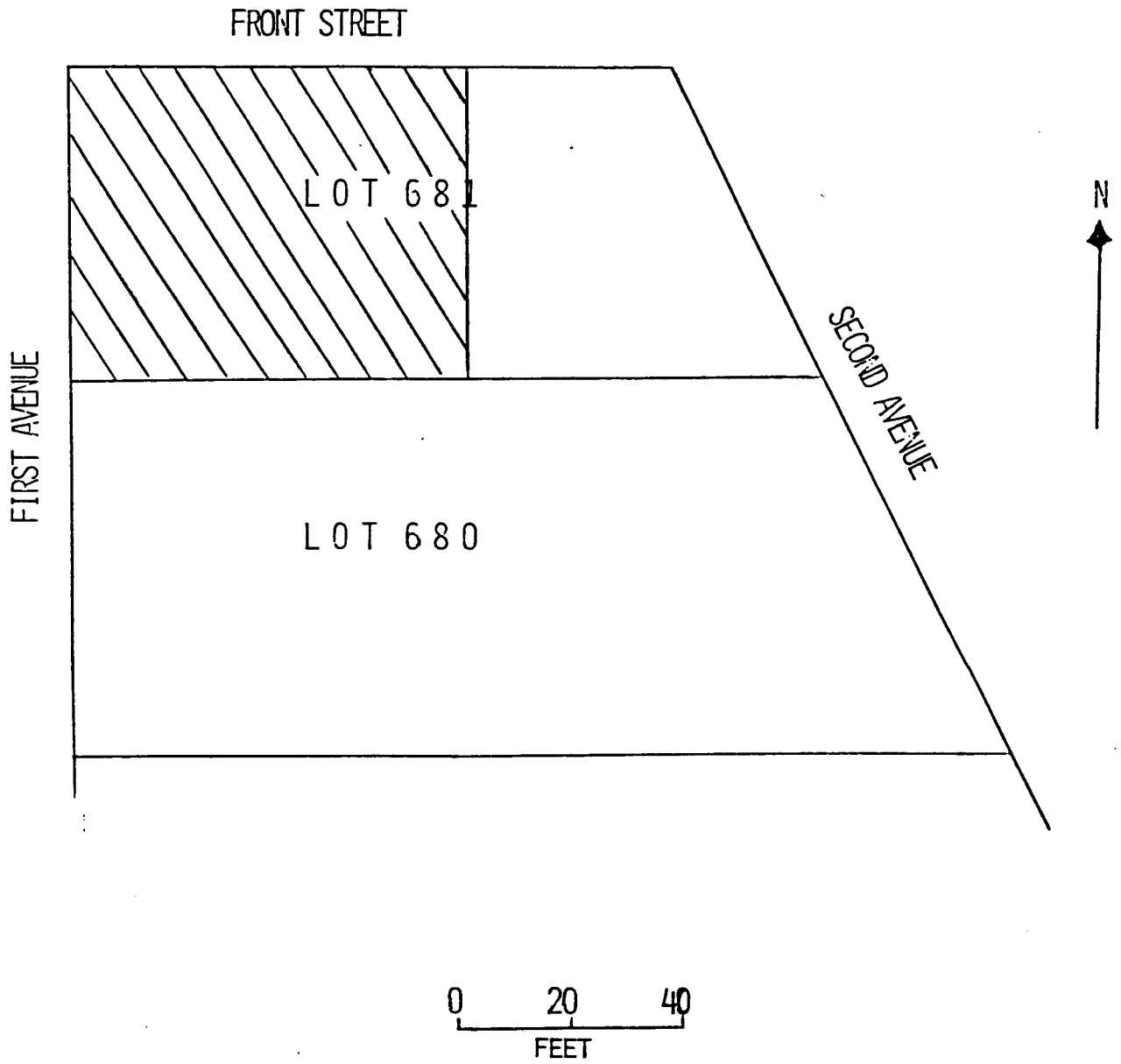
- a six (6) unit multiple dwelling.

b) The regulations for this "Residential
Multiple Second Density Special
Zone No. 13 (RM 2 Sp.13)" are
as follows:

- i) Maximum lot coverage shall be
forty-two percent (42%).
- ii) The setback from the front lot
line shall be three (3) metres.
- iii) The setback from the easterly
side lot line shall be a
minimum of one and five-tenths
(1.5) metres.
- iv) The setback from the westerly
side lot line shall be a
minimum of seven (7) metres.
- v) The setback from the rear yard
lot line shall be a minimum of
one and five-tenths (1.5) metres.
- vi) The minimum number of off-street
parking spaces shall be six (6).

11.2.13.3 The use of land or buildings in this "Residential Multiple Second Density Special Zone No. 13 (RM 2 Sp.13)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

SCHEDULE TO "RESIDENTIAL SPECIAL ZONE NO. 13 (R1.1SP.13)"



11.2.14 Residential Special Zone No. 14 (RM 6 Sp.14)

11.2.14.1 The property description of this "Residential Special Zone No. 14 (RM 6 Sp.14)" is:

The West Half of Lot 364 and Lots 365 and 366 of Plan No. 21 along Worthington Street in the City of North Bay as shown on the attached Schedule and Schedule "B-50".

11.2.14.2 a) No person shall use land, or erect or construct any building or structure in this "Residential Special Zone No. 14 (RM 6 Sp.14)" except for the following uses:

- a thirty-one (31) unit, seven (7) storey apartment dwelling.

b) The regulations for this "Residential Special Zone No. 14 (RM 6 Sp.14)" are as follows:

i) Maximum floor space index is one hundred and ninety percent (190%).

ii) The setback from the front lot line shall be six (6) metres.

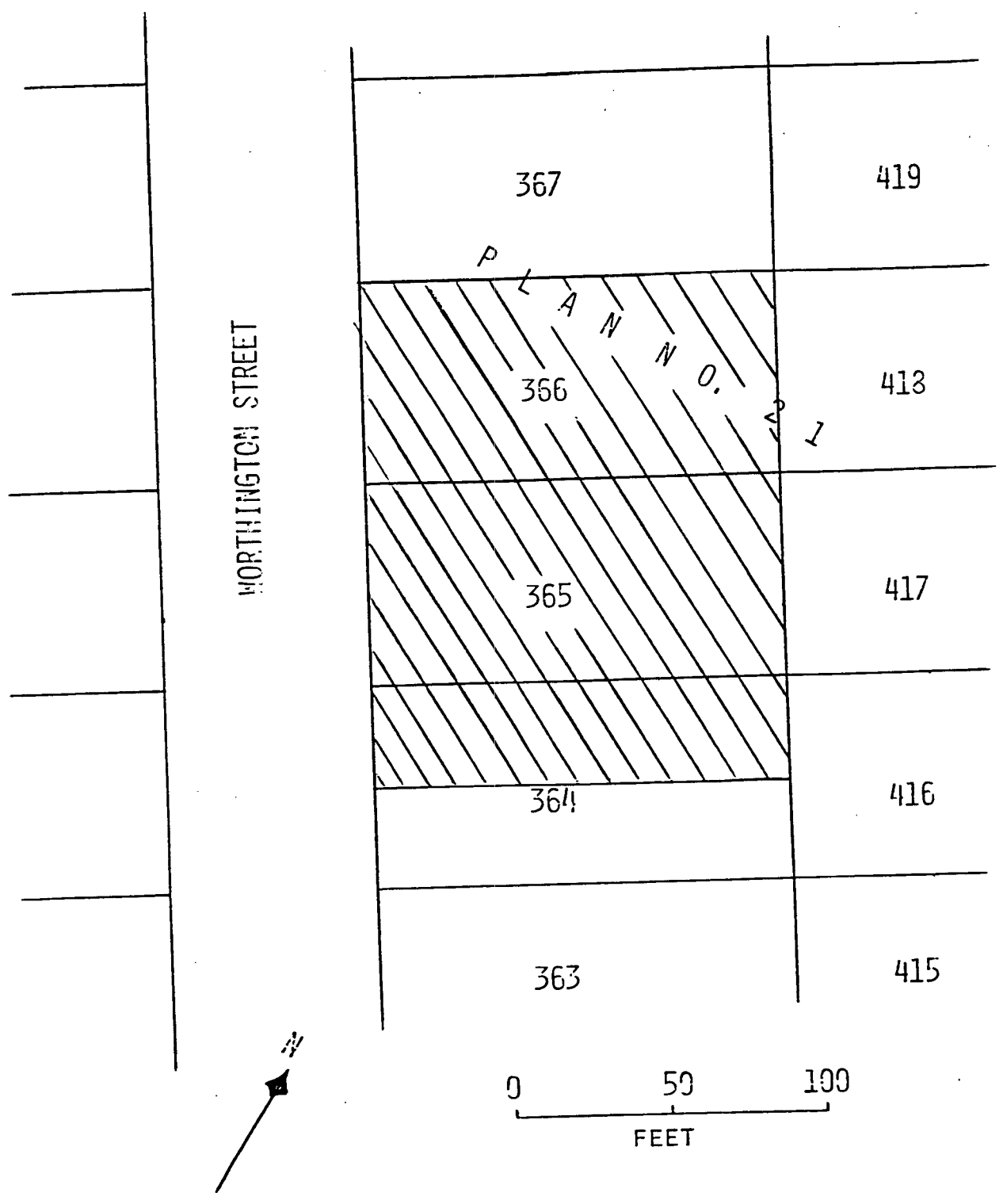
iii) The setback from the side lot line shall be a minimum of six (6) metres.

iv) The setback from the rear yard lot line shall be a minimum of seven and six-tenths (7.6) metres.

v) The minimum number of off-street parking spaces shall be thirty-nine (39).

- 11.2.14.2 vi) A maximum of sixty percent (60%) of the required parking spaces may be designated to accommodate compact or subcompact cars and shall have a:
- a) Minimum area of thirteen (13) square metres.
 - b) Minimum length of four and eight-tenths (4.8) metres, and for parallel parking five and five-tenths (5.5) metres, and
 - c) minimum width of two and six-tenths (2.6) metres, and for parallel parking two and six-tenths (2.6) metres.
- 11.2.14.3 The use of land or buildings in this "Residential Special Zone No. 14 (RM 6 Sp.14)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

SCHEDULE TO "RESIDENTIAL SPECIAL ZONE NO. 14(RM.6SP.14)"



11.2.15 **Residential Multiple Third Density Special
Zone No. 15 (RM 3 Sp.15)**

11.2.15.1 The property description of this
"Residential Multiple Third Density
Special Zone No. 15 (RM 3 Sp.15)" is:

Lot 370, Plan No. 57 and part of a
laneway abutting thereto along
Chippewa Street in the City of
North Bay as shown on the attached
Schedule "B-43".

11.2.15.2 a) No person shall use land, or erect
or construct any building or
structure in this "Residential
Multiple Third Density Special
Zone No. 15 (RM 3 Sp.15)" except
for the following uses:

- an eight (8) unit, two (2) storey
apartment dwelling.

b) The regulations for this "Residential
Multiple Third Density Special Zone
No. 15 (RM 3 Sp.15)" are as follows:

i) Maximum gross floor space shall
be six hundred and thirty-nine
and nine-tenths (639.9) square
metres.

ii) The minimum lot frontage shall
be twenty-one and nine-tenths
(21.9) metres.

iii) The setback from the front lot
line shall be a minimum of
seven and six-tenths (7.6)
metres.

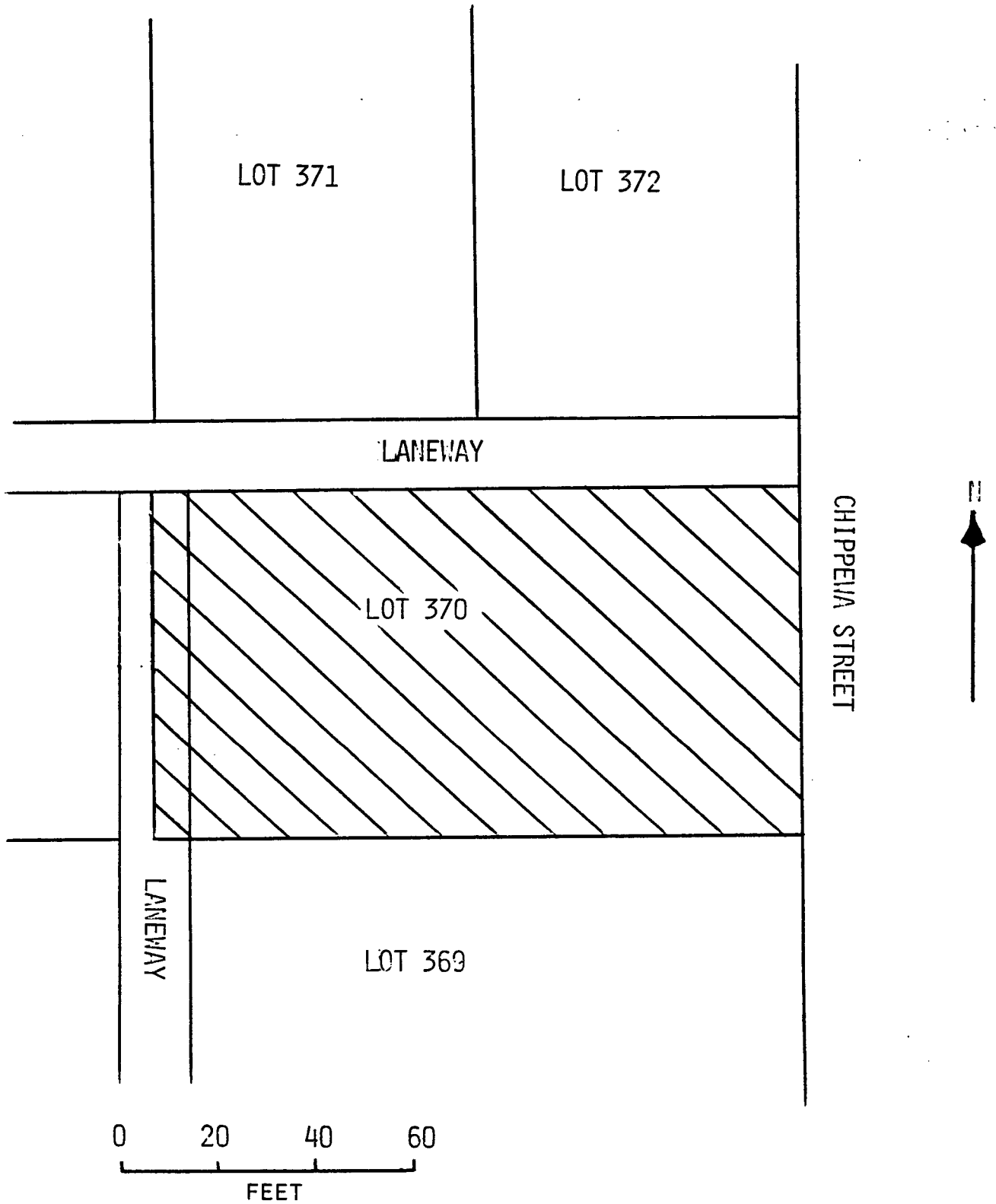
iv) The setback from the southerly
side lot line shall be a
minimum of three (3) metres.

v) The setback from the northerly
side lot line shall be a minimum
of six (6) metres.

11.2.15 **Residential Multiple Third Density Special
Zone No. 15 (RM 3 Sp.15)**

- 11.2.15.2 vi) The setback from the rear yard lot line shall be a minimum of seven and six-tenths (7.6) metres.
- vii) The minimum number of off-street parking spaces shall be ten (10).
- viii) The minimum width of an aisle used for vehicular access to a parking space with a ninety (90o) degree turn shall be four and twenty-six one hundredths (4.26) metres.
- ix) The maximum height of the building shall be two (2) storeys or six (6) metres, whichever is less.
- 11.2.15.3 The use of land or buildings in this "Residential Multiple Third Density Special Zone No. 15 (RM 3 Sp.15)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

SCHEDULE TO "RESIDENTIAL MULTIPLE THIRD DENSITY SPECIAL ZONE NO.15(RM3SP.15)"



11.2.16 **Residential First Density Special Zone No. 16**
(R 1 Sp.16)

11.2.16.1 The property description of this "Residential First Density Special Zone No. 16 (R 1 Sp.16) is:

Lot 24 and Part Lot 25, Plan M-312 in the City of North Bay as shown on the attached Schedule and Schedules "B-34" and "B-35".

11.2.16.2 a) No person shall use land, or erect or construct any building or structure in this "Residential First Density Special Zone No. 16 (R 1 Sp.16)" except for the following uses:

- four (4) single detached dwellings.

b) The regulations for this "Residential First Density Special Zone No. 16 (R 1 Sp.16)" are as follows:

i) The minimum lot frontages for the lots in the "Residential First Density Special Zone No. 16 (R 1 Sp.16)" as identified on the "Lot Layout" section of the following "Schedule" to "Residential First Density Special Zone No. 16 (R 1 Sp.16)" are as follows:

Lot 1 - Twenty seven (27) metres;

Lot 2 - Twenty-seven (27) metres;

Lot 3 - Six (6) metres;

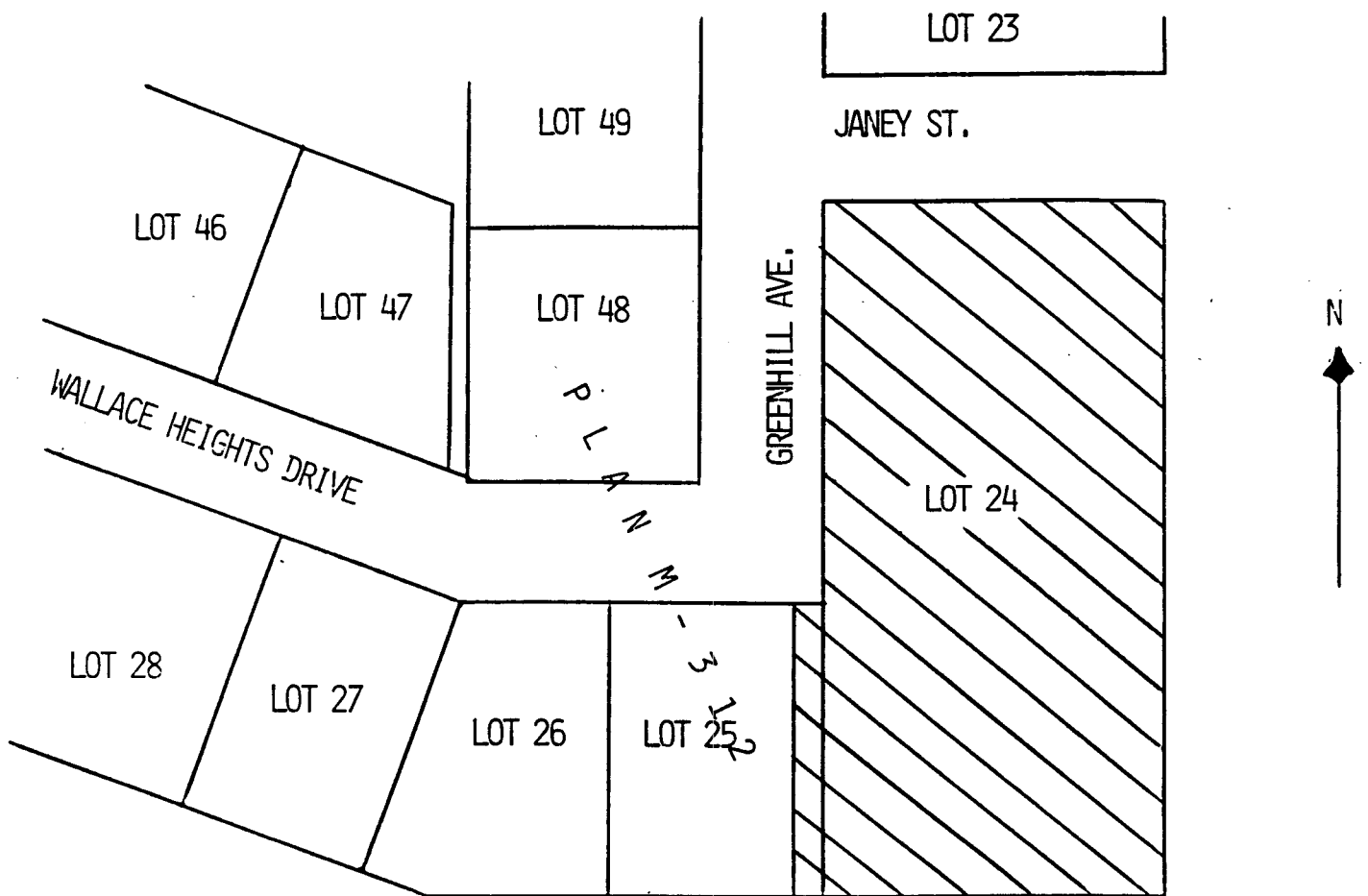
Lot 4 - Eight and four-tenths (8.4) metres.

ii) The maximum lot coverage shall be thirty percent.

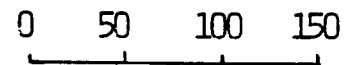
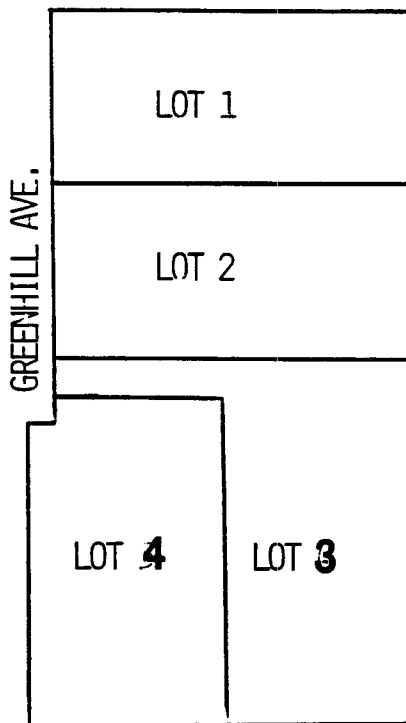
iii) The minimum lot area per dwelling unit shall be one thousand five hundred and forty-two (1,542) square metres.

- 11.2.16.2
- iv) The minimum front yard setback shall be six (6) metres.
 - v) The minimum side yard setback shall be one and two-tenths (1.2) metres for one storey and an additional sixty-one (61) centimetres for each additional storey or part thereof.
 - vi) The minimum width of an exterior side yard shall be three (3) metres.
 - vii) On every lot where there is no attached garage or carport, one side yard shall have a minimum width of three (3) metres for a driveway into the side yard.
 - viii) The minimum rear yard shall be ten and five-tenths (10.5) metres except in the case of a corner lot where the rear yard shall be not less than seven and five-tenths (7.5) metres.
- 11.2.16.3
- The use of land or buildings in this "Residential First Density Special Zone No. 16 (R 1 Sp.16)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

SCHEDULE TO "RESIDENTIAL FIRST DENSITY SPECIAL ZONE NO. 16(R.1SP.16)"



LOT LAYOUT



11.2.17 **Residential Multiple First Density Special
Zone No. 17 (RM 1 Sp.17)**

11.2.17.1 The property description of this
"Residential Multiple First Density
Special Zone No. 17 (RM 1 Sp.17)" is:

Parts 1, 2 and 3, Plan NR-2387 along
Nipissing Street in the City of
North Bay as shown on the attached
Schedule and Schedule "B-41".

11.2.17.2 a) No person shall use land, or erect
or construct any building or
structure in this "Residential
Multiple First Density Special Zone
No. 17 (RM 1 Sp.17)" except for the
following uses:

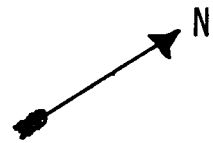
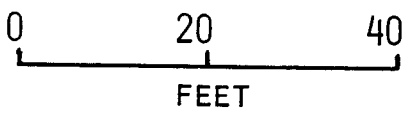
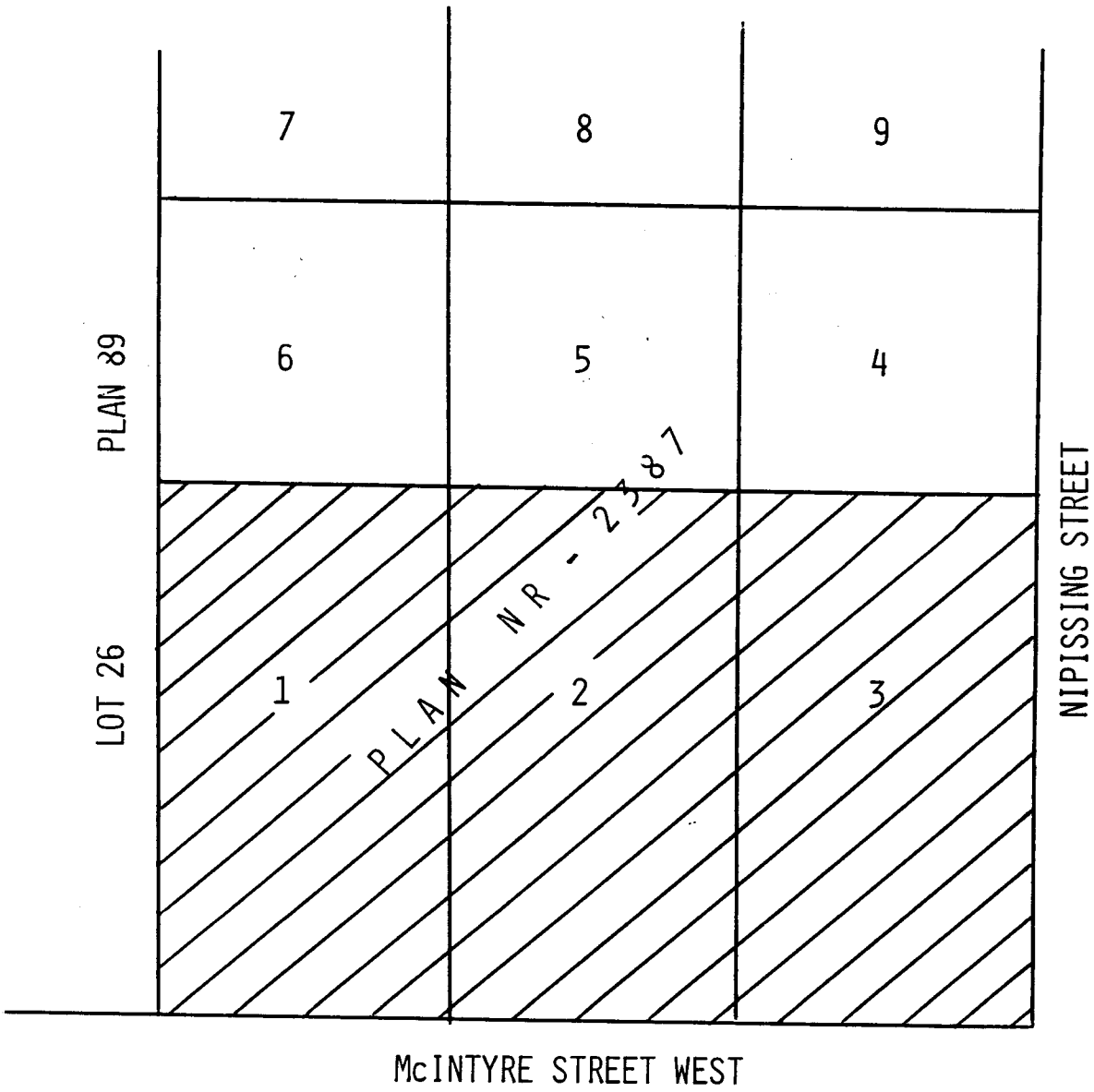
- a triplex dwelling.

b) The regulations for this "Residential
Multiple First Density Special Zone
No. 17 (RM 1 Sp.17)" are as follows:

- i) Maximum lot coverage shall be
thirty percent (30%).
- ii) The minimum lot frontage shall
be twenty (20) metres.
- iii) The minimum front yard setback
shall be six (6) metres.
- iv) The minimum side yard setback
shall be one and two-tenths
(1.2) metres for a one-storey
dwelling and an additional
sixty-one (61) centimetres for
each additional storey or
part thereof.
- v) The minimum exterior side
yard setback shall be four
and five-tenths (4.5) metres.

- 11.2.17.2 b) vi) In the case of a corner lot, no portion of any driveway shall be located closer than nine (9) metres to the intersection of the two streets measured at the lot lines.
- vii) The minimum rear yard setback shall be seven and six-tenths (7.6) metres.
- 11.2.17.3 The use of land or buildings in this "Residential Multiple First Density Special Zone No. 17 (RM 1 Sp.17)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

SCHEDULE TO "RESIDENTIAL MULTIPLE FIRST DENSITY
SPECIAL ZONE NO. 17 (RM.1 SP.17)"



11.2.19 **Residential Multiple First Density Special
Zone No. 19 (RM 1 Sp.19)**

11.2.19.1 The property description of this
"Residential Multiple First Density
Special Zone No. 19 (RM 1 Sp.19)" is:

The West Half of Lot 472, Plan No. 21
along First Avenue East in the City
of North Bay as shown on the
attached Schedule and Schedule "B-51".

11.2.19.2 a) No person shall use land or erect
or construct any building or
structure in this "Residential
Multiple First Density Special Zone
No. 19 (RM 1 Sp.19)" except for the
following uses:

- triplex dwelling.

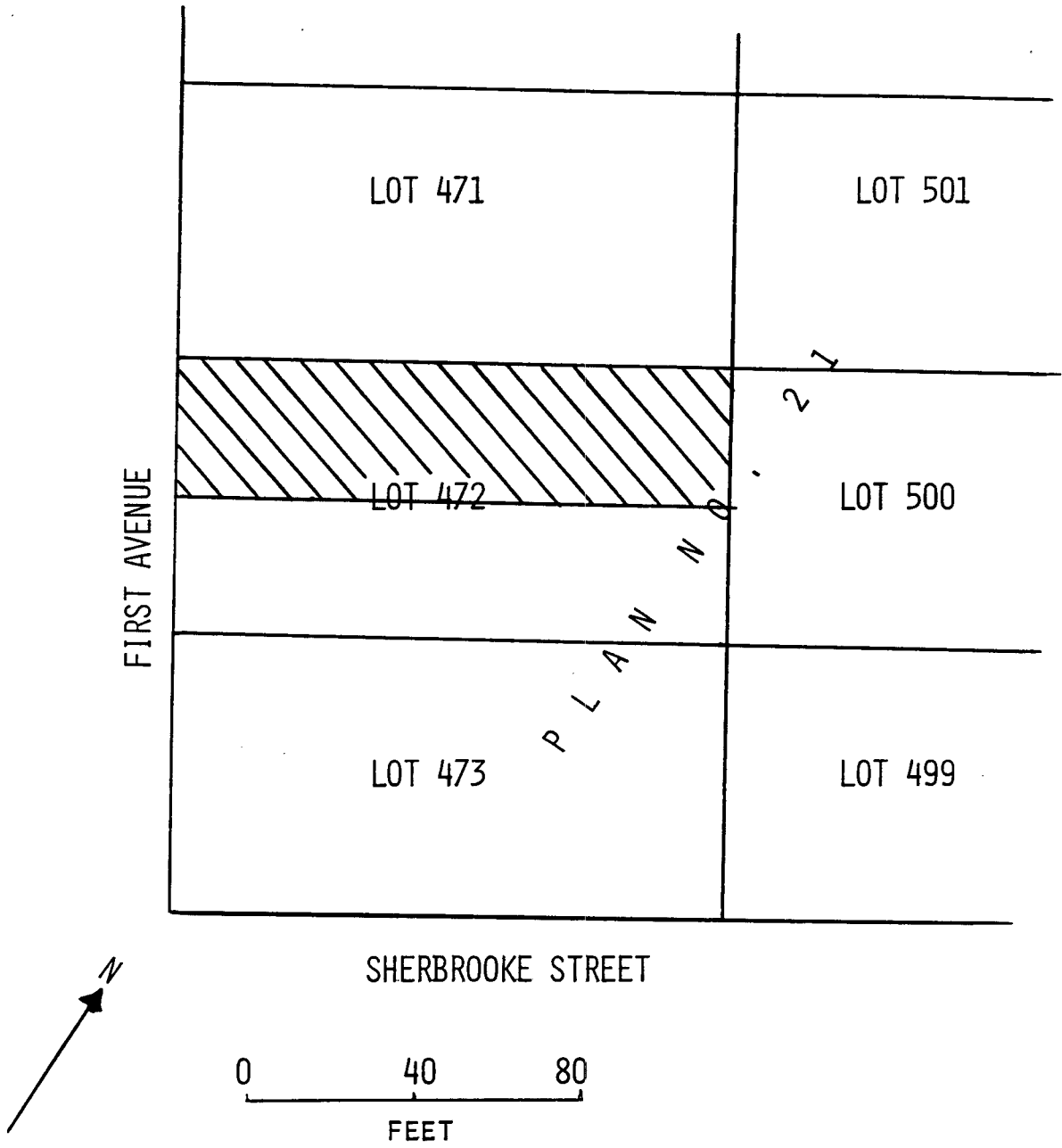
11.2.19.2 b) The regulations for this "Residential
Multiple First Density Special Zone
No. 19 (RM 1 Sp.19)" are as follows:

- i) The minimum lot area per
dwelling unit shall be one
hundred and thirty-four and
eight-tenths (134.8) square
metres.
- ii) The minimum lot frontage shall be
ten (10) metres.
- iii) The maximum lot coverage shall
be thirty-five percent (35%).
- iv) The minimum front yard setback
shall be nineteen and one-tenth
(19.1) metres.
- v) The minimum westerly side yard
setback shall be forty-six one-
hundredths (.46) metres.
- vi) The minimum easterly side yard
setback shall be one and
twenty-nine one-hundredths
(1.29) metres.

11.2.19.2 b) vii) The minimum rear yard setback shall be ten and five-tenths (10.5) metres.

11.2.19.3 The use of land or buildings in this "Residential Multiple First Density Special Zone No. 19 (RM 1 Sp.19) shall conform to all other regulations of this By-law, except as hereby expressly varied.

SCHEDULE TO "RESIDENTIAL MULTIPLE FIRST DENSITY SPECIAL ZONE NO.19(RM1SP19)"



11.2.20 **Residential Multiple Third Density Special
Zone No. 20 (RM 3 Sp.20)**

11.2.20.1 The property description of this
"Residential Multiple Third Density
Special Zone No. 20 (RM 3 Sp.20)" is:

Parts 4 and 5 and part of Part 3, Plan
36R-5207 and part of Block E, Plan
No. 15 and that triangular part of the
Remainder of Patent 1522 Widdifield
bounded on two sides by Parts 3, Plan
36R-5207 and on the third by the
Canadian Pacific Railway main line
along Timmins Street in the City
of North Bay as shown on the
attached Schedule and Schedule "B-41".

11.2.20.2 a) No person shall use land, or erect
or construct any building or
structure in this "Residential
Multiple Third Density Special Zone
No. 20 (RM 3 Sp.20)" except for the
following uses:

- 60 apartment dwellings;
- accessory uses to the above.

11.2.20.2 b) The regulations for this "Residential
Multiple Third Density Special Zone
No. 20 (RM 3 Sp.20)" are as follows:

- i) The maximum gross floor area
as a percentage of lot area shall
be seventy-five (75) percent.
- ii) The minimum lot frontage shall
be fifty-six (56) metres.
- iii) The minimum usable Open Space
as a percent of gross floor area
shall be fifty (50) percent.
- iv) The minimum front yard setback
shall be four and five-tenths
(4.5) metres.
- v) The minimum westerly side yard
setback shall be ten and five-
tenths (10.5) metres.

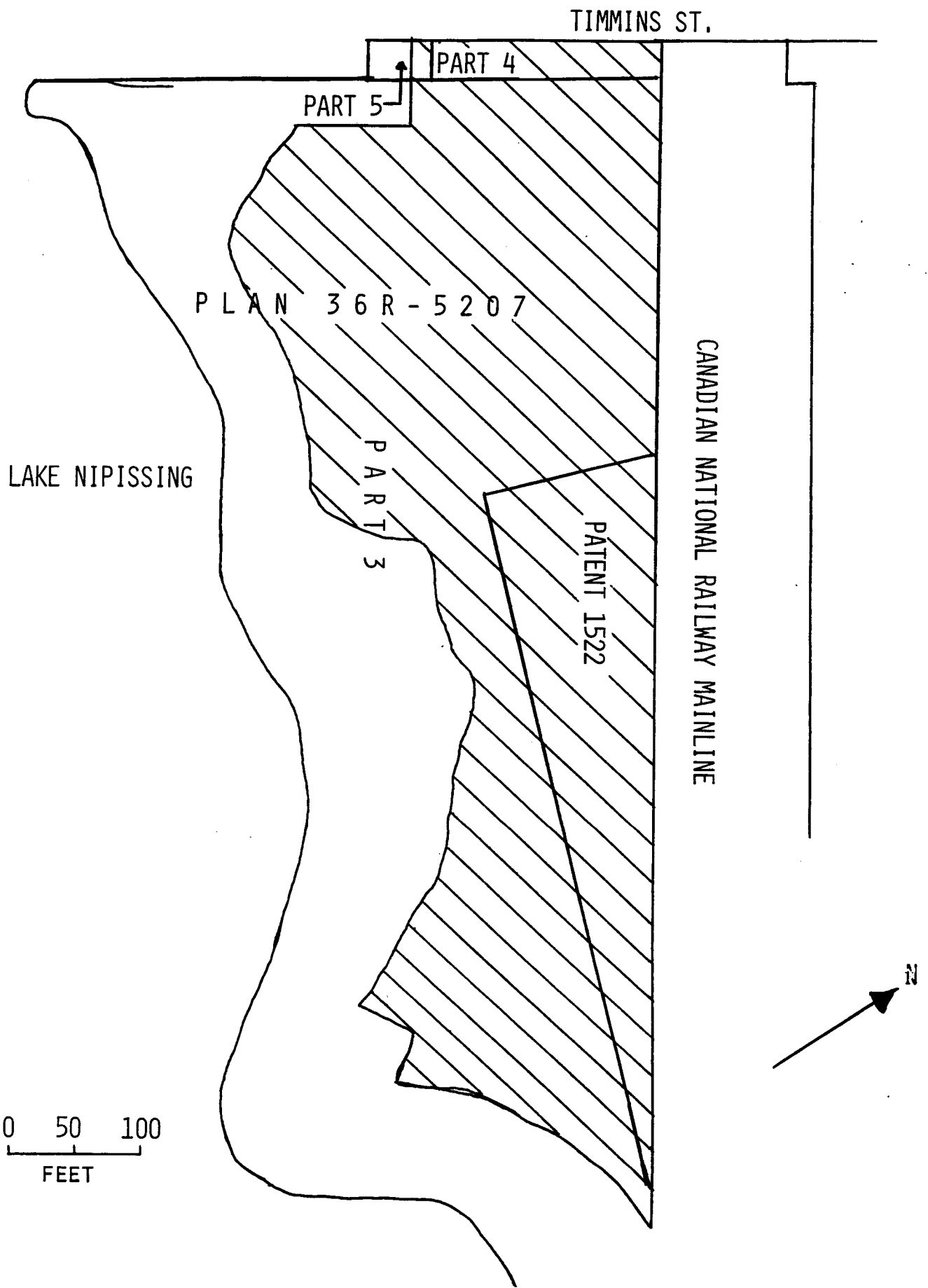
11.2.20.2 b) vi) The minimum easterly side yard setback shall be six (6) metres.

vii) The minimum rear yard setback shall be fifteen (15) metres.

viii) The maximum height of the building shall be four (4) storeys.

11.2.20.3 The use of land or buildings in this "Residential Multiple Third Density Special Zone No. 20 (RM 3 Sp.20)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

SCHEDULE TO "RESIDENTIAL MULTIPLE THIRD DENSITY SPECIAL ZONE NO. 20(RM3SP,20)"



11.2.21 **Residential Multiple First Density Special
Zone No. 21 (RM 1 Sp.21)**

11.2.21.1 The property description of this "Residential Multiple First Density Special Zone No. 21 (RM 1 Sp.21)" is Part of Lot 232, Plan 13 and Parts 1 and 3, Plan 36R-3317 along Copeland Street in the City of North Bay as shown on the attached Schedule and Schedule "B-42".

11.2.21.2 a) No person shall use land, or erect or construct any building or structure in this "Residential Multiple First Density Special Zone No. 21 (RM 1 Sp.21)" except for the following uses:

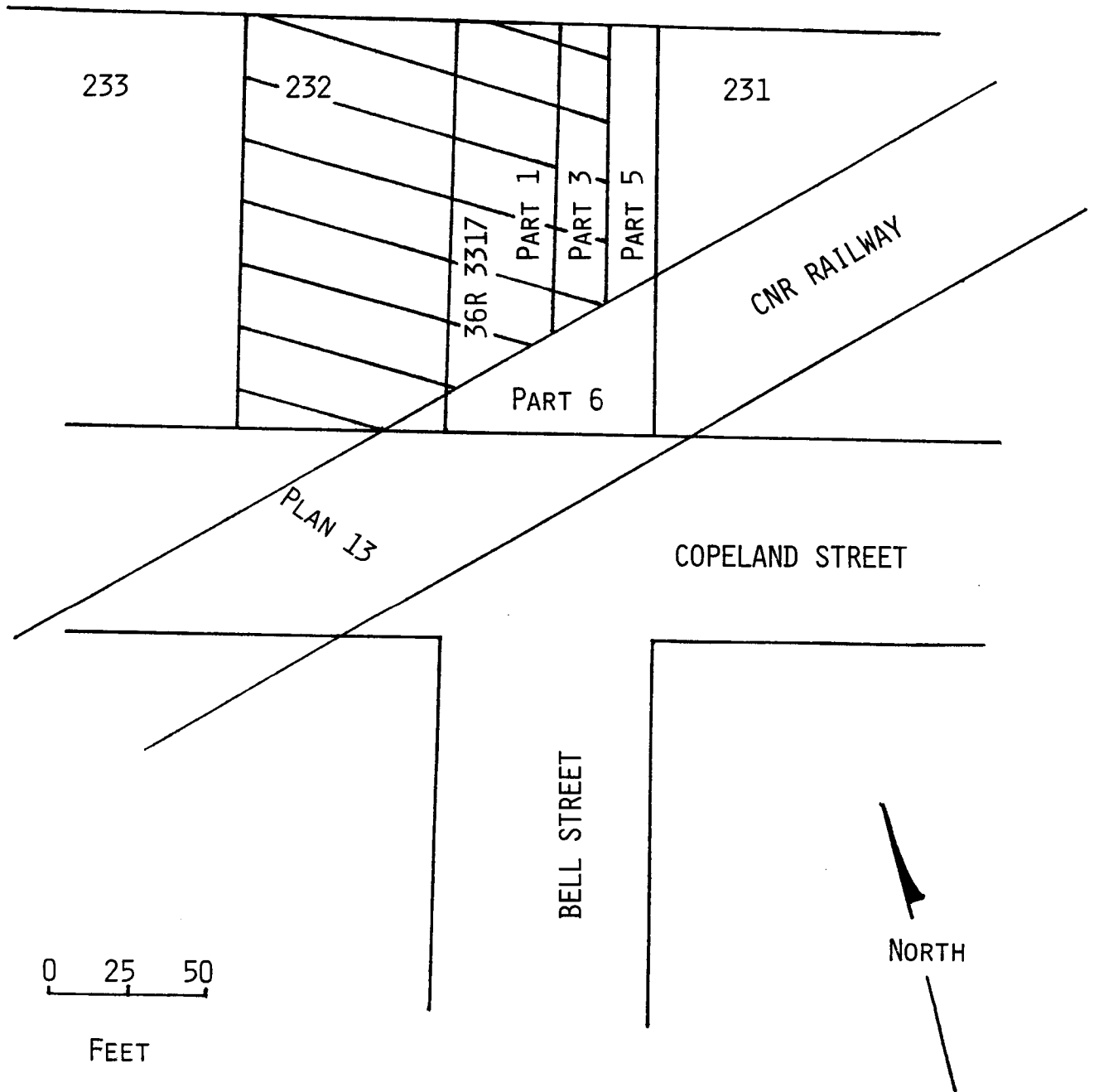
- four (4) unit multiple dwelling.

b) The regulations for this "Residential Multiple First Density Special Zone No. 21 (RM 1 Sp.21)" are as follows:

- i) Maximum lot coverage shall be twenty-five (25) percent.
- ii) The setback from the front lot line shall be eleven and two-tenths (11.2) metres.
- iii) The setback from the westerly side lot line shall be two and five-tenths (2.5) metres.
- iv) The setback from the easterly side lot line shall be a minimum of twenty-two and four-tenths (22.4) metres.
- v) The setback from the rear yard lot line shall be a minimum of ten and five-tenths (10.5) metres.

11.2.21.3 The use of land or buildings in this "Residential Multiple First Density Special Zone No. 21 (RM 1 Sp.21)" shall conform to all other regulations of this By-law except as hereby expressly varied.

SCHEDULE TO
" RESIDENTIAL MULTIPLE FIRST DENSITY SPECIAL ZONE No. 21 (RM1, SP.21)"



11.2.22 **Residential Multiple Fourth Density Special
Zone No. 22 (RM 4 Sp.22)**

11.2.22.1 The property description of this
"Residential Multiple Fourth Density
Special Zone No. 22 (RM 4 Sp.22)" is:

Part of Parcel 3254 W&F in the City of
North Bay as shown on the attached
Schedule and Schedule "B-46".

11.2.22.2 a) No person shall use land, or erect
or construct any building or
structure in this "Residential
Multiple Fourth Density Special
Zone No. 22 (RM 4 Sp.22)" except for
the following uses:

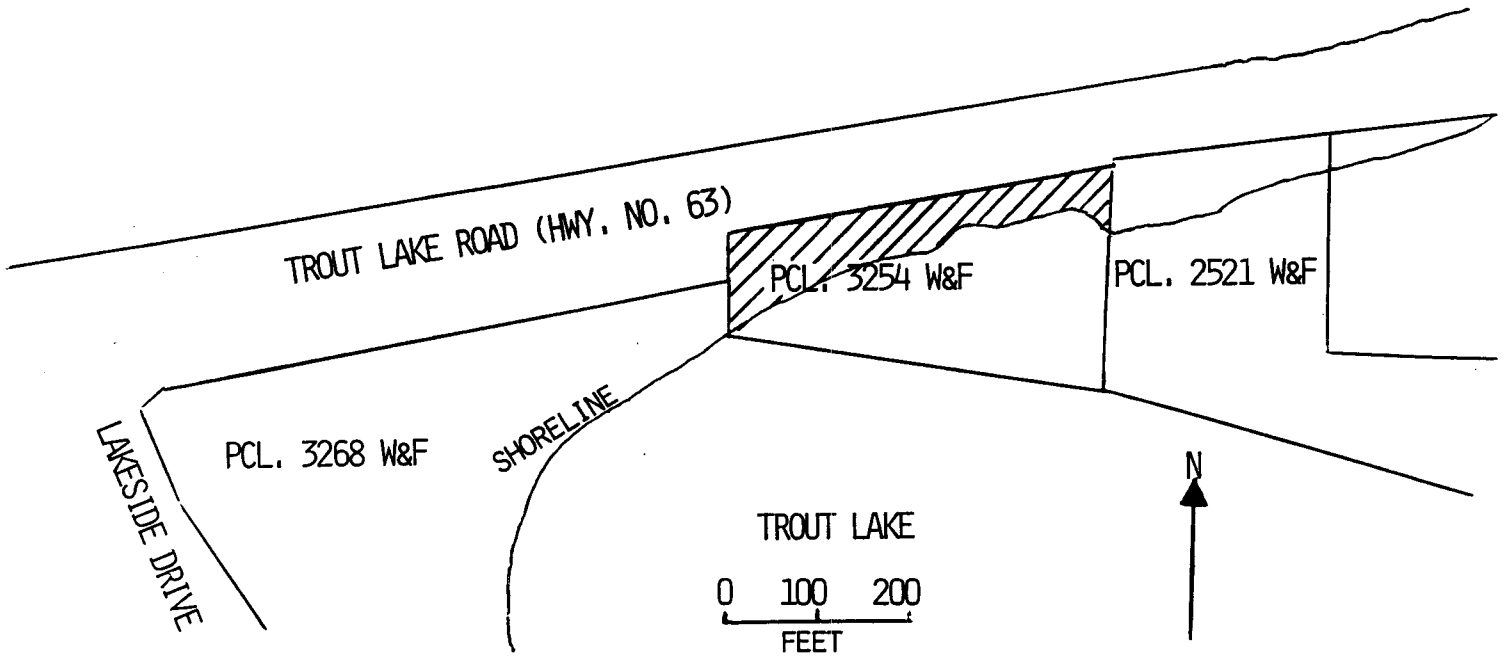
- a 24-unit apartment building;
- accessory uses to the above.

11.2.22.2 b) The regulations for this "Residential
Multiple Fourth Density Special Zone
No. 22 (RM 4 Sp.22)" are as follows:

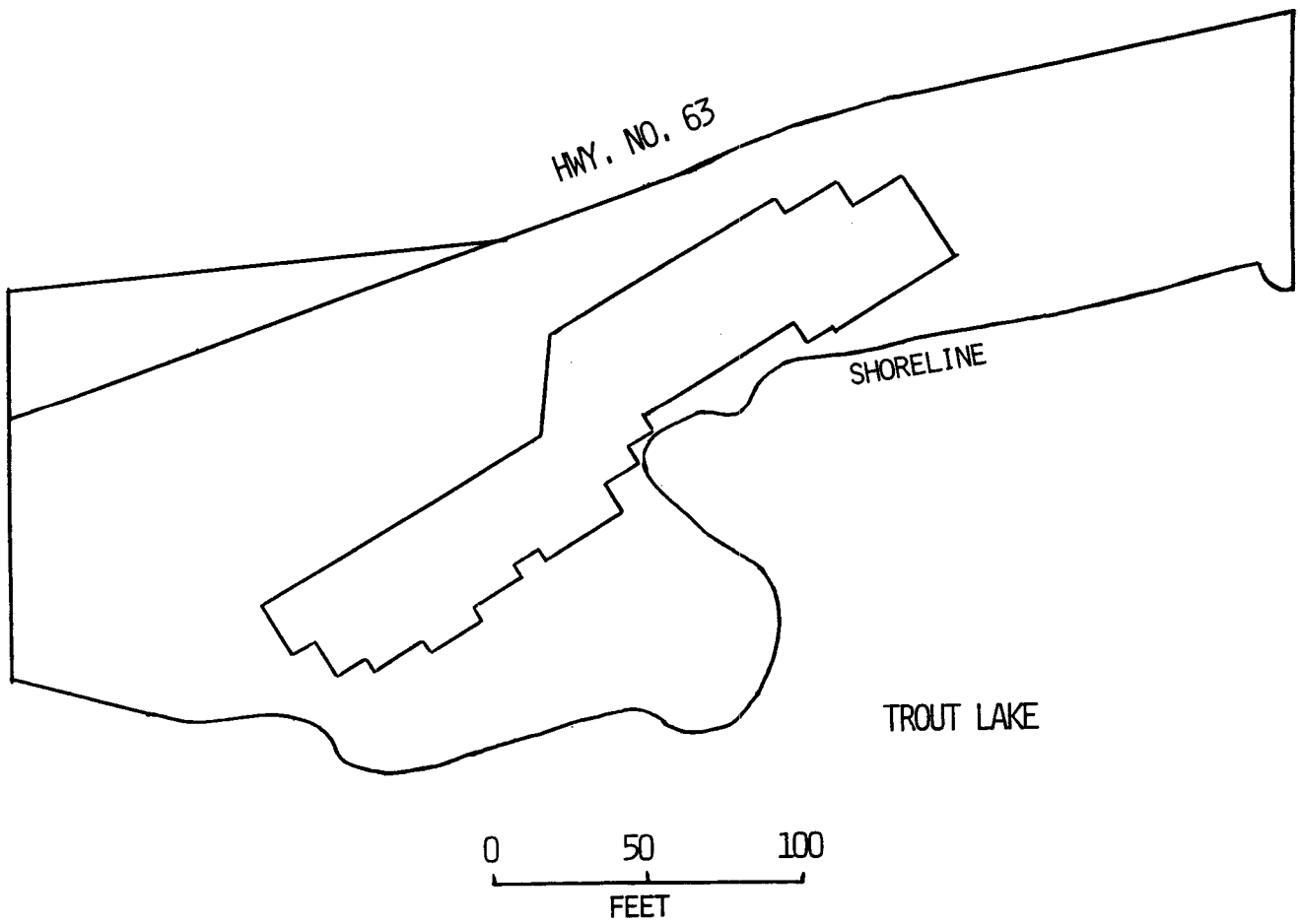
- i) The maximum gross floor area
as a percent of lot area shall
be one hundred (100) percent.
- ii) The minimum lot frontage shall
be one hundred and thirty-one
(131) metres.
- iii) The minimum usable Open Space
as a percent of gross floor
area shall be fifty (50) percent.
- iv) The minimum front yard, side
yard and rear yard setback shall
be as illustrated on the Schedule
to "Residential Multiple Fourth
Density Special Zone No. 22
(RM 4 Sp.22)".
- v) The maximum height of the
building shall be four (4) storeys.

11.2.22.3 The use of land or buildings in this "Residential Multiple Fourth Density Special Zone No. 22 (RM 4 Sp.22)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

SCHEDULE TO "RESIDENTIAL MULTIPLE FOURTH DENSITY SPECIAL ZONE NO. 22(RM4SP.22)"



BUILDING LOCATION



11.2.23 **Residential Multiple Second Density Special
Zone No. 23 (RM 2 Sp.23)**

11.2.23.1 The property description of this
"Residential Multiple Second Density
Special Zone No. 23 (RM 2 Sp.23) is:

Part of Parcel 11383 Nipissing in
the City of North Bay as shown on
the attached Schedule and Schedules
"B-71", "B-80", and "B-81".

11.2.23.2 a) No person shall use land, or erect
or construct any building or
structure in this "Residential
Multiple Second Density Special
Zone No. 23 (RM 2 Sp.23)" except
for the following uses:

- 50 townhouse units;
- accessory uses to the above.

11.2.23.2 b) The regulations for this "Residential
Multiple Second Density Special Zone
No. 23 (RM 2 Sp.23)" are as follows:

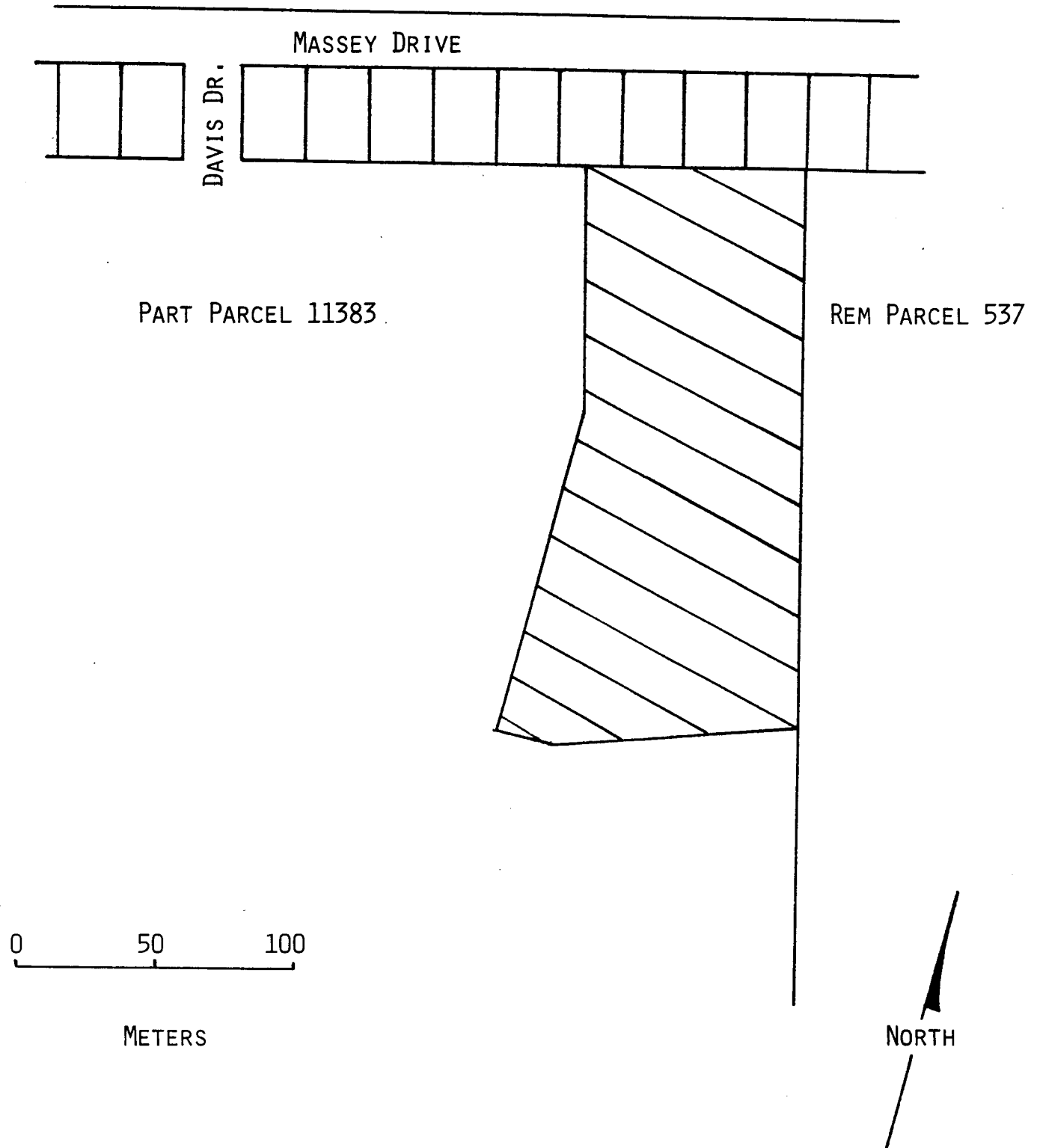
- i) The minimum lot frontage shall
be thirty (30) metres.
- ii) The maximum lot coverage shall
be thirty (30) percent.
- iii) The minimum front yard setback
shall be six (6) metres.
- iv) The minimum side yard shall be
one and two-tenths (1.2) metres
for one storey and an additional
sixty-one (61) centimetres for
each additional storey or part
thereof, but one side yard
must have a minimum width of
six (6) metres and an exterior
side yard must have a minimum
width of three (3) metres.
- v) The minimum rear yard shall be
seven and six-tenths (7.6) metres.

11.2.23.2 b) vi) The maximum number of dwelling units per building shall be eight (8).

vii) The minimum distance between buildings shall be equal to the average height of the two adjacent buildings or portions thereof.

11.2.23.3 The use of land or building in this "Residential Multiple Second Density Special Zone No. 23 (RM 2 Sp.23)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

" RESIDENTIAL MULTIPLE SECOND DENSITY SPECIAL ZONE No.23 (RM2. SP.23) "



11.2.23A **Residential Multiple Fourth Density Special
Zone No. 23A (RM 4 Sp.23A)**

11.2.23A.1 The property description of this
"Residential Multiple Fourth
Density Special Zone No. 23A
(RM 4 Sp.23A) is:

Part of Parcel 4802 W&F and Part
of Parcel 4372 W&F in the City of
North Bay as shown on the attached
Schedule and Schedule "B-44".

11.2.23A.2 a) No person shall use land, or
erect or construct any building
or structure in this "Residential
Multiple Fourth Density Special
Zone No. 23A (RM 4 Sp.23A)
except for the following uses:

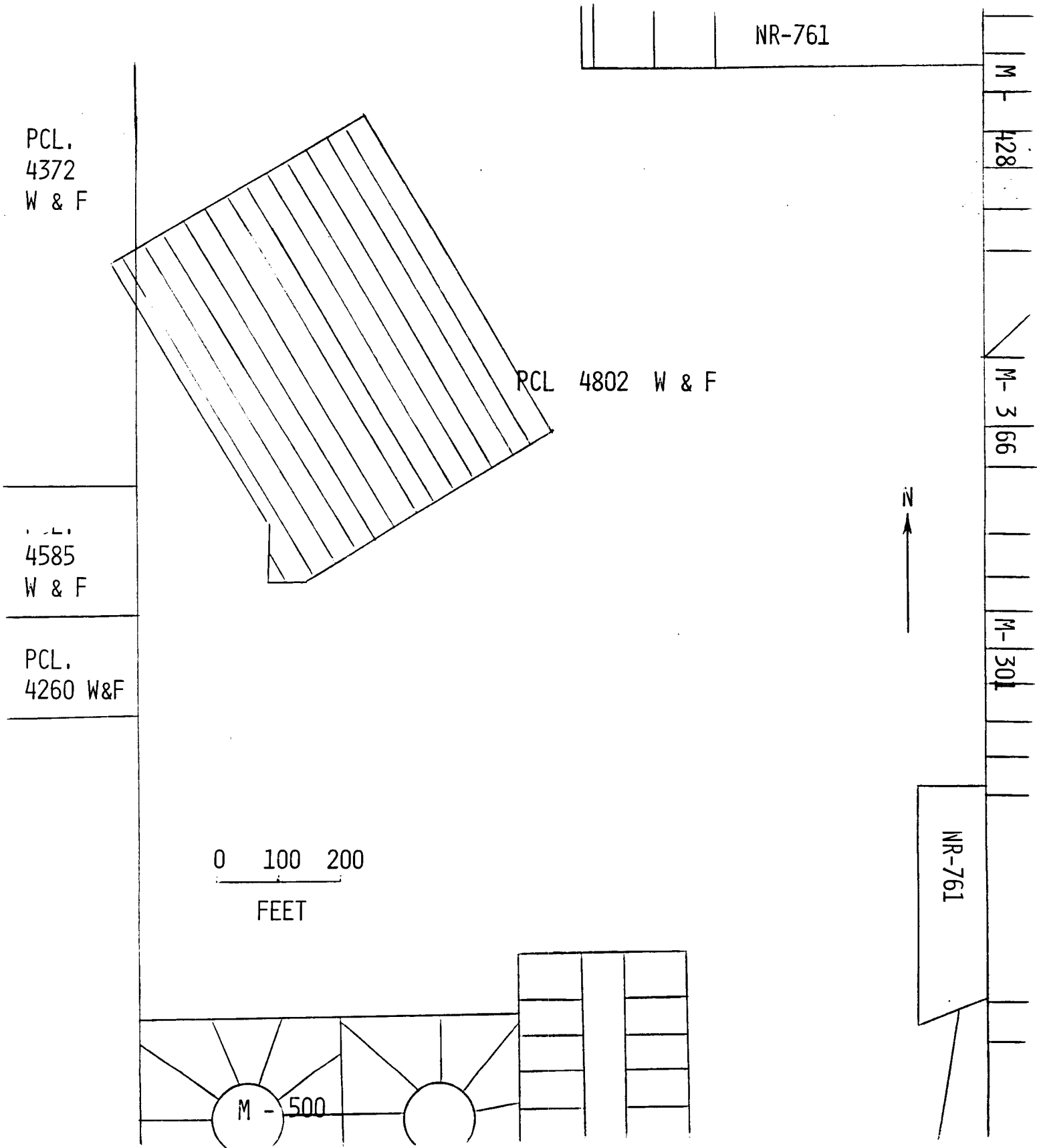
- 200 apartment dwelling units
with a maximum height of three
(3) storeys;
- accessory uses to the above.

b) The regulations for this
"Residential Multiple Fourth
Density Special Zone No. 23A
(RM 4 Sp.23A)" are as follows:

- i) The maximum gross floor area
as a percent of lot area
shall be one hundred (100)
percent.
- ii) The minimum lot frontage
shall be thirty (30) metres.
- iii) The minimum usable Open
Space as a percent of gross
floor area shall be fifty
(50) percent.
- iv) The minimum front yard
setback shall be one-half
the height of the building,
but not less than seven and
six-tenths (7.6) metres.

- 11.2.23A.2 b) v) The minimum side yard shall be one-half the height of the building, but not less than six (6) metres.
- vi) The minimum side yard setback from the exterior side lot line shall be one-half the height of the building, but not less than (6) metres.
- vii) The minimum rear yard shall be one-half the height of the building, but not less than seven and six-tenths (7.6) metres.
- viii) The maximum height of the apartment buildings shall be three (3) storeys.
- 11.2.23A.3 The use of land or buildings in this "Residential Multiple Fourth Density Special Zone No. 23A (RM 4 Sp.23A)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

SCHEDULE TO "RESIDENTIAL MULTIPLE FOURTH DENSITY SPECIAL ZONE NO. 23A(RM4SP.23A)"



11.2.24 **Residential Multiple Third Density Special
Zone No. 24 (RM 3 Sp.24)**

11.2.24.1 The property description of this "Residential Multiple Third Density Special Zone No. 24 (RM 3 Sp.24)" is:

Part of Parcel 11383 Nipissing in the City of North Bay as shown on the attached Schedule and Schedules "B-71", "B-80" and "B-81".

11.2.24.2 a) No person shall use land, or erect or construct any building or structures in this "Residential Multiple Third Density Special Zone No. 24 (RM 3 Sp.24)" except for the following uses:

- 50 apartment dwelling units with a maximum height of three (3) storeys;
- accessory uses to the above.

11.2.24.2 b) The regulations for this "Residential Multiple Third Density Special Zone No. 24 (RM 3 Sp.24)" are as follows:

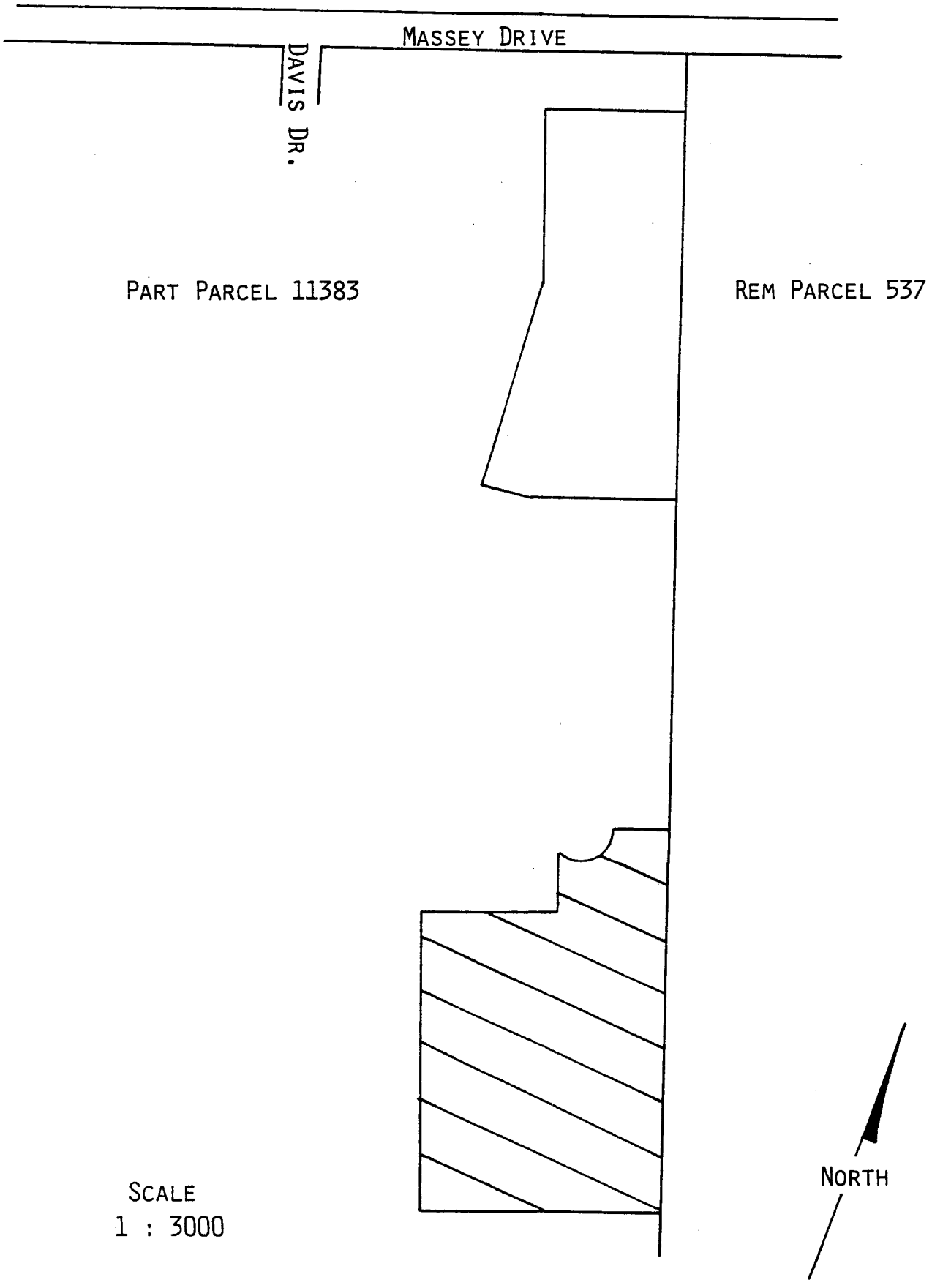
- i) The maximum gross floor area as a percent of lot area shall be seventy-five (75) percent.
- ii) The minimum lot frontage shall be thirty (30) metres.
- iii) The minimum usable Open Space as a percent of gross floor area shall be fifty (50) percent.
- iv) The minimum front yard setback shall be one-half the height of the building, but not less than seven and six-tenths (7.6) metres.
- v) The minimum side yard setback from the exterior side lot line shall be one-half the height of the building, but not less than six (6) metres.

11.2.24.2 b) vii) The minimum rear yard shall be one-half the height of the building, but not less than seven and six-tenths (7.6) metres.

viii) The maximum height of the apartment buildings shall be three (3) storeys.

11.2.24.3 The use of land or buildings in this "Residential Multiple Third Density Special Zone No. 24 (RM 3 Sp.24)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

SCHEDULE TO:
" RESIDENTIAL MULTIPLE THIRD DENSITY SPECIAL ZONE No. 24 (RM3, SP.24)"



SCALE
1 : 3000

NORTH

11.2.24A **Residential Multiple Second Density Special
Zone No. 24A (RM 2 Sp.24A)**

11.2.24A.1 The property description of this
"Residential Multiple Second Density
Special Zone No. 24A (RM 2 Sp.24A)" is:

Part of Parcel 4802 W&F in the City of
North Bay as shown on the attached
Schedule and Schedule "B-44".

11.2.24A.2 a) No person shall use land, or erect
or construct any building or structure
in this "Residential Multiple Second
Density Special Zone No. 24A
(RM 2 Sp.24A)" except for the
following uses:

- 110 townhouse units;
- accessory uses to the above.

b) The regulations for this "Residential
Multiple Second Density Special Zone
No. 24A (RM 2 Sp.24A)" are as follows:

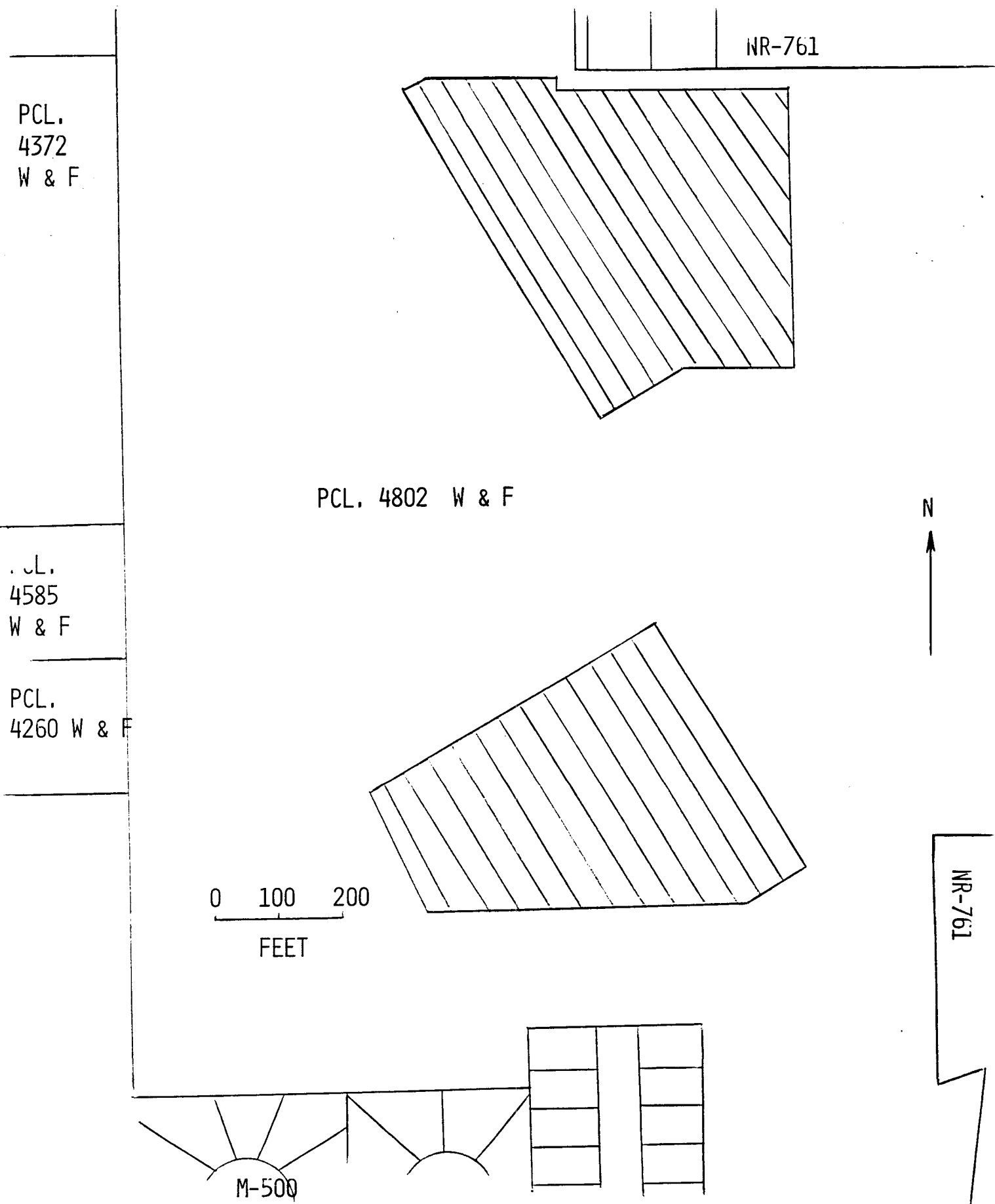
- i) The minimum lot frontage shall
be thirty (30) metres.
- ii) The maximum lot coverage shall
be thirty (30) percent.
- iii) The minimum front yard setback
shall be six (6) metres.
- iv) The minimum side yard shall be
one and two-tenths (1.2) metres
for one storey and an
additional sixty-one (61)
centimetres for each additional
storey or part thereof, but
one side yard must have a
minimum width of six (6) metres
and an exterior side yard must
have a minimum width of three
(3) metres.
- v) The minimum rear yard shall be
seven and six-tenths (7.6)
metres.

11.2.24A.2 b) vi) The maximum number of dwelling units per building shall be eight (8).

vii) The minimum distance between buildings shall be equal to the average height of the two adjacent buildings or portions thereof.

11.2.24A.3 The use of land or buildings in this "Residential Multiple Second Density Special Zone No. 24A (RM 2 Sp.24A) shall conform to all other regulations of this By-law, except as hereby expressly varied.

SCHEDULE TO "RESIDENTIAL MULTIPLE SECOND DENSITY SPECIAL ZONE NO. 24A(RM2SP.24A)'



11.2 RESIDENTIAL SPECIAL ZONES (Cont'd)

"Residential Multiple Third Density Special Zone No. 25 (RM 3 Sp.25)" and "Residential Multiple Fourth Density Special Zone No. 26 (RM 4 Sp.26)" were rezoned to "District Commercial Special Zone No.34 (C.4 Sp.34)" and "Residential Third Density (R.3)" by way of By-law No. 34-92.

11.2.27 **Residential Multiple First Density Special
Zone No. 27 (RM 1 Sp.27)**

11.2.27.1 The property description of this
"Residential Multiple First Density
Special Zone No. 27 (RM 1 Sp.27) is:

Parcel 8131 W&F in the City of North
Bay as shown on the attached Schedule
and Schedule "B-33".

11.2.27.2 a) No person shall use land, or erect
or construct any building or
structure in this "Residential
Multiple First Density Special Zone
No. 27 (RM 2 Sp.27)" except for
the following uses:

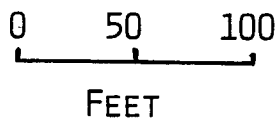
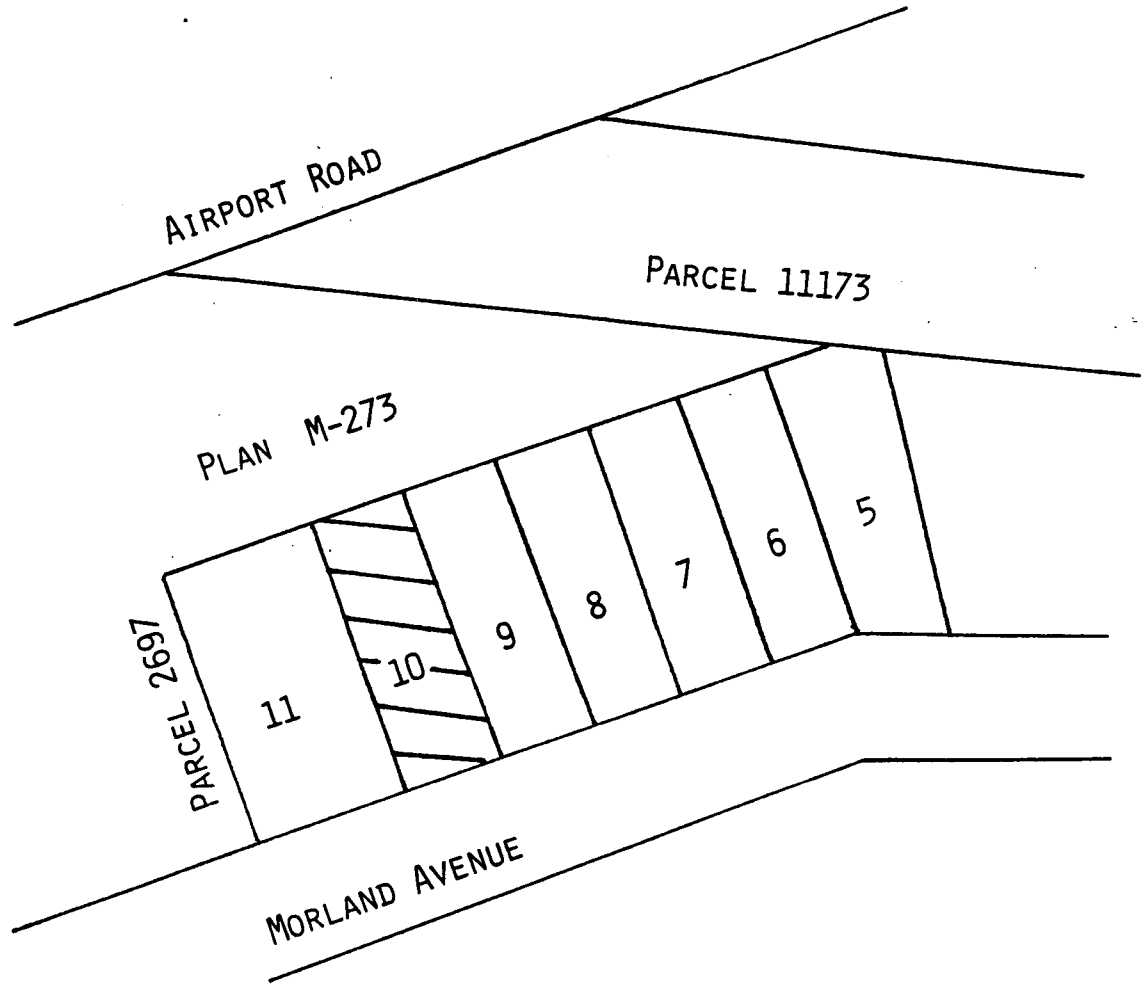
- a triplex dwelling;
- accessory uses to the above.

11.2.27.2 b) The regulations for this "Residential
Multiple First Density Special Zone
No. 27 (RM 1 Sp.27)" are as follows:

- i) The maximum gross floor area as
a percent of lot area shall be
thirty-five (35) percent.
- ii) The minimum lot frontage shall
be fifteen (15) metres.
- iii) The minimum usable Open Space as
a percent of gross floor area
shall be fifty (50) percent.
- iv) The minimum front yard, side
yard and rear yard setback shall
be as illustrated on the
Schedule to "Residential Multiple
First Density Special Zone
No. 27 (RM 1 Sp.27)".
- v) The maximum height of the building
shall be two (2) storeys.

11.2.27.3 The use of land or buildings in this
"Residential Multiple First Density
Special Zone No. 27 (RM 1 Sp.27)" shall
conform to all other regulations of
this By-law, except as hereby
expressly varied.

SCHEDULE TO:
" RESIDENTIAL MULTIPLE FIRST DENSITY SPECIAL ZONE No. 27 (RM1. SP.27) "



11.2.28 **Residential Multiple Fourth Density Special
Zone No. 28 (RM 4 Sp.28)**

11.2.28.1 The property description of this
"Residential Multiple Fourth Density
Special Zone No. 28 (RM 4 Sp.28)" is:

Block "D", the north half of Lot 263,
Lots 264-271 inclusive and Lots
330-333 inclusive, Plan No. 54, as
well as Lots 265 and 266, Registered
Plan M-28 in the City of North Bay
as shown on the attached Schedule
and Schedule "B-43".

11.2.28.2 a) No person shall use land, or erect
or construct any building or
structure in this "Residential
Multiple Fourth Density Special
Zone No. 28 (RM4 Sp.28)" except
for the following uses:

- a 58-unit apartment building;
- accessory uses to the above.

11.2.28.2 b) The regulations for this "Residential
Multiple Fourth Density Special Zone
No. 28 (RM 4 Sp.28)" are as follows:

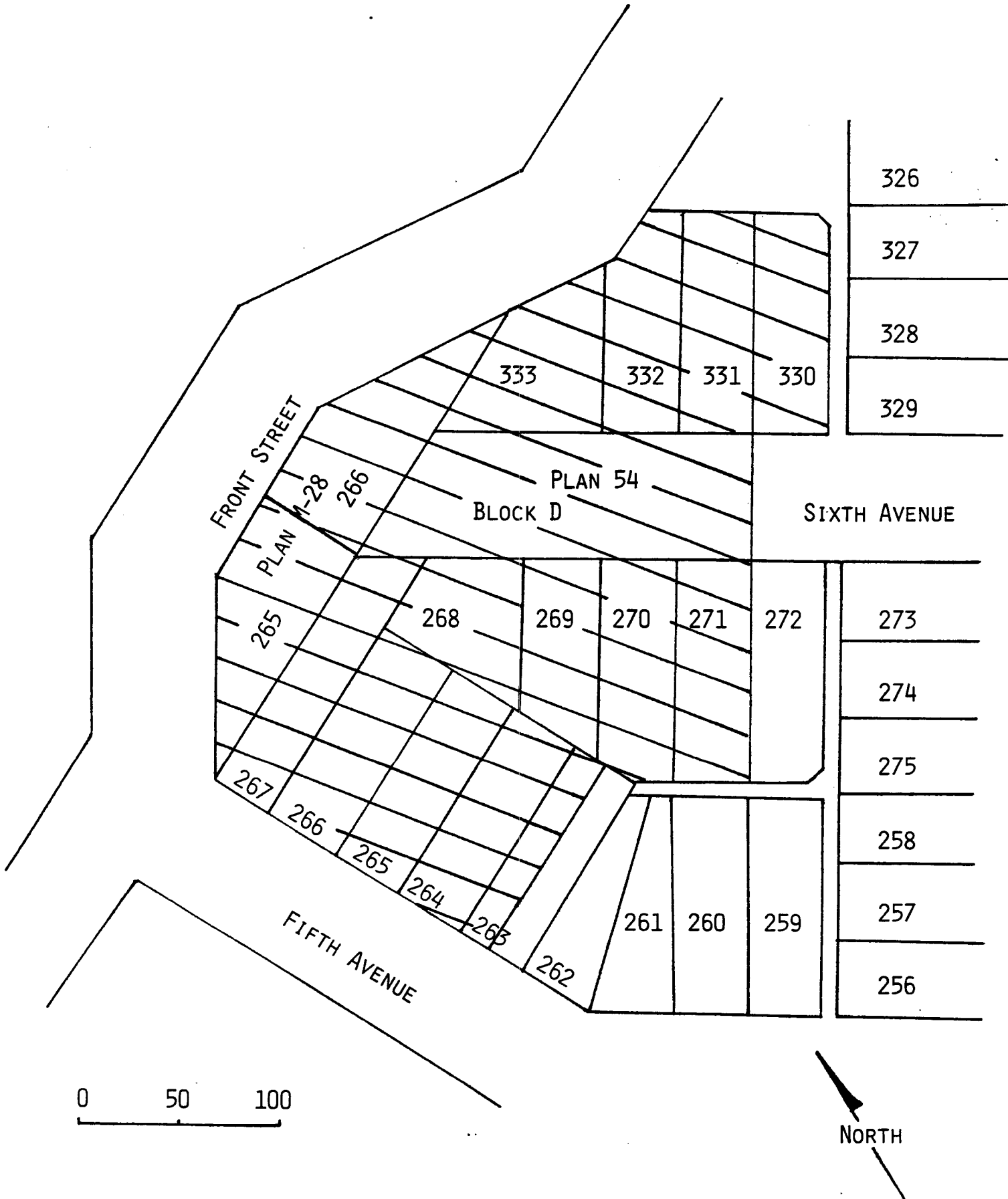
- i) The maximum gross floor area
as a percent of lot area shall
be one hundred (100) percent.
- ii) The minimum lot frontage shall
be twenty (20) metres.
- iii) The minimum usable Open Space as
a percent of gross floor area
shall be fifty (50) percent.
- iv) The minimum front yard, side
yard and rear yard setback
shall be as illustrated on the
Schedule to "Residential
Multiple Fourth Density Special
Zone No. 28 (RM 4 Sp.28)".
- v) The maximum height of the
building shall be six (6) storeys.

11.2.28 **Residential Multiple Fourth Density Special
Zone No. 28 (RM 4 Sp.28)**

11.2.28.3 The use of land or buildings in this "Residential Multiple Fourth Density Special Zone No. 28 (RM 4 Sp.28)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

SCHEDULE TO:

" RESIDENTIAL MULTIPLE FOURTH DENSITY SPECIAL ZONE No. 28 (RM4, SP.28)"



11.2.29 **Residential Multiple Third Density Special
Zone No. 29 (RM 3 Sp.29)**

11.2.29.1 The property description of this
"Residential Multiple Third Density
Special Zone No. 29 (RM 3 Sp.29) is:

Lot 54, Plan No. 13, along Main Street
West in the City of North Bay as
shown on the attached Schedule and
Schedule "B-42".

11.2.29.2 a) No person shall use land, or erect
or construct any building or structure
in this "Residential Multiple Third
Density Special Zone No. 29 (RM 3 Sp.29)"
except for the following uses:

- a six (6) unit two (2) storey
apartment building;
- accessory uses to the above.

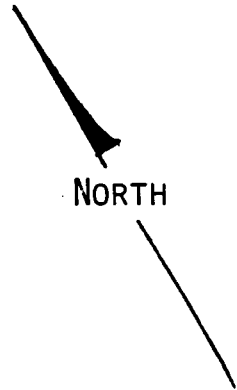
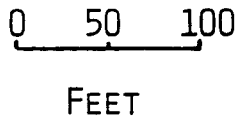
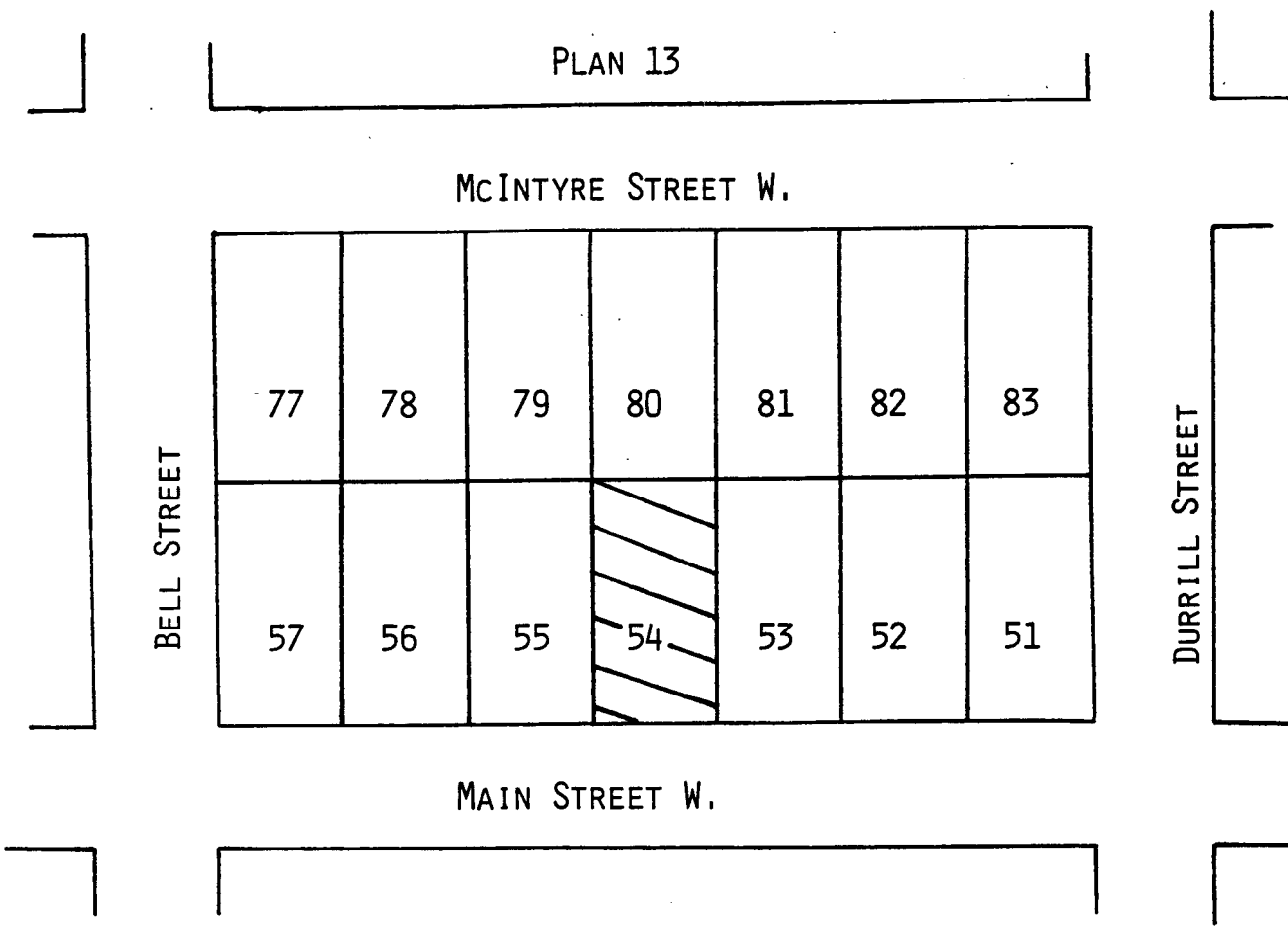
11.2.29.2 b) The regulations for this "Residential
Multiple Third Density Special Zone
No. 29 (RM 3 Sp. 29)" are as follows:

- i) . The maximum gross floor area as
a percent of lot area shall be
seventy-five (75) percent.
- ii) The minimum lot frontage shall
be twenty (20) metres.
- iii) The minimum usable Open Space as
a percent of gross floor area
shall be twenty-eight (28)
percent.
- iv) The minimum front yard, side
yard and rear yard setback shall
be as illustrated on the
Schedule to "Residential Multiple
Third Density Special Zone No.
29 (RM 3 Sp.29)".
- v) The maximum height of the
building shall be two (2) storeys.

11.2.29.3 The use of land or buildings in this "Residential Multiple Third Density Special Zone No. 29 (RM 3 Sp.29)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

SCHEDULE TO:

" RESIDENTIAL MULTIPLE THIRD DENSITY SPECIAL ZONE No. 29 (RM3. SP.29)"



11.2.30 **Residential Multiple Sixth Density Special
Zone No. 30 (RM 6 Sp.30)**

11.2.30.1 The property description of this
"Residential Multiple Sixth Density
Special Zone No. 30 (RM 6 Sp.30)" is:

Lots 203 to 211 inclusive, Registered
Plan M-211 along Lakeshore Drive in
the City of North Bay as shown on
the attached Schedule and Schedule
"B-70".

11.2.30.2 a) No person shall use land, erect or
construct any building or structure
in this "Residential Multiple Sixth
Density Special Zone No. 30
(RM 6 Sp.30)" except for the
following uses:

- apartment buildings of not more
than 32 units and not more than 9
storeys;
- parks, playgrounds, non-profit uses;
- accessory uses to the above.

i) . The maximum gross floor area as
a percent of lot area shall be
one hundred and fifty (150)
percent.

ii) The minimum lot frontage shall
be thirty-four and nine-tenths
(34.9) metres.

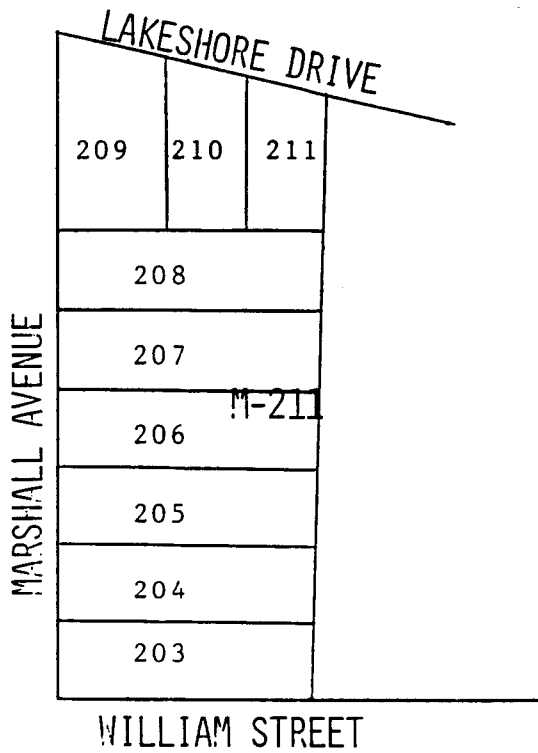
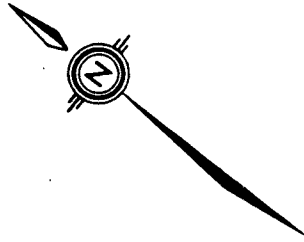
iii) The minimum usable Open Space as
a percent of the gross floor area
shall be forty-six (46) percent.

iv) The minimum front yard, side
yard and rear yard setbacks shall
be as illustrated on Schedule "C"
to "Residential Multiple Sixth
Density Special Zone No. 30
(RM 6 Sp.30)".

v) The maximum height of the building
shall be not more than nine (9)
storeys.

11.2.30.3 The use of land or buildings in this "Residential Multiple Sixth Density Special Zone No. 30 (RM 6 Sp.30)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

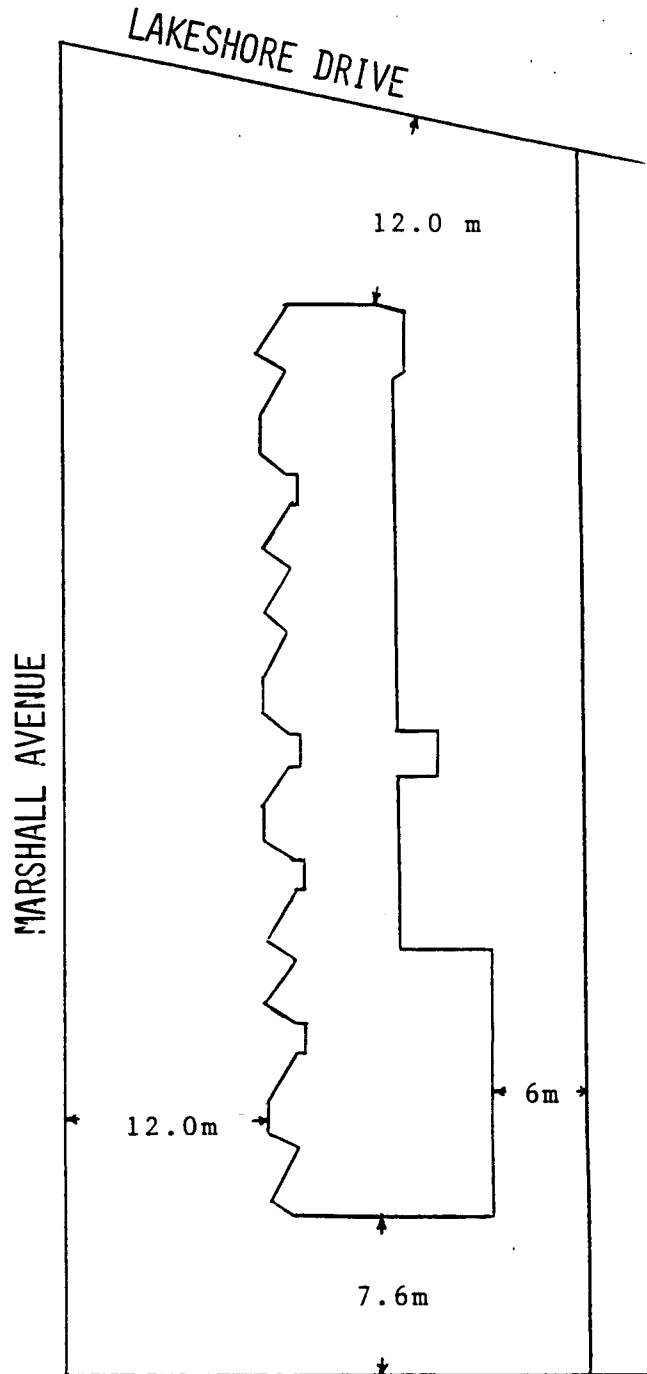
SCHEDULE TO "RESIDENTIAL MULTIPLE SIXTH DENSITY SPECIAL ZONE
NO. 30 (RM.6 SP.30)"



WILLIAM STREET

0 40 80
FEET

BUILDING LOCATION



WILLIAM STREET

N.T.S.

11.2.31 **Residential Multiple Third Density Special
Zone No. 31 (RM 3 Sp.31)**

11.2.31.1 The property description of this "Residential Multiple Third Density Special Zone No. 31 (RM 3 Sp.31)" is:

Lots 836 to 839 inclusive, Plan M-177, along O'Brien Street and Hutcheson Avenue in the City of North Bay as shown on the attached Schedule and Schedule "B-43".

11.2.31.2 a) No person shall use land, or erect or construct any building or structure in this "Residential Multiple Third Density Special Zone No. 31" except for the following uses:

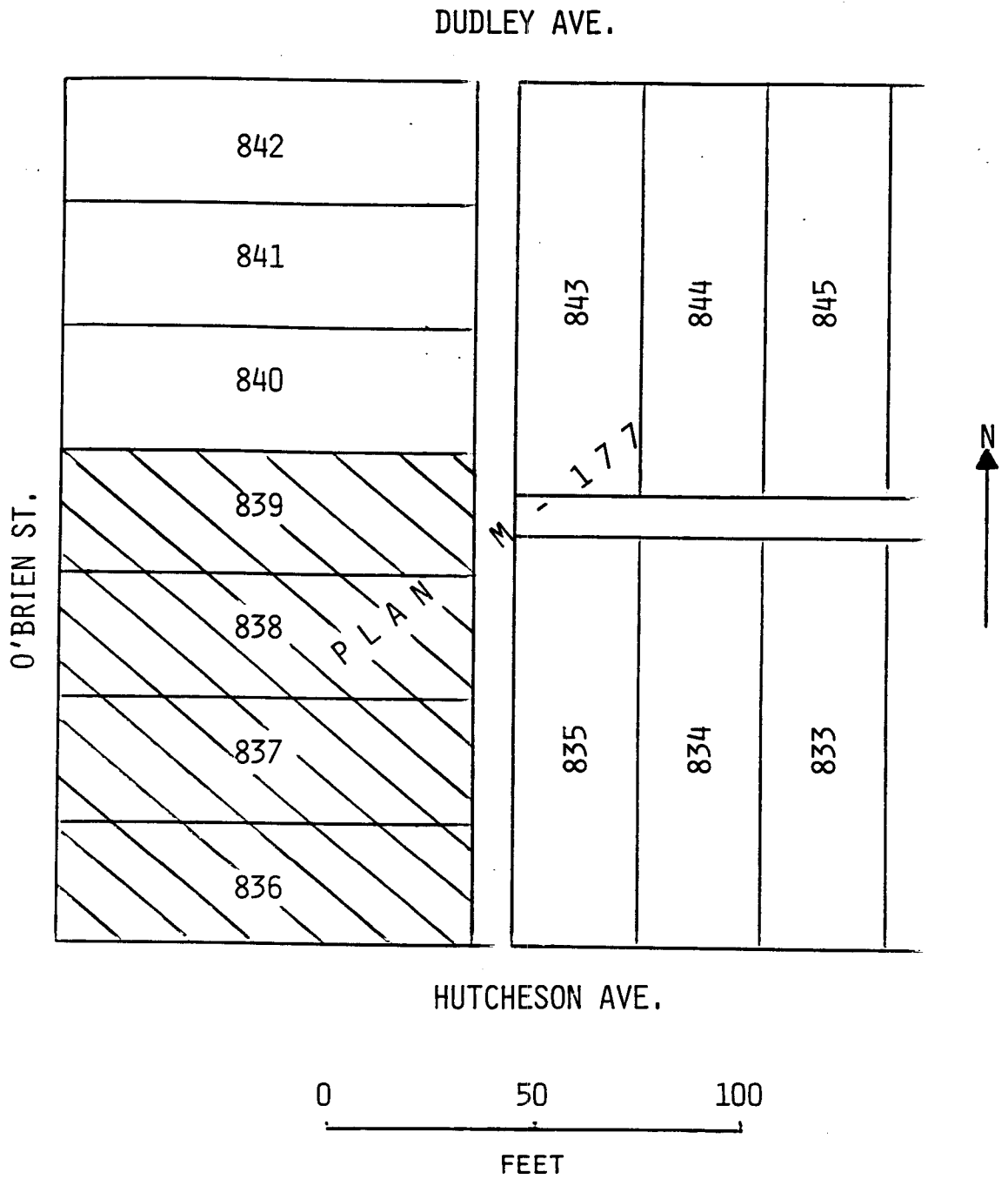
- apartment dwelling having not more than ten (10) units;
- parks, playgrounds, non-profit uses;
- institutional uses.

11.2.31.2 b) The regulations for this "Residential Multiple Third Density Special Zone No. 31 (RM 3 Sp.31)" are as follows:

- i) The maximum gross floor area as a percent of lot area shall be ninety-six (96) percent.
- ii) The minimum lot frontage shall be thirty (30) metres.
- iii) The minimum front yard setback shall be six (6) metres.
- iv) The minimum side yard setback shall be six (6) metres.
- v) The minimum rear yard setback shall be seven and six-tenths (7.6) metres.

11.2.31.3 The use of land or buildings in this "Residential Multiple Third Density Special Zone No. 31 (RM 3 Sp.31)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

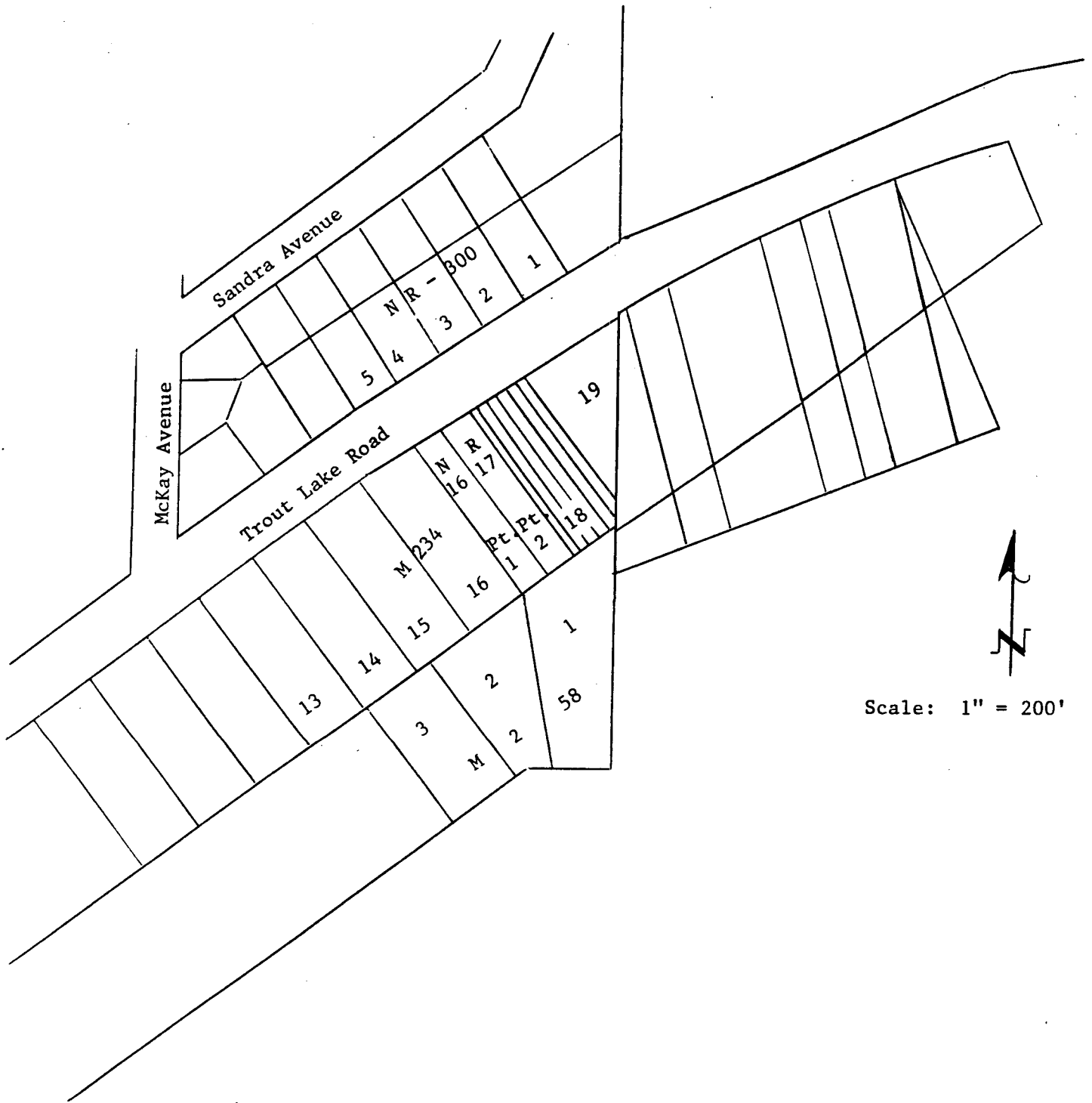
SCHEDULE TO "RESIDENTIAL MULTIPLE THIRD DENSITY SPECIAL ZONE NO. 31(RM3SP.31)"



11.2.32 **Residential Multiple Fourth Density Special
Zone No. 32 (RM 4 Sp.32)**

- 11.2.32.1 The property description of this "Residential Multiple Fourth Density Special Zone No. 32 (RM 4 Sp.32)" is Lot 18, Plan M-234 along Trout Lake in the City of North Bay as shown on the attached Schedule and Schedule "B-44".
- 11.2.32.2 a) No person shall use land, erect or construct any building or structure in this "Residential Multiple Fourth Density Special Zone No. 32 (RM 4 Sp.32)" except for the following uses:
- a (3) three-storey apartment building, not to exceed sixteen (16) dwelling units.
- 11.2.32.2 b) The regulations for this "Residential Multiple Fourth Density Special Zone No. 32 (RM 4 Sp.32)" are as follows:
- i) The maximum gross floor area as a percent of lot area shall be one hundred (100) percent.
 - ii) The minimum front yard setback shall be thirty (30) metres.
 - iii) The minimum side yard setback shall be five and five-tenths (5.5) metres.
 - iv) The minimum rear yard setback shall be seven and six-tenths (7.6) metres.
 - v) The parking requirements may be located on the front yard in this "Residential Multiple Fourth Density Special Zone No. 32 (RM 4 Sp.32)".
- 11.2.32.3 The use of land or buildings in this "Residential Multiple Fourth Density Special Zone No. 32 (RM 4 Sp.32)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

SCHEDULE TO "RESIDENTIAL MULTIPLE FOURTH DENSITY SPECIAL ZONE
NO. 32 (RM.4 SP.32)"



Scale: 1" = 200'

11.2.33 **Residential Multiple First Density Special
Zone No. 33 (RM 1 Sp.33)**

11.2.33.1 The property description of this "Residential Multiple First Density Special Zone No. 33 (RM 1 Sp.33)" is Lot 138, Plan M-32 along Galt Street and Cedar Street in the City of North Bay as shown on the attached Schedule and Schedule "B-42".

11.2.33.2 a) No person shall use land, erect or construct any building or structure in this "Residential Multiple First Density Special Zone No. 33 (RM 1 Sp.33)" except for the following uses:

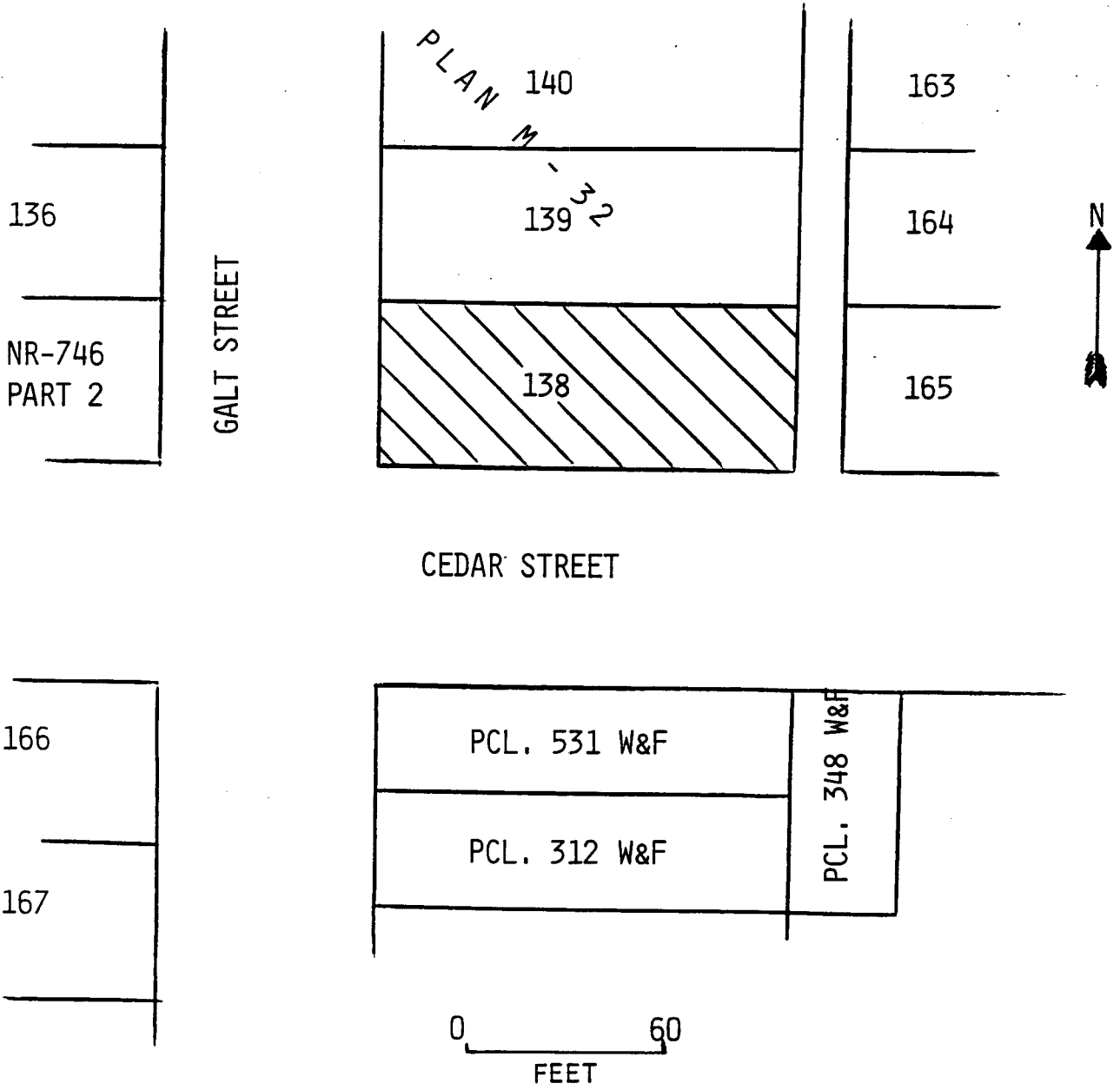
- a triplex dwelling.

b) The regulations for this "Residential Multiple First Density Special Zone No. 33 (RM 1 Sp.33)" are as follows:

- i) The minimum lot area per dwelling unit shall be one hundred and eighty-six (186) square metres.
- ii) The minimum lot frontage shall be fifteen (15) metres.
- iii) The minimum front yard setback shall be three and seven-tenths (3.7) metres.
- iv) The minimum exterior side yard setback shall be nine-tenths (0.9) metres.
- v) The minimum interior side yard setback shall be one and eight-tenths (1.8) metres.
- vi) The minimum rear yard setback shall be thirteen and seven-tenths (13.7) metres.

11.2.33.3 The use of land or buildings in this "Residential Multiple First Density Special Zone No. 33 (RM 1 Sp.33)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

SCHEDULE TO "RESIDENTIAL MULTIPLE FIRST DENSITY SPECIAL ZONE NO. 33(RM1SP.33)"



11.2.34 **Residential Multiple First Density Special
Zone No. 34 (RM 1 Sp.34)**

11.2.34.1 The property description of this "Residential Multiple First Density Special Zone No. 34 (RM 1 Sp.34)" is Lot 341, Plan M-28 along O'Brien Street and High Street in the City of North Bay as shown on the attached Schedule and Schedule "B-43".

11.2.34.2 a) No person shall use land, erect or construct any building or structure in this "Residential Multiple First Density Special Zone No. 34 (RM 1 Sp.34)" except for the following uses:

- a four-plex dwelling.

b) The regulations for this "Residential Multiple First Density Special Zone No. 34 (RM 1 Sp.34)" are as follows:

i) The minimum lot area per dwelling unit shall be one hundred and forty-five (145) square metres.

ii) The minimum lot frontage shall be fifteen (15) metres.

iii) The minimum front yard setback shall be six (6) metres.

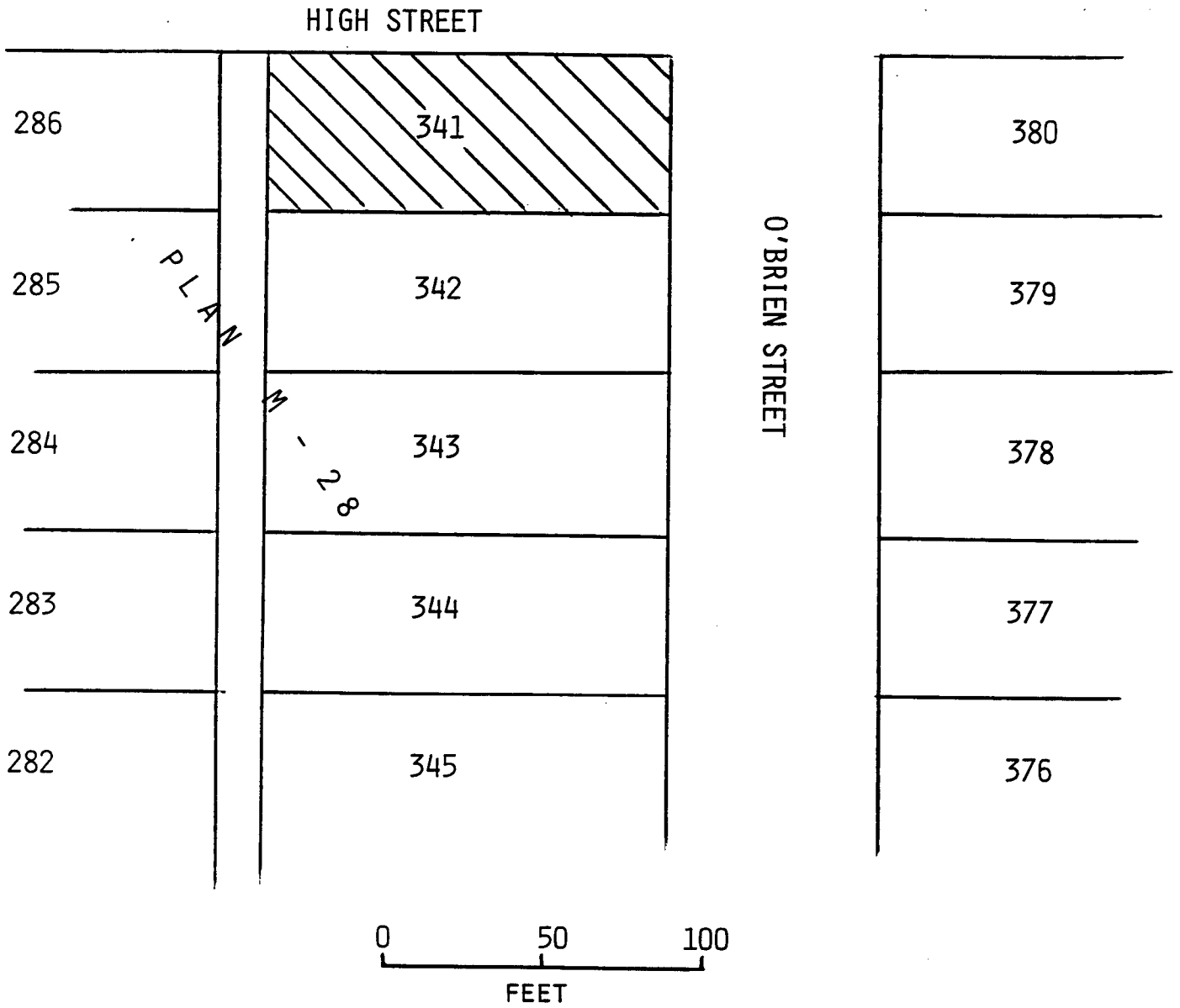
iv) The minimum exterior side yard setback shall be one and two-tenths (1.2) metres.

v) The minimum interior side yard setback shall be one and eight-tenths (1.8) metres.

vi) The minimum rear yard setback shall be eight and two-tenths (8.2) metres.

11.2.34.3 The use of land or buildings in this "Residential Multiple First Density Special Zone No. 34 (RM 1 Sp.34)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

SCHEDULE TO "RESIDENTIAL MULTIPLE FIRST DENSITY SPECIAL ZONE NO. 34(RM1SP,34)"



11.2.35 **Residential Multiple Third Density Special
Zone No. 35 (RM 3 Sp.35)**

11.2.35.1 The property description of this "Residential Multiple Third Density Special Zone No. 35 (RM 3 Sp.35)" is Parts 11, 12 and 16, Plan 36R-3405 and Parts 1 to 5 inclusive, Plan 36R-8423 along Duke Street in the City of North Bay as shown on the attached Schedule and Schedule "B-43".

11.2.35.2 a) No person shall use land, erect or construct any building or structure in this "Residential Multiple Third Density Special Zone No. 35 (RM 3 Sp.35)" except for the following uses:

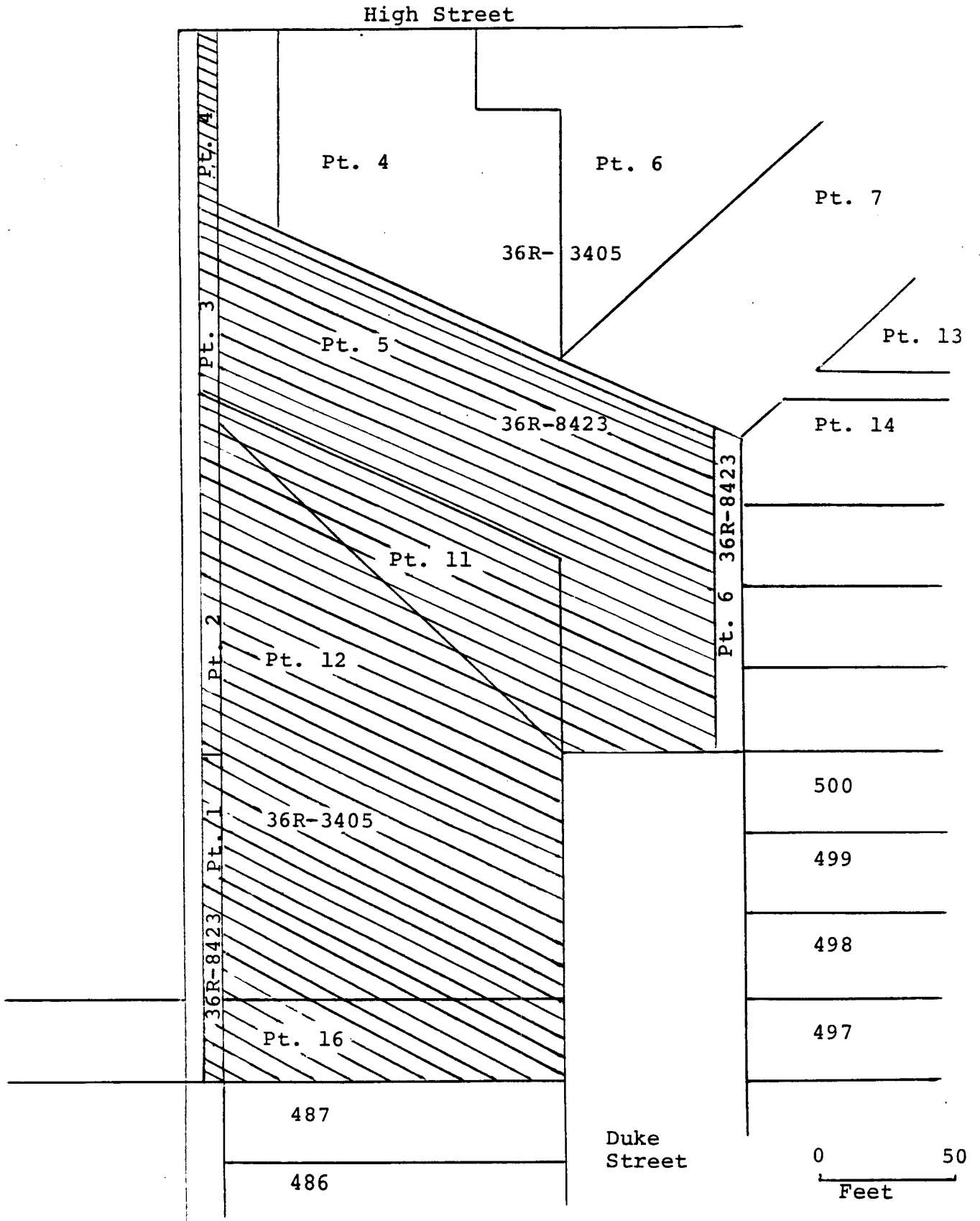
- an apartment dwelling having not more than thirteen (13) dwelling units within two (2) storeys.

11.2.35.2 b) The regulations for this "Residential Multiple Third Density Special Zone No. 35 (RM 3 Sp.35)" are as follows:

- i) The maximum gross floor area shall be one thousand seven hundred and forty-two (1,742) square metres.
- ii) The minimum lot frontage shall be thirty-six and five-tenths (36.5) metres.
- iii) The minimum front yard setback shall be seven and six-tenths (7.6) metres.
- iv) The minimum southerly side yard setback shall be thirteen and seven-tenths (13.7) metres.
- v) The minimum northerly side yard setback shall be twenty-two and zero-tenths (22.0) metres.
- vi) The minimum rear yard setback shall be eleven and eight-tenths (11.8) metres.

11.2.35.3 The use of land or buildings in this "Residential Multiple Third Density Special Zone No. 35 (RM 3 Sp.35)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

SCHEDULE TO "RESIDENTIAL MULTIPLE THIRD DENSITY
SPECIAL ZONE NO. 35 (RM.3 SP. 35)"



11.2.36 **Residential Multiple First Density Special
Zone No. 36 (RM 1 Sp.36)**

11.2.36.1 The property description of this "Residential Multiple First Density Special Zone No. 36 (RM 1 Sp.36)" is Lot 373, Plan M-28, along O'Brien Street in the City of North Bay as shown on the attached Schedule and Schedule "B-43".

11.2.36.2 a) No person shall use land, erect or construct any building or structure in this "Residential Multiple First Density Special Zone No. 36 (RM 1 Sp.36)" except for the following uses:

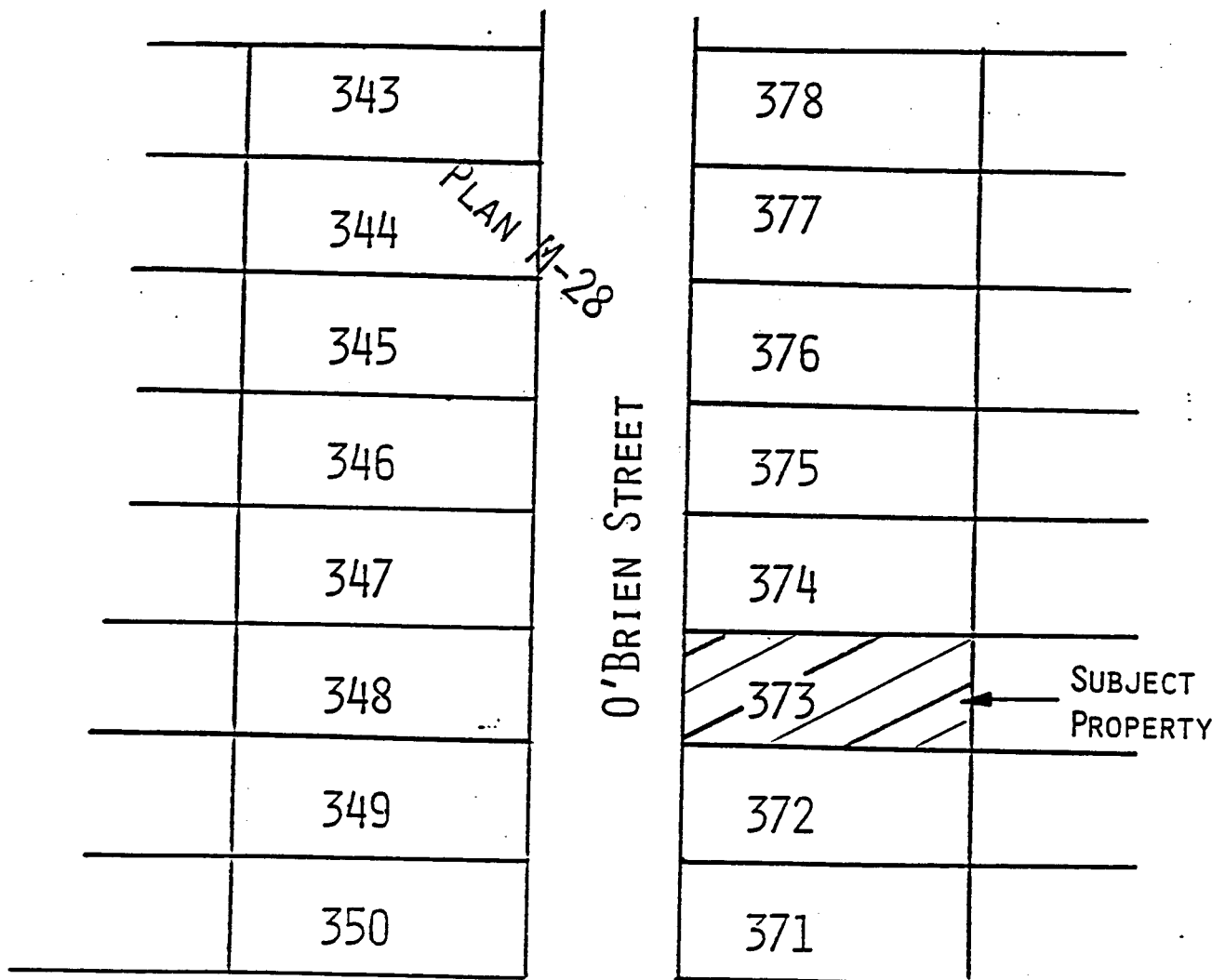
- triplex dwelling;
- parks, playgrounds, non-profit uses;
- institutional uses.

11.2.36.2 b) The regulations for this "Residential Multiple First Density Special Zone No. 36 (RM 1 Sp.36)" are as follows:

- i) The maximum lot coverage not to exceed thirty-five (35) percent of the total lot area.
- ii) The minimum lot frontage shall be fifteen and two-tenths (15.2) metres.
- iii) The minimum front yard setback shall be seven and six-tenths (7.6) metres.
- iv) The minimum northerly side yard setback shall be one and eight-tenths (1.8) metres.
- v) The minimum southerly side yard setback shall be two and four-tenths (2.4) metres.
- vi) The minimum rear yard setback shall be fifteen and five-tenths (15.5) metres.

The use of land or buildings in this "Residential Multiple First Density Special Zone No. 36 (RM 1 Sp.36)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

SCHEDULE TO "RESIDENTIAL MULTIPLE FIRST DENSITY SPECIAL ZONE NO. 36 (RM.1 SP.36)"



EVA STREET

0 50 100

SCALE

NORTH

11.2.37 **Residential Multiple Fourth Density Special
Zone No. 37 (RM 4 Sp.37)**

11.2.37.1 The property description of this "Residential Multiple Fourth Density Special Zone No. 37 (RM 4 Sp.37)" is Lots 41, 42, 137 and 138, Plan M-211 along Lakeshore Drive in the City of North Bay as shown on the attached Schedule and Schedule "B-70".

11.2.37.2 a) No person shall use land, erect or construct any building or structure in this "Residential Multiple Fourth Density Special Zone No. 37 (RM 4 Sp.37)" except for the following uses:

- an apartment dwelling having not more than six (6) units and three (3) storeys.

b) The regulations for this "Residential Multiple Fourth Density Special Zone No. 37 (RM 4 Sp.37)" are as follows:

i) The minimum lot frontage shall be twenty (20) metres.

ii) The minimum lot area shall be one thousand four hundred and fifty-nine (1459) square metres.

iii) The minimum front yard setback shall be ten and nine-tenths (10.9) metres.

iv) The minimum northerly side yard setback shall be one and eight-tenths (1.8) metres.

v) The minimum southerly side yard setback shall be three (3) metres.

vi) The minimum rear yard setback shall be thirty (30) metres.

11.2.37.3 The use of land or buildings in this "Residential Multiple Fourth Density Special Zone No. 37 (RM 4 Sp.37)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

SCHEDULE TO "RESIDENTIAL MULTIPLE FOURTH DENSITY SPECIAL ZONE
NO. 37 (RM4SP,37)"

	38	141	
	39	140	
	40	139	
LAKE NIPISSING	41	138	LAKESHORE DRIVE
	42	137	
	43	136	
	44	135	
	45	134	
	46	133	
	47	132	

11.2.38 **Residential Multiple First Density Special
Zone No. 38 (RM 1 Sp.38)**

11.2.38.1 The property description of this "Residential Multiple First Density Special Zone No. 38 (RM 1 Sp.38)" is Part of Lots 51 and 52, Plan No. 15 along Main Street West in the City of North Bay as shown on the attached Schedule and Schedule "B-41".

11.2.38.2 a) No person shall use land, erect or construct any building or structure in this "Residential Multiple First Density Special Zone No. 38 (RM 1 Sp.38)" except for the following uses:

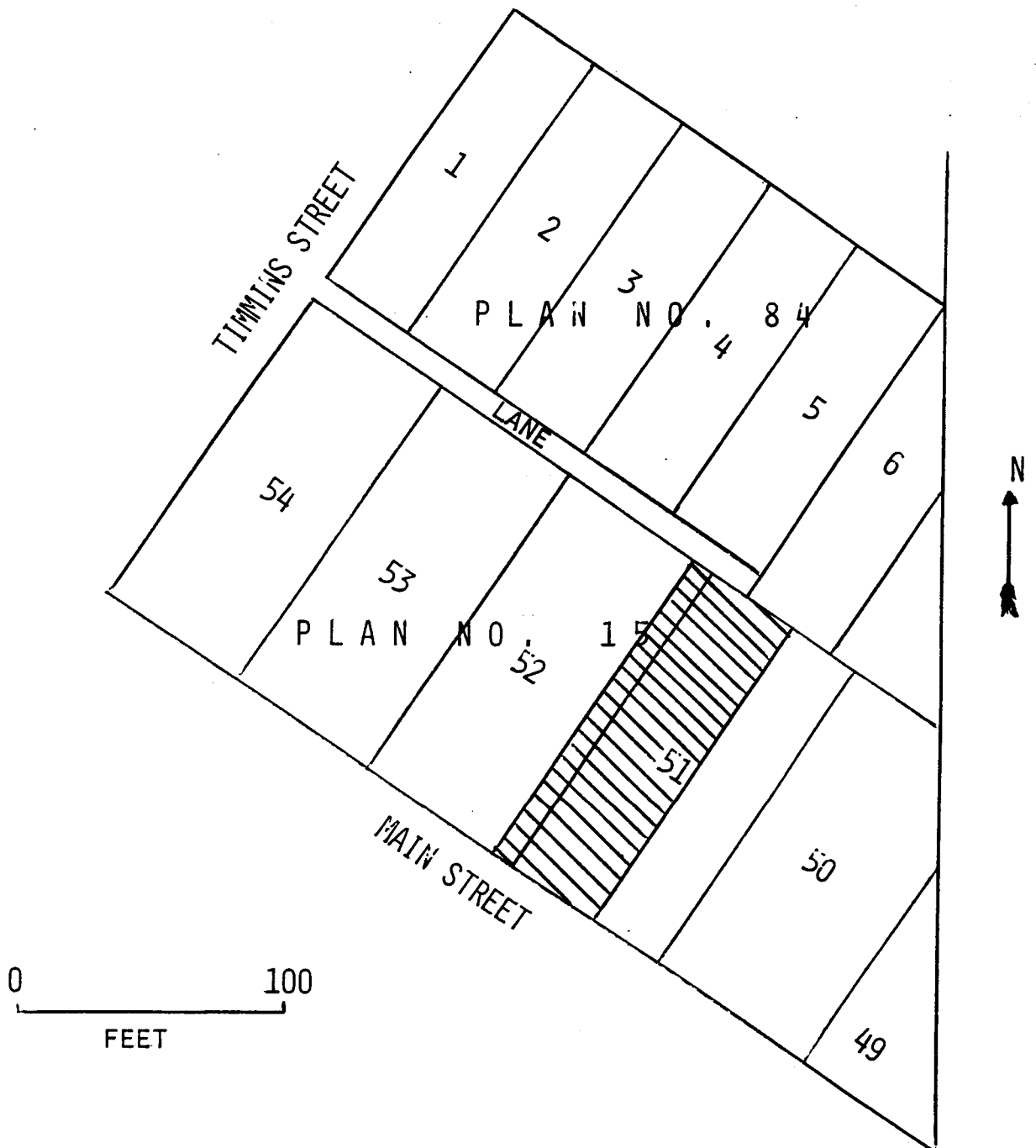
- a triplex dwelling;
- accessory uses to the above.

b) The regulations for this "Residential Multiple First Density Special Zone No. 38 (RM 1 Sp.38)" are as follows:

- i) The minimum lot frontage shall be thirteen and eight-tenths (13.8) metres.
- ii) The minimum lot area shall be five hundred and fifty-five and four-tenths (555.4) square metres.
- iii) The minimum front yard setback shall be six and three-tenths (6.3) metres.
- iv) The minimum northerly side yard setback shall be two and two-tenths (2.2) metres.
- v) The minimum southerly side yard setback shall be three and eight-tenths (3.8) metres.
- vi) The minimum rear yard setback shall be nineteen and six-tenths (19.6) metres.

11.2.38.3 The use of land or buildings in this "Residential Multiple First Density Special Zone No. 38 (RM 1 Sp.38)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

SCHEDULE TO "RESIDENTIAL MULTIPLE FIRST DENSITY SPECIAL ZONE NO. 38
(RM1SP.38)



11.2.39 **Residential Multiple Third Density Special
Zone No. 39 (RM 3 Sp.39)**

11.2.39.1 The property description of this "Residential Multiple Third Density Special Zone No. 39 (RM 3 Sp.39)" is Lots 276, 277, 278 and Part of Lot 279, Plan No. 86 along Greenwood Avenue in the City of North Bay as shown on the attached Schedule and Schedule "B-42".

11.2.39.2 a) No person shall use land, or use, erect or construct any building or structure in this "Residential Multiple Third Density Special Zone No. 39 (RM 3 Sp.39)" except for the following uses:

- a six (6) unit apartment dwelling;
- accessory uses to the above.

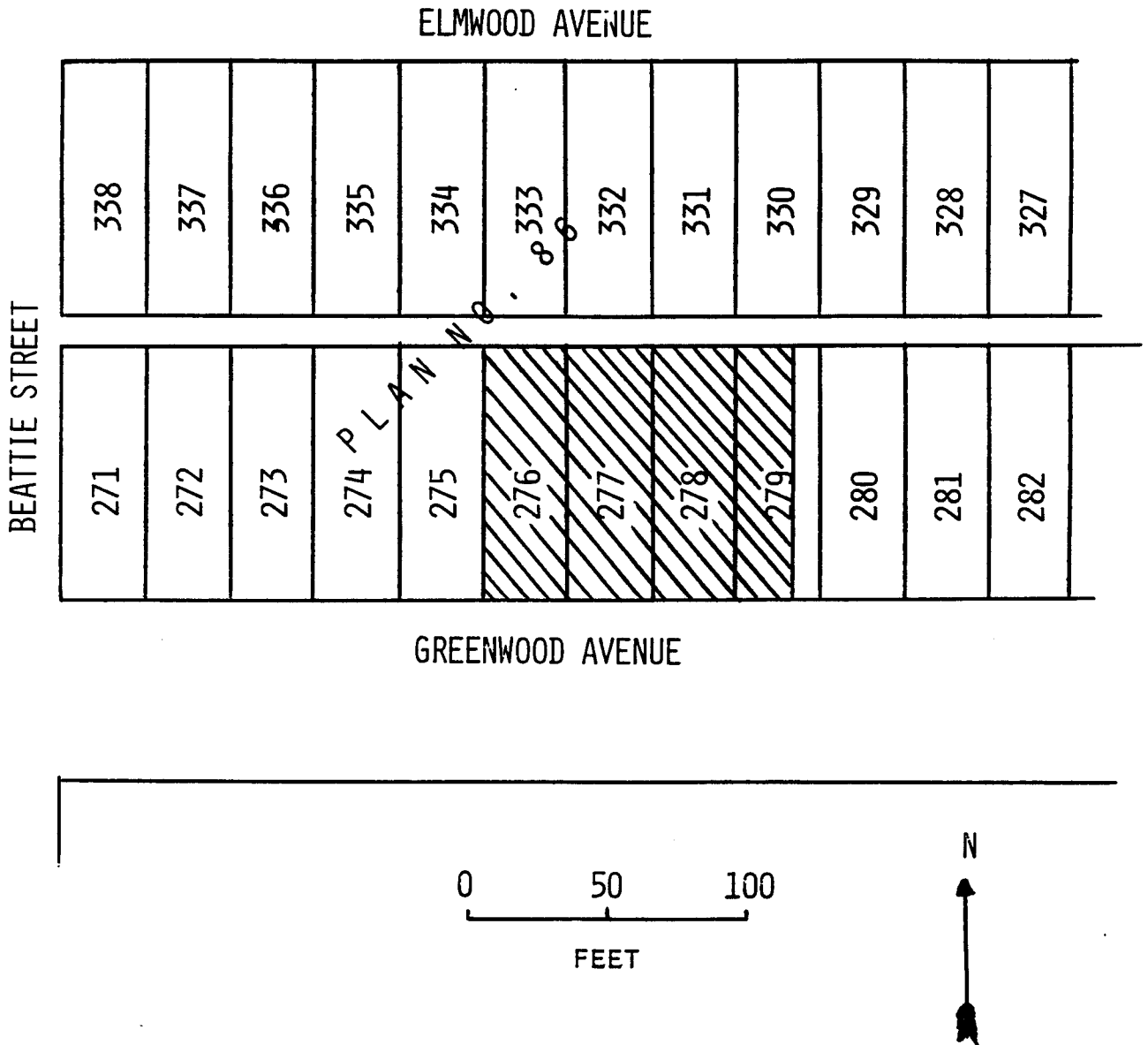
b) The regulations for this "Residential Multiple Third Density Special Zone No. 39 (RM 3 Sp.39)" are as follows:

- i). The minimum lot frontage shall be thirty-three and five-tenths (33.5) metres.
- ii) The minimum lot area shall be nine hundred and nineteen (919) square metres.
- iii) The minimum front yard setback shall be five and three-tenths (5.3) metres.
- iv) The minimum westerly side yard setback shall be thirteen (13) metres.
- v) The minimum easterly side yard setback shall be three and three-tenths (3.3) metres.

11.2.39.2 b) vi) The minimum rear yard setback shall be twelve and eight-tenths (12.8) metres.

11.2.39.3 The use of land or buildings in this "Residential Multiple Third Density Special Zone No. 39 (RM 3 Sp.39)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

SCHEDULE TO "RESIDENTIAL MULTIPLE THIRD DENSITY SPECIAL ZONE NO. 39 (RM3SP.39)"



11.2.40 **Residential Multiple Fourth Density Special
Zone No. 40 (RM 4 Sp.40)**

11.2.40.1 The property description of this "Residential Multiple Fourth Density Special Zone No. 40 (RM 4 Sp.40)" is Lots 662, 663 and 664, Plan 93, Lots 171 to 174, Plan 57 and Part 2, Plan 36R-7585 along Victoria Street East in the City of North Bay as shown on the attached Schedule and Schedule "B-51".

11.2.40.2 a) No person shall use land, or use, erect or construct any building or structure in this "Residential Multiple Fourth Density Special Zone No. 40 (RM 4 Sp.40)" except for the following uses:

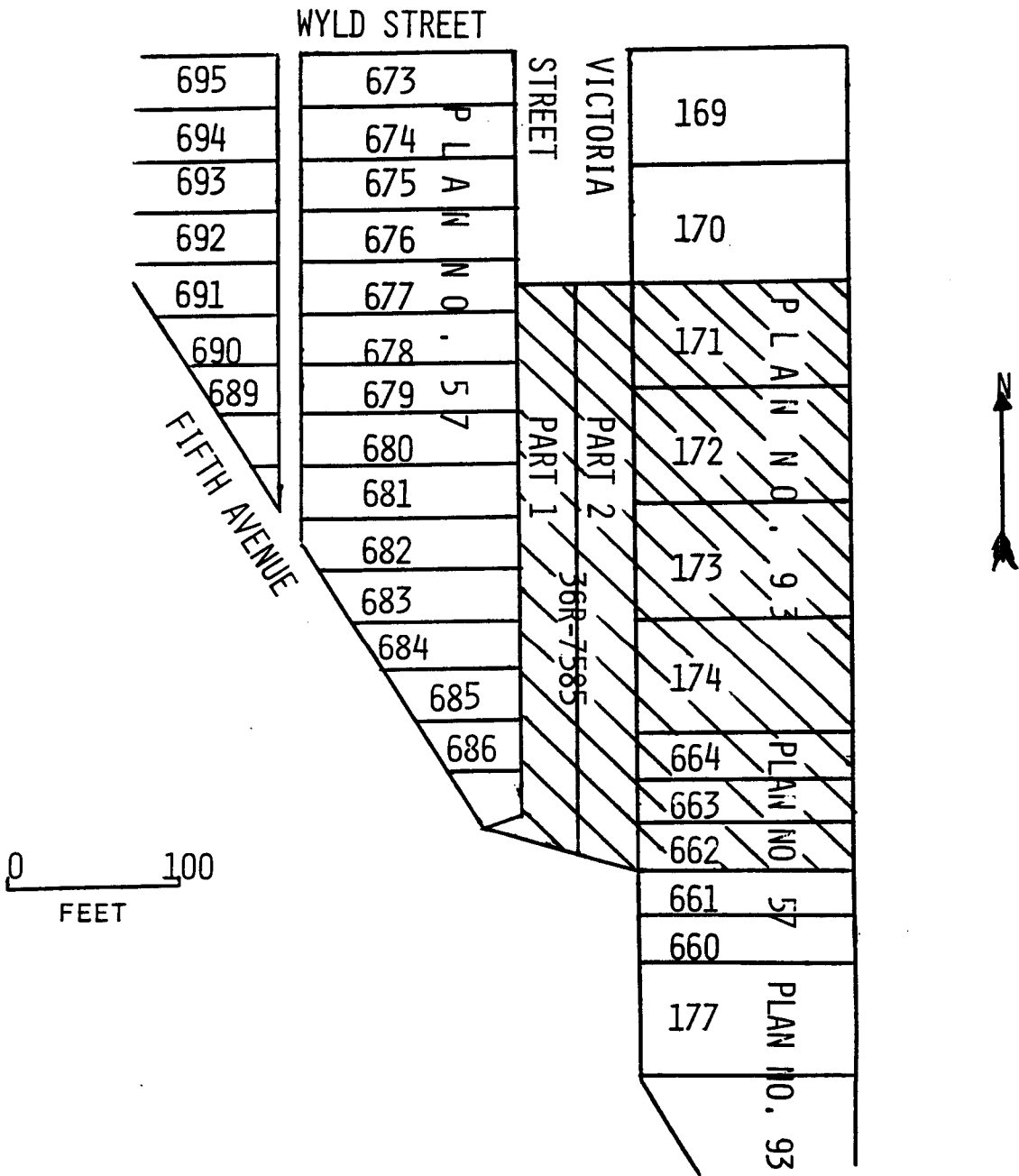
- a sixty-five (65) unit apartment building where accommodation is intended to be restricted to persons 65 years of age and over through a scheme under The Housing Development Act;
- accessory uses to the above.

b) The regulations for this "Residential Multiple Fourth Density Special Zone No. 40 (RM 4 Sp.40)" are as follows:

- i) The minimum lot frontage shall be twenty (20) metres.
- ii) The minimum lot area shall be six thousand two hundred (6200) square metres.
- iii) The minimum front yard setback shall be twenty-two (22) metres.
- iv) The minimum westerly side yard setback shall be eight (8) metres.
- v) The minimum easterly side yard setback shall be seven and six-tenths (7.6) metres.

- 11.2.40.2 b) vi) The minimum rear yard setback shall be fifteen (15) metres.
- 11.2.40.3 The use of land or buildings in this "Residential Multiple Fourth Density Special Zone No. 40 (RM 4 Sp.40)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

SCHEDULE TO "RESIDENTIAL MULTIPLE FOURTH DENSITY SPECIAL ZONE
NO. 40 (RM4SP.40)"



11.2.41 **Residential Multiple First Density Special
Zone No. 41 (RM 1 Sp.41)**

11.2.41.1 The property description of this "Residential Multiple First Density Special Zone No. 41 (RM 1 Sp.41)" is Lot 356, Plan M-18, along O'Brien Street in the City of North Bay as shown on the attached Schedule and Schedule "B-43".

11.2.41.2 a) No person shall use land, or use, erect or construct any building or structure in this "Residential Multiple First Density Special Zone No. 41 (RM 1 Sp. 41)", except for the following uses:

- a double duplex dwelling;
- parks and playgrounds;
- non-profit uses, and
- institutional uses.

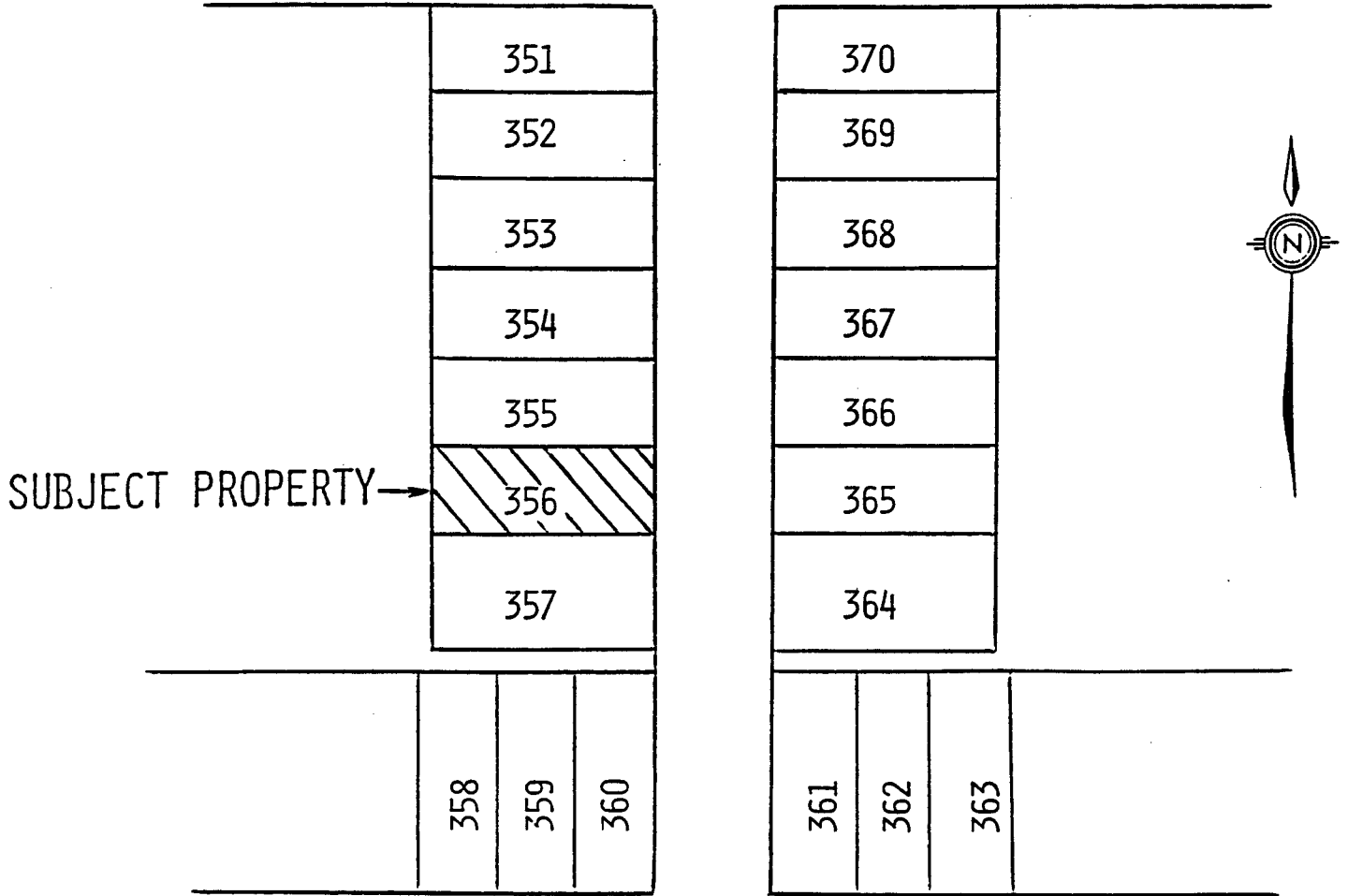
11.2.41.2 b) The regulations for this "Residential Multiple First Density Special Zone No. 41 (RM 1 Sp.41)" are as follows:

- i) The maximum lot coverage not to exceed thirty-five (35) percent of the total lot area.
- ii) The minimum lot frontage shall be fifteen and two-tenths (15.2) metres.
- iii) The minimum front yard setback shall be four and three-tenths (4.3) metres.
- iv) The minimum northerly side yard setback shall be zero and two-tenths (0.2) metres.
- v) The minimum southerly side yard setback shall be four and zero-tenths (4.0) metres.
- vi) The minimum rear yard setback shall be fifteen and zero-tenths (15.0) metres.

11.2.41.3 The use of land or buildings in this
"Residential Multiple First Density
Special Zone No. 41 (RM 1 Sp.41)"
shall conform to all other regulations
of this By-law, except as hereby
expressly varied.

SCHEDULE TO

"RESIDENTIAL MULTIPLE FIRST DENSITY SPECIAL ZONE NO. 41 (RM.1 SP.41)"



0 50 100 150
FEET

11.2.42 **Residential Multiple First Density Special
Zone No. 42 (RM 1 Sp.42)**

11.2.42.1 The property description of this "Residential Multiple First Density Special Zone No. 42 (RM 1 Sp.42)" is Part of Lots 170, 171 and 172, Plan M-32 along Front Street in the City of North Bay as shown on the attached Schedule and Schedule "B-42".

11.2.42.2 a) No person shall use land, or use, erect or construct any building or structure in this "Residential Multiple First Density Special Zone No. 42 (RM 1 Sp.42)", except for the following uses:

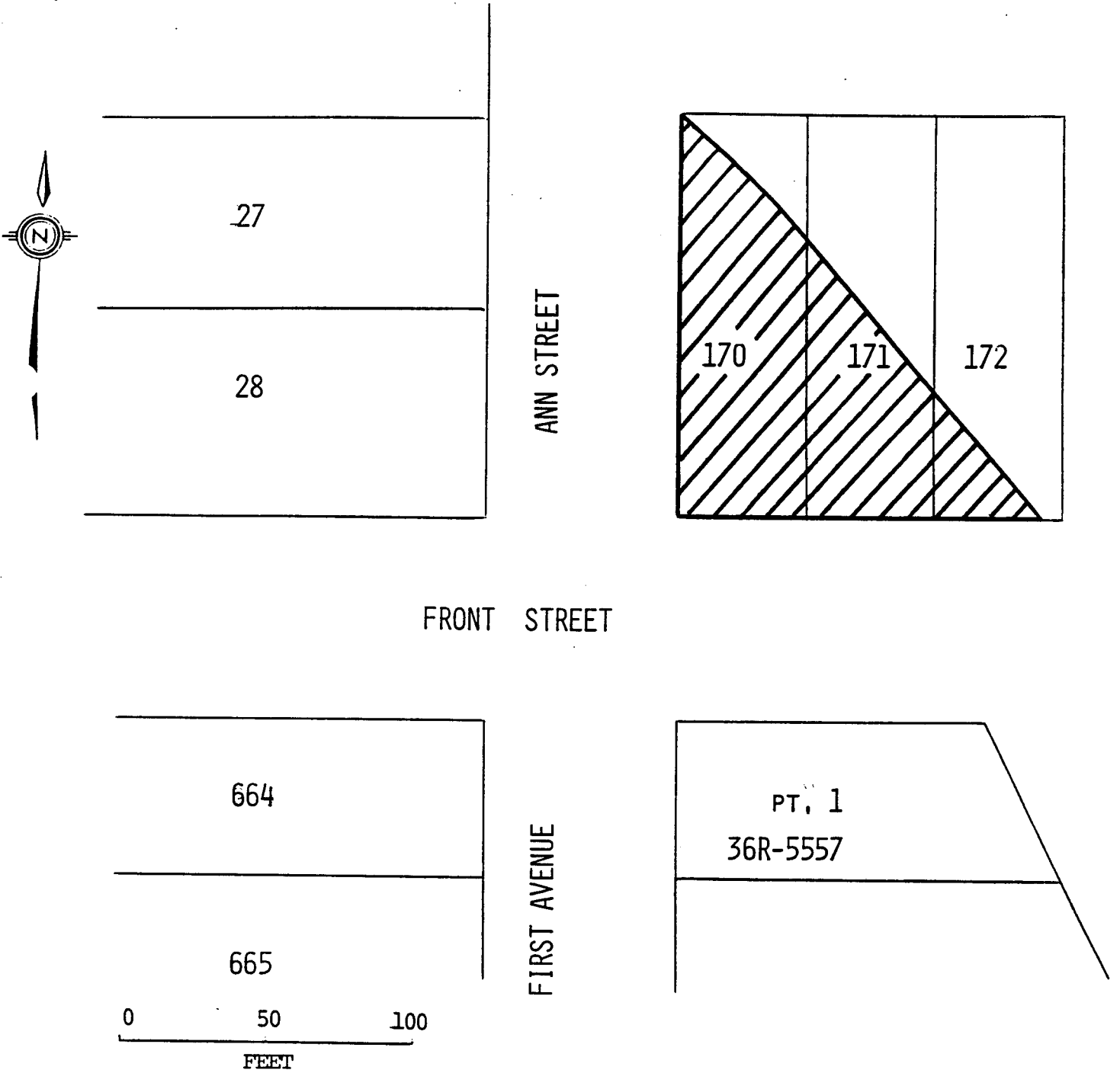
- double duplex dwelling;
- parks and playgrounds;
- non-profit uses, and
- institutional uses.

b) The regulations for this "Residential Multiple First Density Special Zone No. 42 (RM 1 Sp.42)" are as follows:

- i) The maximum lot coverage not to exceed thirty-five (35) percent of the total lot area.
- ii) The minimum lot frontage shall be thirty-eight and one-tenth (38.1) metres.
- iii) The minimum front yard setback shall be three and five-tenths (3.5) metres.
- iv) The minimum westerly side yard setback shall be nine and eight-tenths (9.8) metres.
- v) The minimum easterly side yard setback shall be five and four-tenths (5.4) metres.
- vi) The minimum rear yard setback shall be six and four-tenths (6.4) metres.

11.2.42.3 The use of land or buildings in this "Residential Multiple First Density Special Zone No. 42 (RM 1 Sp.42)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

SCHEDULE TO RESIDENTIAL MULTIPLE FIRST DENSITY SPECIAL ZONE NO.42 (RM.1 SP.42)



11.2.43 **Residential Multiple First Density Special
Zone No. 43 (RM 1 Sp.43)**

11.2.43.1 The property description of this "Residential Multiple First Density Special Zone No. 43 (RM 1 Sp.43)" is Part of Lots 595, 596 and 597, Plan M-165 along Chippewa Street in the City of North Bay as shown on the attached Schedule and Schedule "B-43".

11.2.43.2 a) No person shall use land, or use, erect or construct any building or structure in this "Residential Multiple First Density Special Zone No. 43 (RM 1 Sp.43)", except for the following uses:

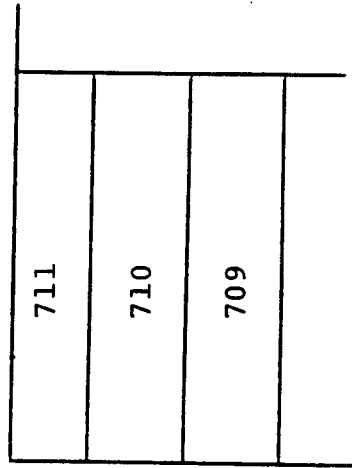
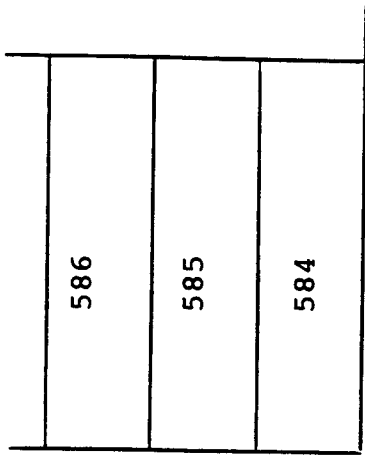
- double duplex dwelling;
- parks and playgrounds;
- non-profit uses, and
- institutional uses.

11.2.43.2 b) The regulations for this "Residential Multiple First Density Special Zone No. 43 (RM 1 Sp.43)" are as follows:

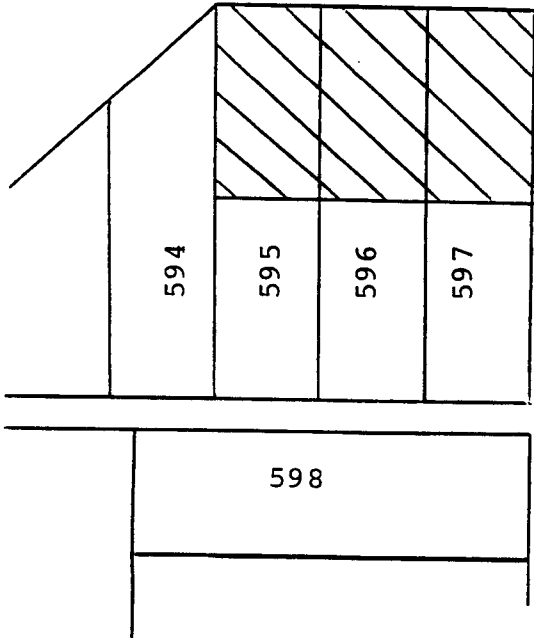
- i) The maximum lot coverage not to exceed thirty-five (35) percent of the total lot area.
- ii) The minimum lot frontage shall be nineteen (19) metres.
- iii) The minimum front yard setback shall be three and three-tenths (3.3) metres.
- iv) The minimum northerly side yard setback shall be five and seven-tenths (5.7) metres.
- v) The minimum southerly side yard setback shall be three and six-tenths (3.6) metres.
- vi) The minimum rear yard setback shall be twelve and one-tenth (12.1) metres.

11.2.43.3 The use of land or buildings in this "Residential Multiple First Density Special Zone No. 43 (RM 1 Sp.43)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

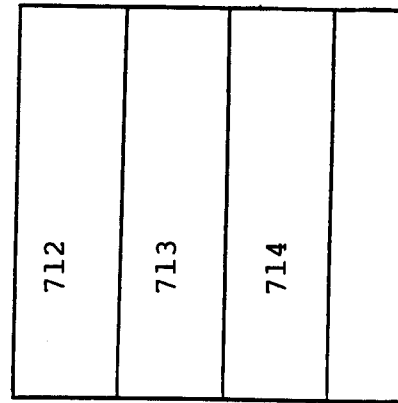
SCHEDULE TO RESIDENTIAL MULTIPLE FIRST DENSITY SPECIAL
ZONE NO. 43 (RM.1 Sp.43)



HIGH STREET



CHIPPEWA STREET



11.2.44 **Residential Multiple First Density Special
Zone No. 44 (RM 1 Sp.44)**

11.2.44.1 The property description of this "Residential Multiple First Density Special Zone No. 44 (RM 1 Sp.44)" is Lot 461 and Part of Lot 462, Plan 165 along High Street in the City of North Bay as shown on the attached Schedule and Schedule "B-43".

11.2.44.2 a) No person shall use land, or use, erect or construct any building or structure in this "Residential Multiple First Density Special Zone No. 44 (RM 1 Sp.44)", except for the following uses:

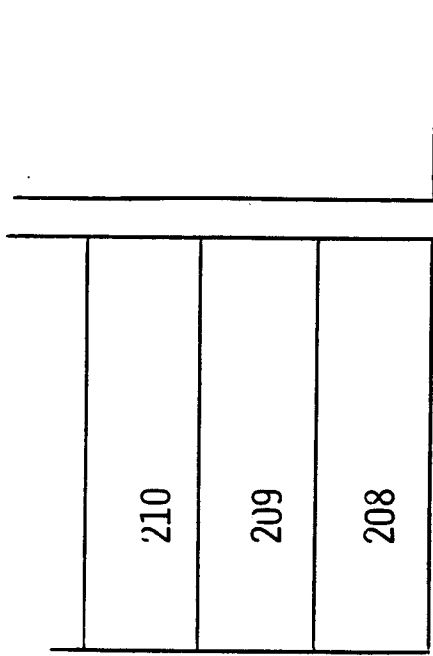
- triplex dwelling.

11.2.44.2 b) The regulations for this "Residential Multiple First Density Special Zone No. 44 (RM 1 Sp.44)" are as follows:

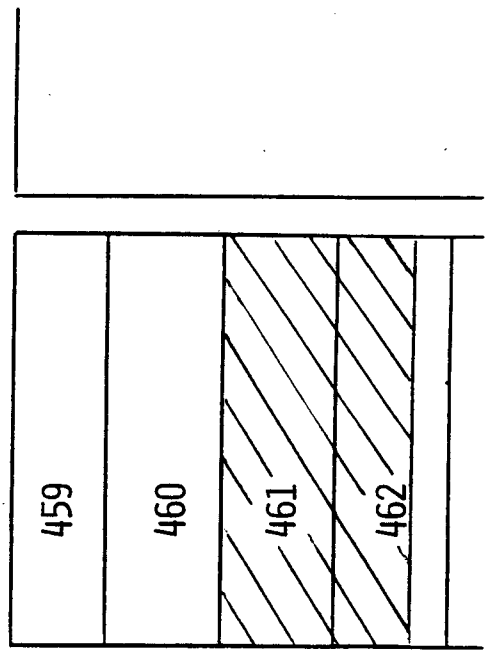
- i) The maximum lot coverage not to exceed thirty-five (35) percent of the total lot area.
- ii) The minimum lot frontage shall be fifteen and two-tenths (15.2) metres.
- iii) The minimum front yard setback shall be five and two-tenths (5.2) metres.
- iv) The minimum westerly side yard setback shall be one and six-tenths (1.6) metres.
- v) The minimum easterly side yard setback shall be six and one-tenth (6.1) metres.
- vi) The minimum rear yard setback shall be eleven and eight-tenths (11.8) metres.

11.2.44.3 The use of land or buildings in this "Residential Multiple First Density Special Zone No. 44 (RM 1 Sp.44)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

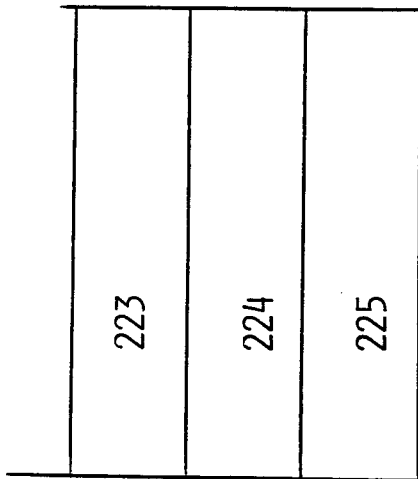
SCHEDULE TO "RESIDENTIAL MULTIPLE FIRST DENSITY SPECIAL ZONE NO. 44
(RM.1SP.44)"



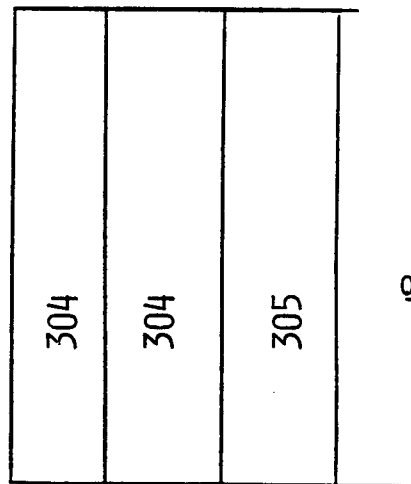
S T O N E S



H I G H S T R E E T



S T R E E T



11.2.45 **Residential Multiple Fourth Density Special
Zone No. 45 (RM 4 Sp.45)**

- 11.2.45.1 The property description of this "Residential Multiple Fourth Density Special Zone No. 45 (RM 4 Sp.45)" is Part of Lots 664-665 and Lots 666-667, Plan 21 along First Avenue West and Front Street in the City of North Bay as shown on the attached Schedule and Schedule "B-42".
- 11.2.45.2 a) No person shall use land, or use, erect or construct any building or structure in this "Residential Multiple Fourth Density Special Zone No. 45 (RM 4 Sp.45)", except for the following uses:
- 46-unit residential apartment dwelling.
- 11.2.45.2 b) The regulations for this "Residential Multiple Fourth Density Special Zone No. 45 (RM 4 Sp.45)" are as follows:
- i) The maximum lot coverage not to exceed sixty-two (62) percent of the total lot area.
 - ii) The minimum lot frontage shall be thirty-two and three-tenths (32.3) metres.
 - iii) The minimum front yard setback shall be nil.
 - iv) The minimum easterly side yard setback shall be nil.
 - v) The minimum westerly side yard setback shall be four-tenths (0.4) metres.
 - vi) The minimum rear yard setback shall be sixteen and six-tenths (16.6) metres.

11.2.45.3 The use of land or buildings in this "Residential Multiple Fourth Density Special Zone No. 45 (RM 4 Sp.45)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

SCHEDULE TO RESIDENTIAL MULTIPLE FOURTH DENSITY SPECIAL
ZONE NO. 45 (RM.4 Sp.45)

FRONT STREET

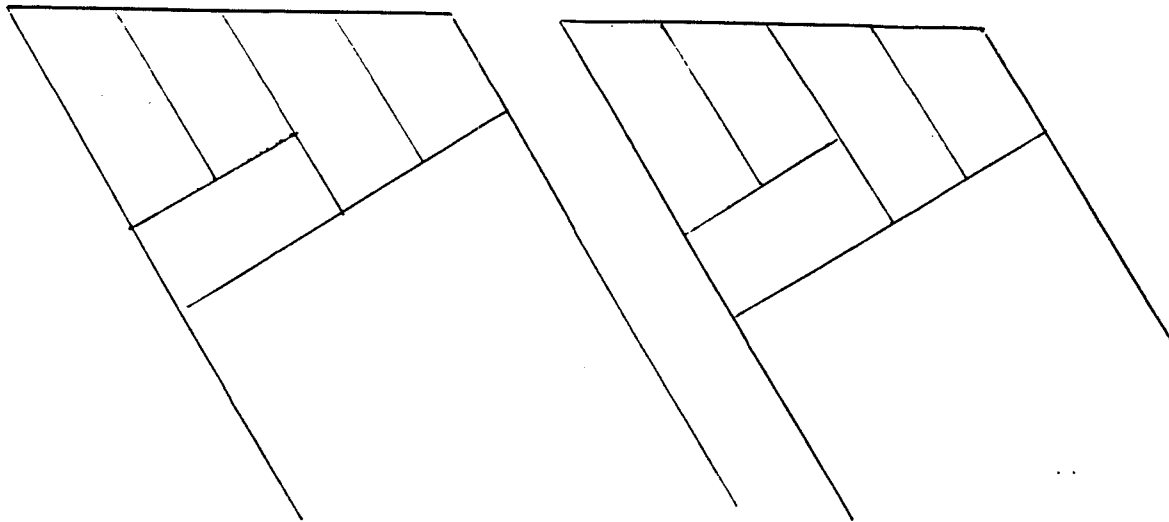
663	664
662	665
661	666
660	667
659	668
658	669
657	670
656	671
655	672

FIRST AVENUE

681	
680	
679	
678	
677	
676	
675	
674	
673	

SECOND AVENUE

COMMERCIAL STREET



0 66
Feet

11.3.46 **Residential Third Density Special Zone
No. 46 (R.3 Sp.46)**

11.3.46.1 The property description of this "Residential Third Density Special Zone No. 46 (R.3 Sp.46)" is: Parts 27-31 inclusive, Plan 36R-3583 along Lindsay Street in the City of North Bay as shown on the attached Schedule and Schedule "B-45".

11.3.46.2 a) No person shall use land, or use, erect or construct any building or structure in this "Residential Third Density Special Zone No. 46 (R.3 Sp.46)", except for the following uses:

- single detached dwelling, or
- semi-detached dwelling.

11.3.46.2 b) The regulations for this "Residential Third Density Special Zone No. 46 (R.3 Sp.46)" are as follows:

i) The minimum lot frontage for a single detached dwelling shall be thirteen and seven-tenths (13.7) metres.

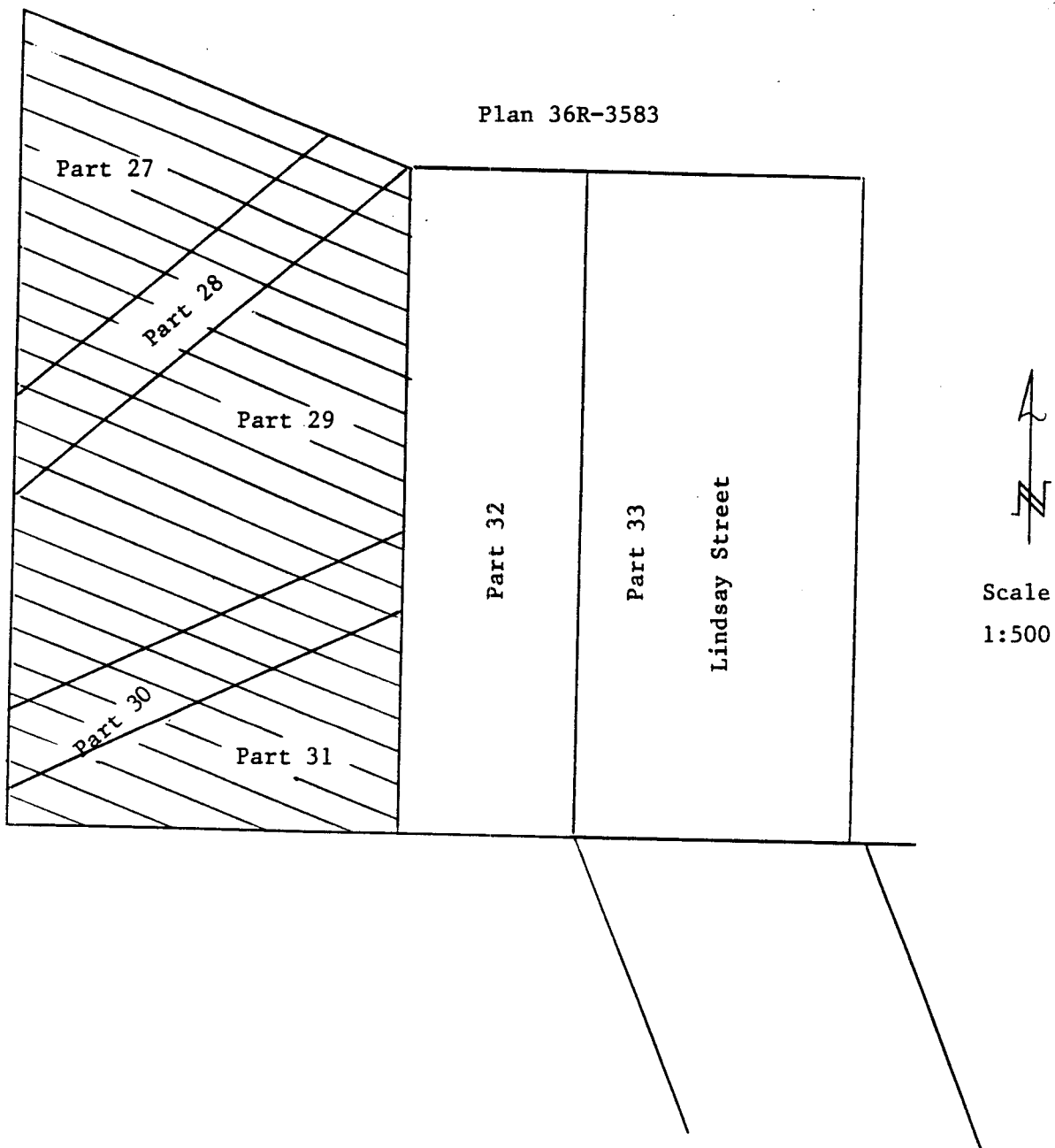
The minimum lot frontage for a semi-detached dwelling shall be eighteen and three-tenths (18.3) metres.

ii) The minimum lot area for a single detached dwelling shall be three hundred and ninety-seven and one-tenth (397.1) metres.

The minimum lot area for a semi-detached dwelling shall be five hundred and twenty-nine and five-tenths (529.5) metres.

11.3.46.3 The use of land or buildings in this "Residential Third Density Special Zone No. 46 (R.3 Sp.46)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

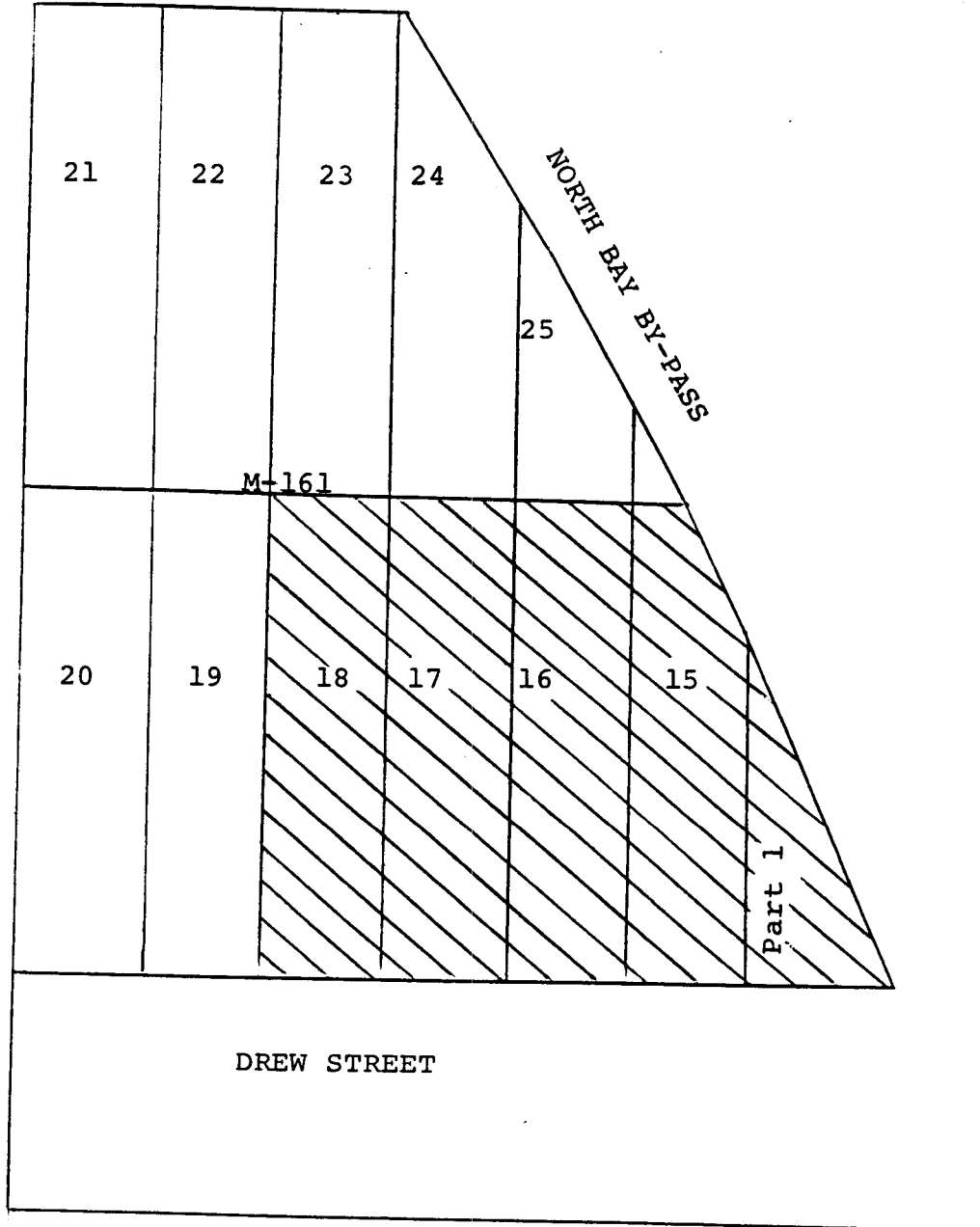
SCHEDULE TO "RESIDENTIAL THIRD DENSITY SPECIAL ZONE
NO. 46 (R.3 SP.46)"



11.2.47 **Residential Multiple First Density Special
Zone No. 47 (RM 1 Sp.47)**

- 11.2.47.1 The property description of this "Residential Multiple First Density Special Zone No. 47 (RM 1 Sp.47)" is Lots 15-18, Plan M-161 and Part 1, Plan 36R-8352 along Drew Street in the City of North Bay as shown on the attached Schedule and Schedule "B-44".
- 11.2.47.2 No person shall use land, or use, erect or construct any building or structure in this "Residential Multiple First Density Special Zone No. 47 (RM 1 Sp.47)", except for the following uses:
- a triplex dwelling, and
 - a double duplex dwelling.
- 11.2.47.3 The use of land or buildings in this "Residential Multiple First Density Special Zone No. 47 (RM 1 Sp.47)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

SCHEDULE TO "RESIDENTIAL MULTIPLE FIRST DENSITY SPECIAL ZONE NO. 47 (RM.1 Sp.47)"



0 50
Feet

11.2.48 **Residential Multiple Third Density Special
Zone No. 48 (RM 3 Sp.48)**

11.2.48.1 The property description of this "Residential Multiple Third Density Special Zone No. 48 (RM 3 Sp.48) is Part Lot 322 and Part Lot 323, Plan No. 21 along Worthington Street East in the City of North Bay as shown on the attached Schedule and Schedule "B-51".

11.2.48.1 a) No person shall use land, or use, erect or construct any building or structure in this "Residential Multiple Third Density Special Zone No. 48 (RM 3 Sp.48)", except for the following uses:

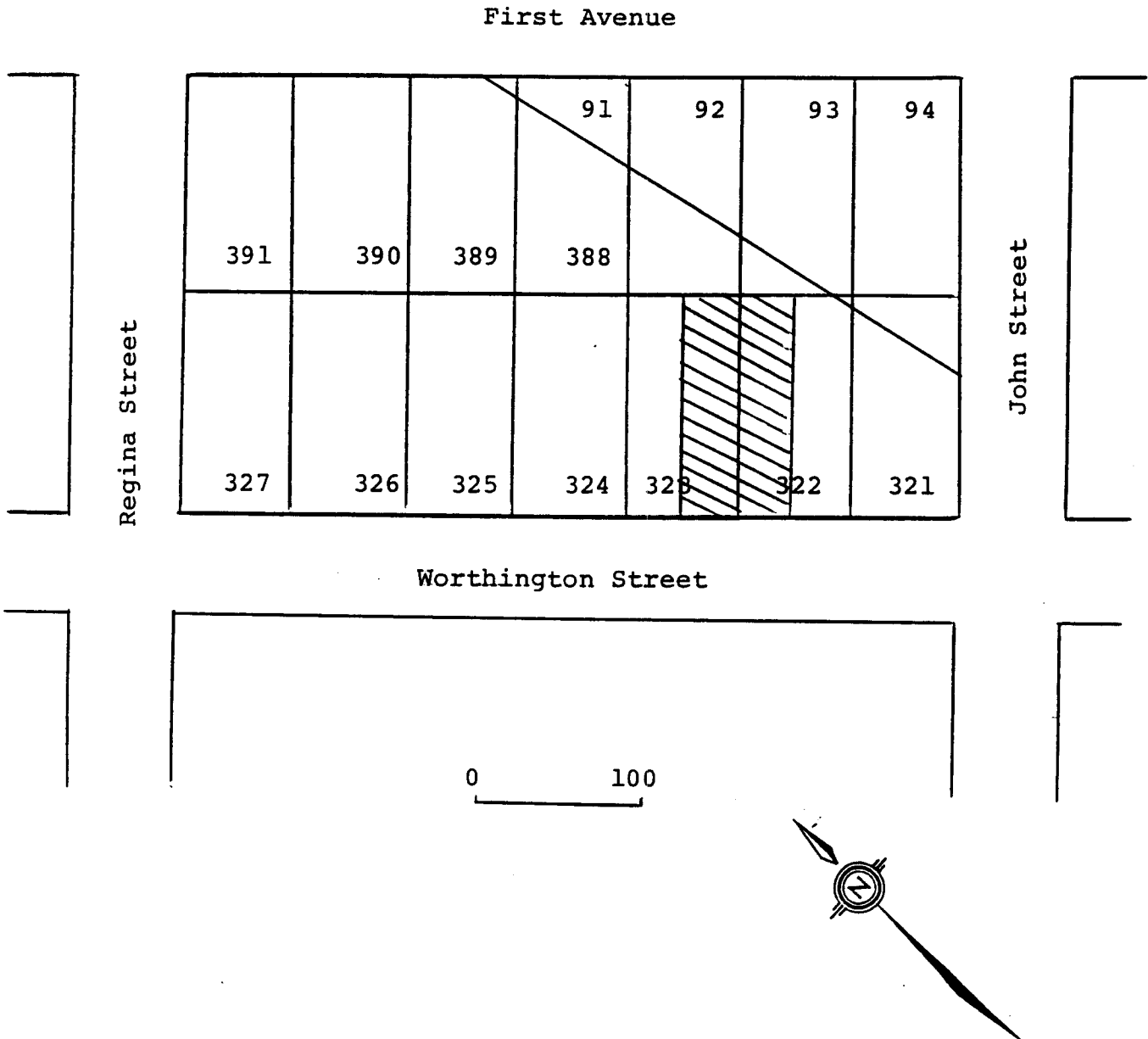
- a six-unit apartment dwelling.

11.2.48.2 b) The regulations for this "Residential Multiple Third Density Special Zone No. 48 (RM 3 Sp.48)" are as follows:

- i) The maximum lot coverage not to exceed twenty-five (25) percent of the total lot area.
- ii) The minimum lot frontage shall be twenty and one-tenth (20.1) metres.
- iii) The minimum front yard setback shall be six and zero-tenths (6.0) metres.
- iv) The minimum southerly side yard setback shall be one and eight-tenths (1.8) metres.
- v) The minimum northerly side yard setback shall be seven and three-tenths (7.3) metres.
- vi) The minimum rear yard setback shall be eighteen and five-tenths (18.5) metres.

11.2.48.3 The use of land or buildings in this "Residential Multiple Third Density Special Zone No. 48 (RM 3 Sp.48)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

SCHEDULE TO "RESIDENTIAL MULTIPLE THIRD DENSITY SPECIAL ZONE
NO. 48 (RM.3 SP.48)"

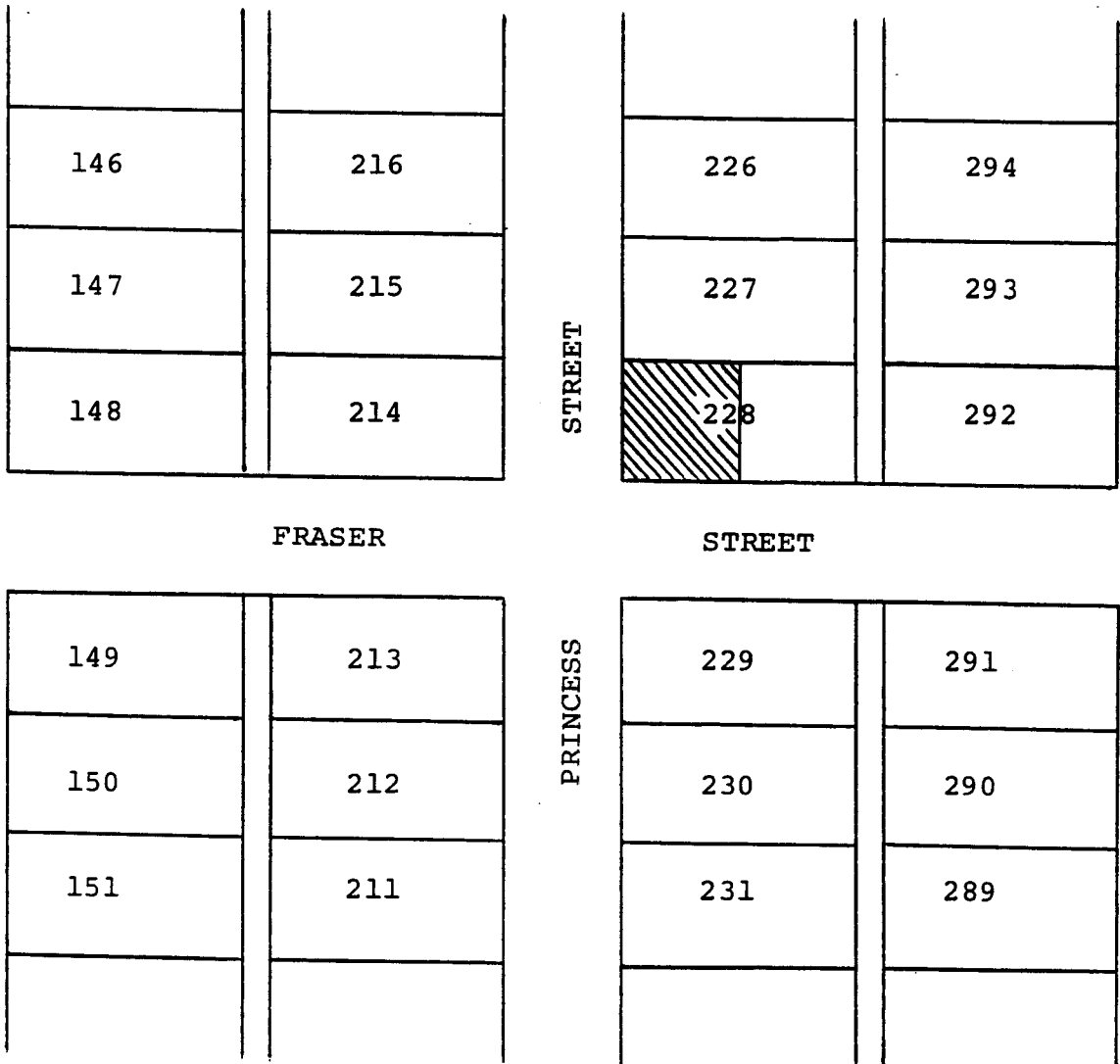


11.2.49 **Residential Third Density Special Zone
No. 49 (R.3 Sp.49)**

- 11.2.49.1 The property description of this "Residential Third Density Special Zone No. 49 (R.3 Sp.49)" is Part of Lot 228, Plan 57 along Fraser Street in the City of North Bay as shown on the attached Schedule and Schedule "B-51".
- 11.2.49.2 a) No person shall use land, or use, erect or construct any building or structure in this "Residential Third Density Special Zone No. 49 (R.3 Sp.49)", except for the following uses:
- duplex dwelling unit.
- 11.2.49.2 b) The regulations for this "Residential Third Density Special Zone No. 49 (R.3 Sp.49)" are as follows:
- i) The maximum lot coverage not to exceed thirty-five (35) percent of the total lot area.
 - ii) The minimum lot frontage shall be nineteen and zero-tenths (19.0) metres.
 - iii) The minimum front yard setback shall be five and four-tenths (5.4) metres.
 - iv) The minimum easterly side yard setback shall be one and five-tenths (1.5) metres.
 - v) The minimum westerly side yard setback shall be five and six-tenths (5.6) metres.
 - vi) The minimum rear yard setback shall be six and seven-tenths (6.7) metres.

11.2.49.3 The use of land or buildings in this "Residential Third Density Special Zone No. 49 (R.3 Sp.49)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

SCHEDULE TO RESIDENTIAL THIRD DENSITY SPECIAL ZONE NO. 49 (R.3 Sp.49)



Plan No. 57

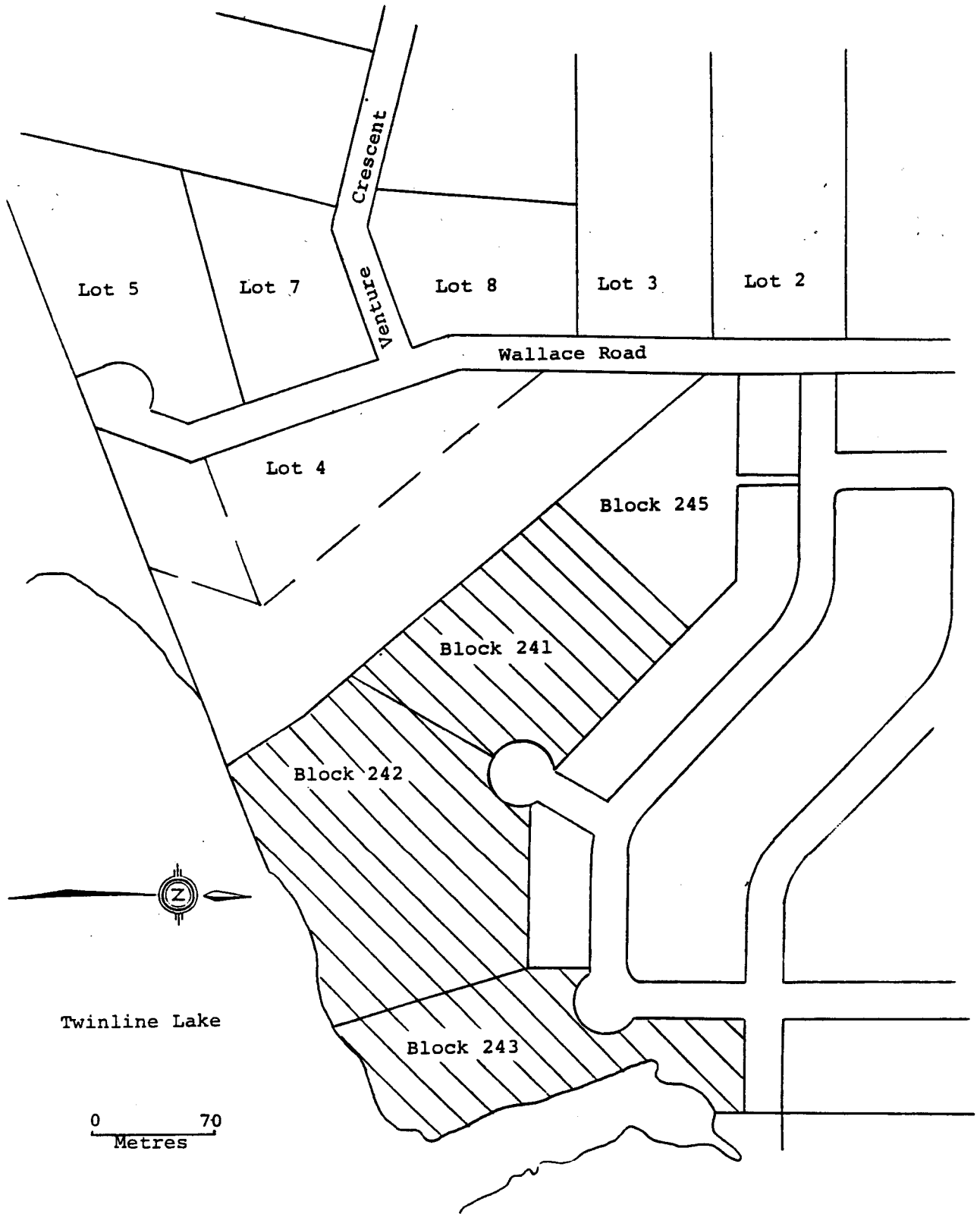
0 100
Feet

11.2.50 **Residential Multiple Second Density Special
Zone No. 50 (RM 2 Sp.50)**

- 11.2.50.1 The property description of this "Residential Multiple Second Density Special Zone No. 50 (RM.2 Sp.50)" is: Blocks 241, 242, 243, Draft Plan of Subdivision, Northland Engineering Limited Drawing Number 1968-D9 in the City of North Bay as shown on the attached Schedule "C" and Schedule "B-53".
- 11.2.50.2 a) No person shall use land, or use, erect or construct any building or structure in this "Residential Multiple Second Density Special Zone No. 50 (RM 2 Sp.50)", except for the following uses:
- 167 townhouse units;
 - accessory uses to the above.
- 11.2.50.2 b) The regulations for this "Residential Multiple Second Density Special Zone No. 50 (RM 2 Sp.50)" are as follows:
- i) Where a rear lot line abuts an industrial zone, the setback from the said rear lot line shall be a minimum of twelve and two-tenths (12.2) metres and shall include a 6.0 metre vegetative buffer of undisturbed natural flora immediately adjacent to the rear lot line.
 - ii) Where a side or rear lot line abuts a water body or watercourse, said side or rear setback shall be measured from the 203.36 C.G.D. contour elevation. Further, said side or rear setback shall be a minimum of thirteen and seven-tenths (13.7) metres, and shall include a 6.0 metre vegetative buffer of undisturbed natural flora immediately adjacent to the 203.36 C.G.D. elevation.

11.2.50.3 The use of land or buildings in this "Residential Multiple Second Density Special Zone No. 50 (RM 2 Sp.50)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

SCHEDULE TO "RESIDENTIAL MULTIPLE SECOND DENSITY
SPECIAL ZONE NO. 50 (R.M. 2 SP. 50)"



11.2.51 **Residential Multiple Third Density Special
Zone No. 51 (RM 3 Sp.51)**

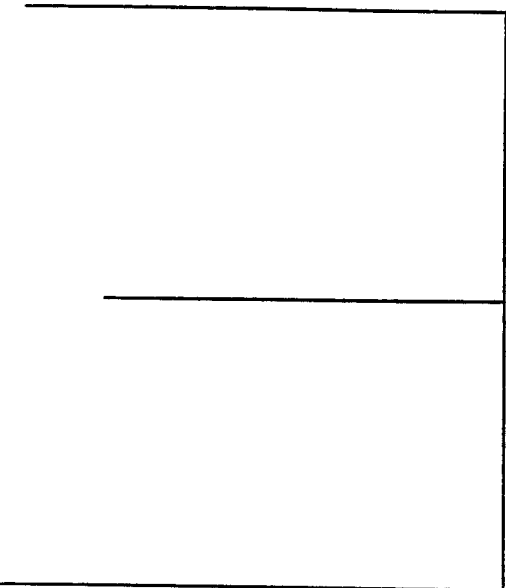
- 11.2.51.1 The property description of this "Residential Multiple Third Density Special Zone No. 51 (RM 3 Sp.51)" is Lots 30, 31 and 32, Plan 92 along Charles Street in the City of North Bay as shown on the attached Schedule and Schedule "B-60".
- 11.2.51.2 a) No person shall use land, or use, erect or construct any building or structure in this "Residential Multiple Third Density Special Zone No. 51 (RM 3 Sp.51)", except for the following uses:
- a ten (10) dwelling unit apartment building.
- 11.2.51.2 b) The regulations for this "Residential Multiple Third Density Special Zone No. 51 (RM 3 Sp.51)" are as follows:
- i) The maximum lot coverage not to exceed forty-five (45) percent of the total lot area.
 - ii) The minimum lot frontage shall be twenty-three and two-tenths (23.2) metres.
 - iii) The minimum front yard setback shall be eleven and zero-tenths (11.0) metres.
 - iv) The minimum westerly side yard setback shall be zero and five-tenths (0.5) metres.
 - v) The minimum easterly side yard setback shall be one and zero-tenths (1.0) metres.
 - vi) The minimum rear yard setback shall be three and zero-tenths (3.0) metres.

11.2.51.3 The use of land or buildings in this "Residential Multiple Third Density Special Zone No. 51 (RM 3 Sp.51)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

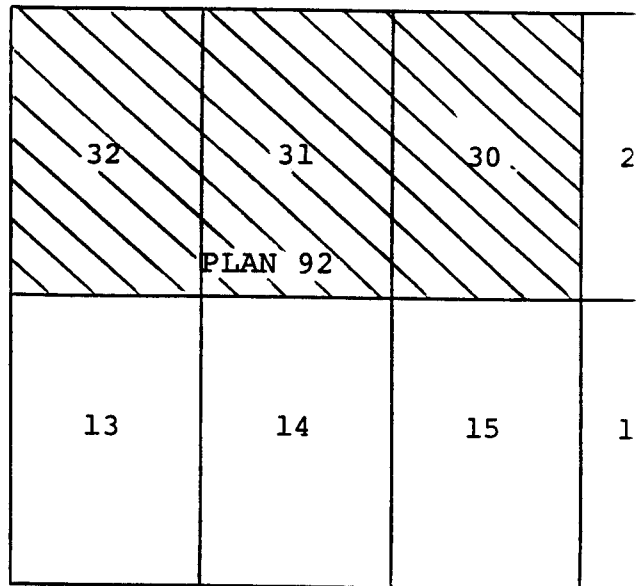
SCHEDULE TO "RESIDENTIAL MULTIPLE THIRD DENSITY SPECIAL
ZONE NO. 51 (R.M.3 SP. 51)"



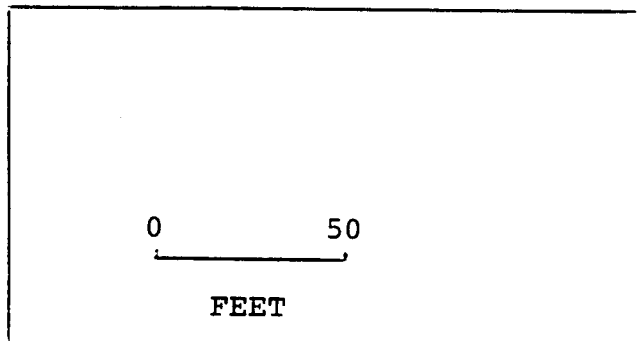
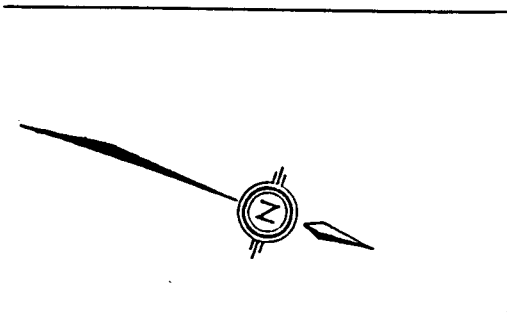
NELSON AVENUE



CHARLES STREET



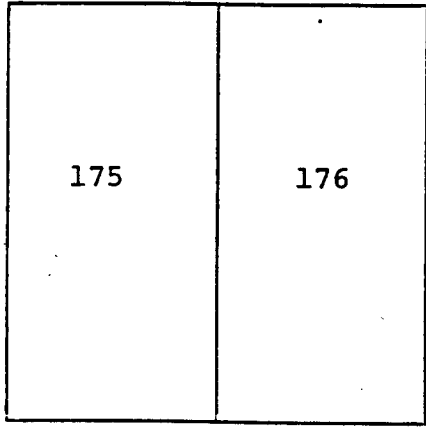
LAKESHORE DRIVE



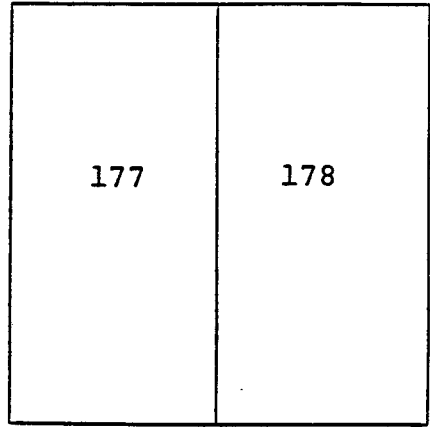
11.2.52 **Residential Third Density Special Zone
No. 52 (R.3 Sp.52)**

- 11.2.52.1 The property description of this "Residential Third Density Special Zone No. 52 (R.3 Sp.52)" is Lot 159, Plan M-153 along Cartier Street in the City of North Bay as shown on the attached Schedule and Schedule "B-32".
- 11.2.52.2 a) No person shall use land, or use, erect or construct any building or structure in this "Residential Third Density Special Zone No. 52 (R.3 Sp.52)", except for the following uses:
- a semi-detached dwelling.
- 11.2.52.2 b) The regulations for this "Residential Third Density Special Zone No. 52 (R.3 Sp.52)" are as follows:
- i) The maximum lot coverage not to exceed thirty (30) percent of the total lot area.
 - ii) The minimum lot frontage shall be twenty and one-tenth (20.1) metres.
 - iii) The minimum front yard setback shall be seven and six-tenths (7.6) metres.
 - iv) The minimum easterly side yard setback shall be three and zero-tenths (3.0) metres.
 - v) The minimum westerly side yard setback shall be one and eight-tenths (1.8) metres.
 - vi) The minimum rear yard setback shall be fifteen and eight-tenths (15.8) metres.
- 11.2.52.3 The use of land or buildings in this "Residential Third Density Special Zone No. 52 (R.3 Sp.52)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

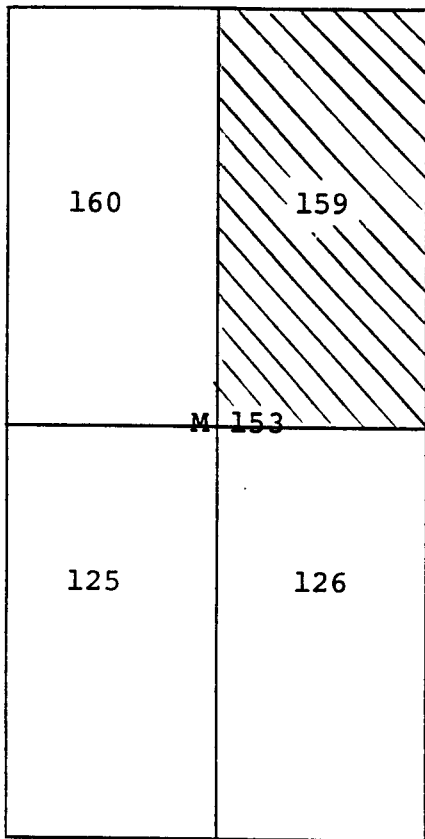
SCHEDULE TO RESIDENTIAL THIRD DENSITY SPECIAL
ZONE NO. 52 (R.3 Sp.52)



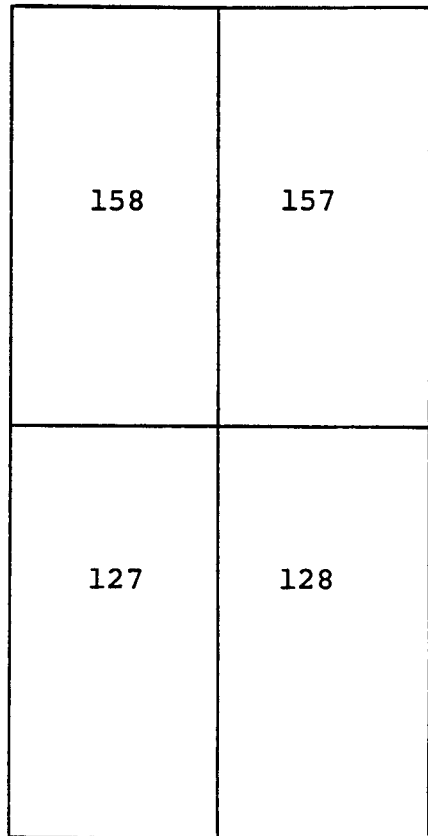
CARTIER



STREET



CHAMPLAIN STREET



11.2.54 **Residential Multiple Fourth Density Special
Zone No. 54 (RM 4 Sp.54)**

- 11.2.54.1 The property description of this "Residential Multiple Fourth Density Special Zone No. 54 (RM 4 Sp.54)" is Lots 1, 2, 3, 178, 179 and 180, Plan M-211 along Marshall Avenue West in the City of North Bay as shown on the attached Schedule and Schedule "B-70".
- 11.2.54.2 a) No person shall use land, or use, erect or construct any building or structure in this "Residential Multiple Fourth Density Special Zone No. 54 (RM 4 So, .54)" except for the following uses:
- a twenty-unit apartment dwelling.
- 11.2.54.2 b) The regulations for this "Residential Multiple Fourth Density Special Zone No. 54 (RM 4 Sp.54)" are as follows:
- i) The maximum lot coverage not to exceed thirty (30) percent of the total lot area.
 - ii) The minimum lot frontage shall be thirty and seven-tenths (30.7) metres.
 - iii) The minimum front yard setback shall be fifteen and zero-tenths (15.0) metres.
 - iv) The minimum northerly side yard setback shall be three and six-tenths (3.6) metres.
 - v) The minimum southerly side yard setback shall be nine and zero-tenths (9.0) metres.
 - vi) The minimum rear yard setback shall be twenty-four and zero-tenths (24.0) metres.

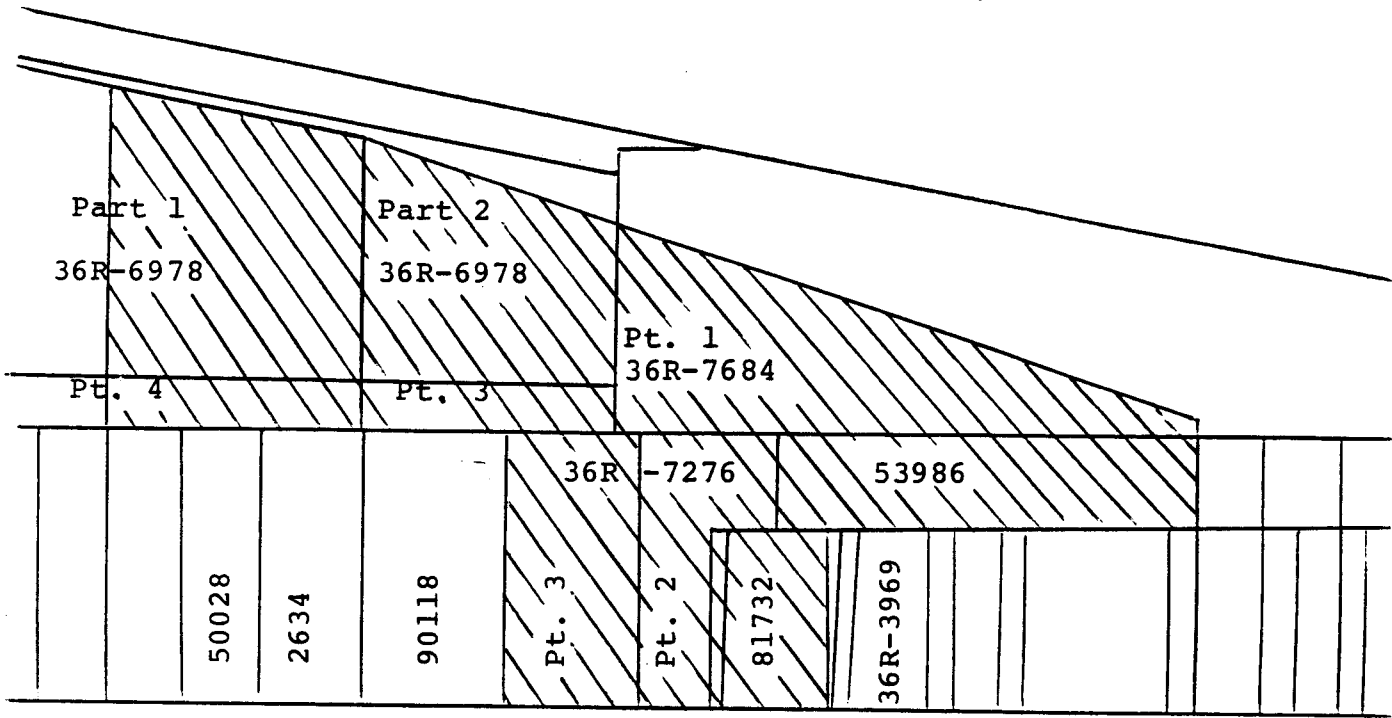
11.2.54.3 The use of land or buildings in this "Residential Multiple Fourth Density Special No. 54 (RM 4 Sp.54)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

11.2.56 **Residential Multiple Second Density Special
Zone No. 56 (RM 2 Sp.56)**

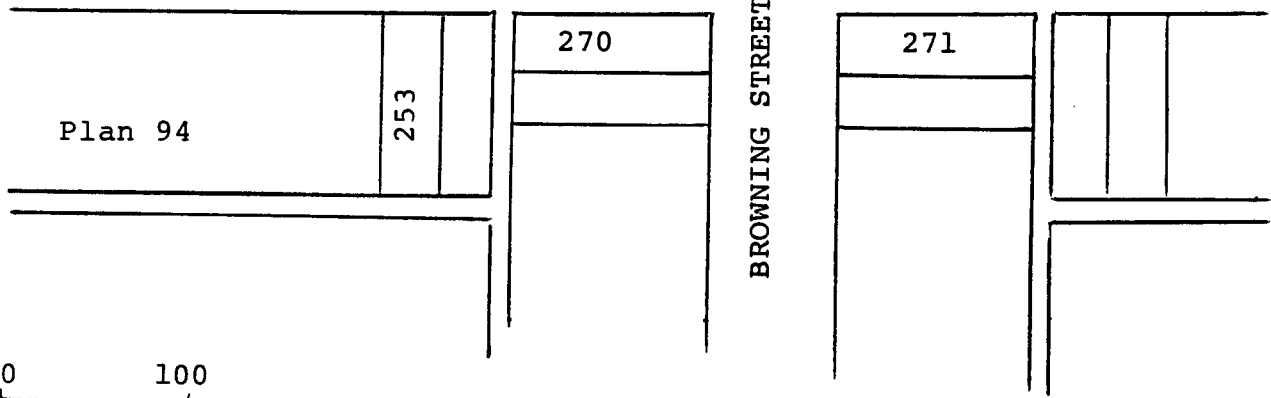
- 11.2.56.1 The property description of this "Residential Multiple Second Density Special Zone No. 56 (RM 2 Sp.56)" is Part of Parts 1 and 4 and Parts 2 and 3, Plan 36R-6978, Parts 1, 2 and 3, Plan 36R-7276, Part 1, Plan 36R-7684, Instrument Number 122637 and Instrument Number 123263 along Oakwood Avenue in the City of North Bay as shown on the attached Schedule and Schedule "B-42".
- 11.2.56.2 a) No person shall use land, or use, erect or construct any building or structure in this "Residential Multiple Second Density Special Zone No. 56 (RM 2 Sp.56)", except for the following uses:
- thirty-five (35) rowhouse dwelling units.
- 11.2.56.2 b) The regulations for this "Residential Multiple Second Density Special Zone No. 56 (RM 2 Sp.56)" are as follows:
- i) The minimum rear yard setback shall be thirteen and seven-tenths (13.7) metres.
- 11.2.56.3 The use of land or buildings in this "Residential Multiple Second Density Special Zone No. 56 (RM 2 Sp.56)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

SCHEDULE TO "RESIDENTIAL MULTIPLE SECOND DENSITY
SPECIAL ZONE NO. 56 (RM 2 SP. 56)"

Highway No. 17



OAKWOOD AVENUE



0 100
Feet

11.2.57 **Residential Multiple First Density Special
Zone No. 57 (RM 1 Sp.57)**

11.2.57.1 The property description of this "Residential Multiple First Density Special Zone No. 57 (RM 1 Sp.57)" is Part of Lot 88 and Part Lot 87, Plan M-195 along Lakeshore Drive in the City of North Bay as shown on the attached Schedule and Schedule "B-70".

11.2.57.2 a) No person shall use land, or use, erect or construct any building or structure in this "Residential Multiple First Density Special Zone No. 57 (RM 1 Sp.57)", except for the following uses:

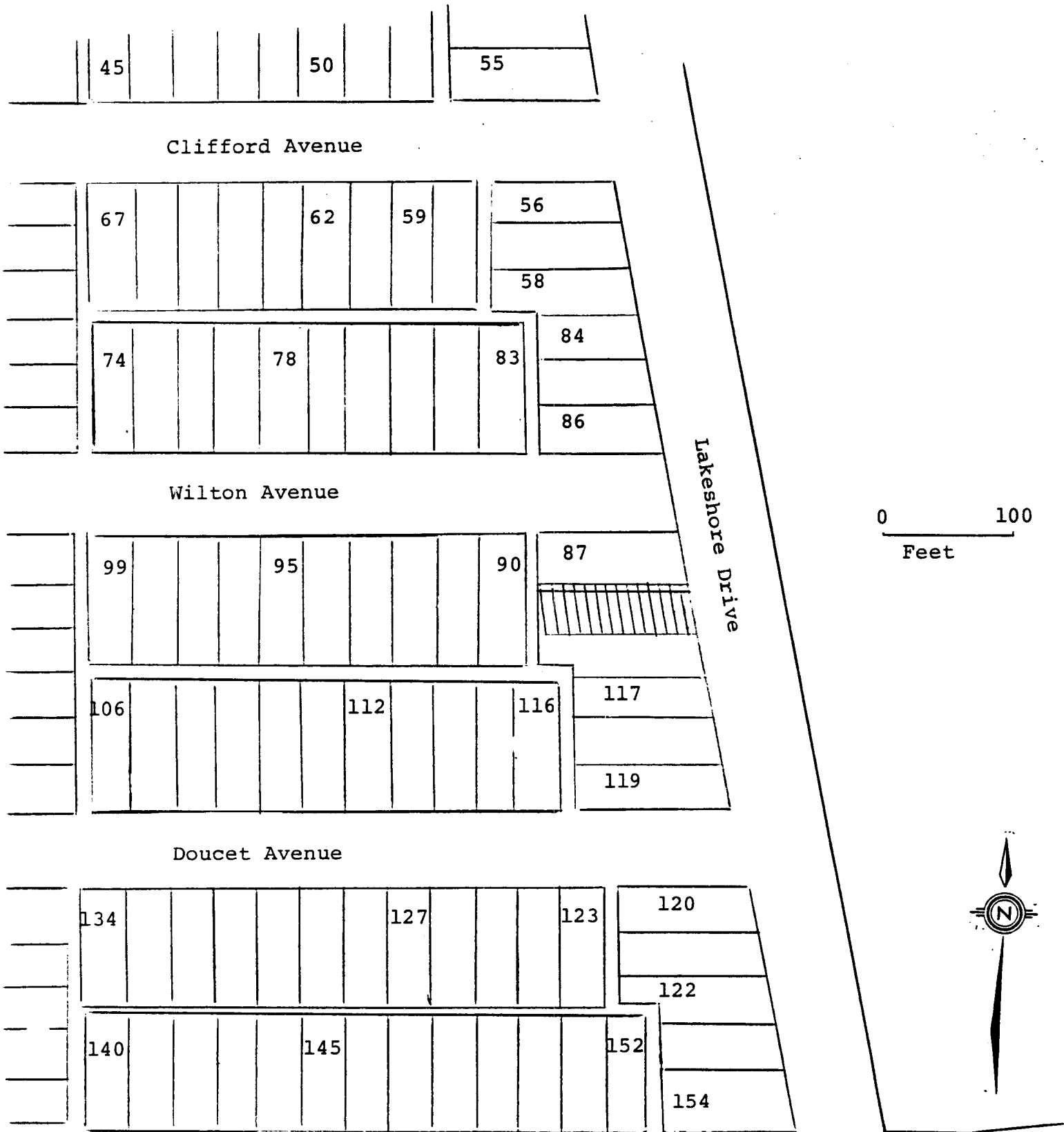
- a triplex dwelling.

11.2.57.2 b) The regulations for this "Residential Multiple First Density Special Zone No. 57 (RM 1 Sp.57)" are as follows:

- i) The maximum lot coverage not to exceed thirty (30) percent of the total lot area.
- ii) The minimum lot frontage shall be eleven and five-tenths (11.5) metres.
- iii) The minimum front yard setback shall be seven and four-tenths (7.4) metres.
- iv) The minimum easterly side yard setback shall be zero and three-tenths (0.3) metres.
- v) The minimum westerly side yard setback shall be four and one-tenths (4.0) metres.
- vi) The minimum rear yard setback shall be nineteen and five-tenths (19.5) metres.

11.2.57.3 The use of land or buildings in this "Residential Multiple First Density Special Zone No. 57 (RM 1 Sp.57)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

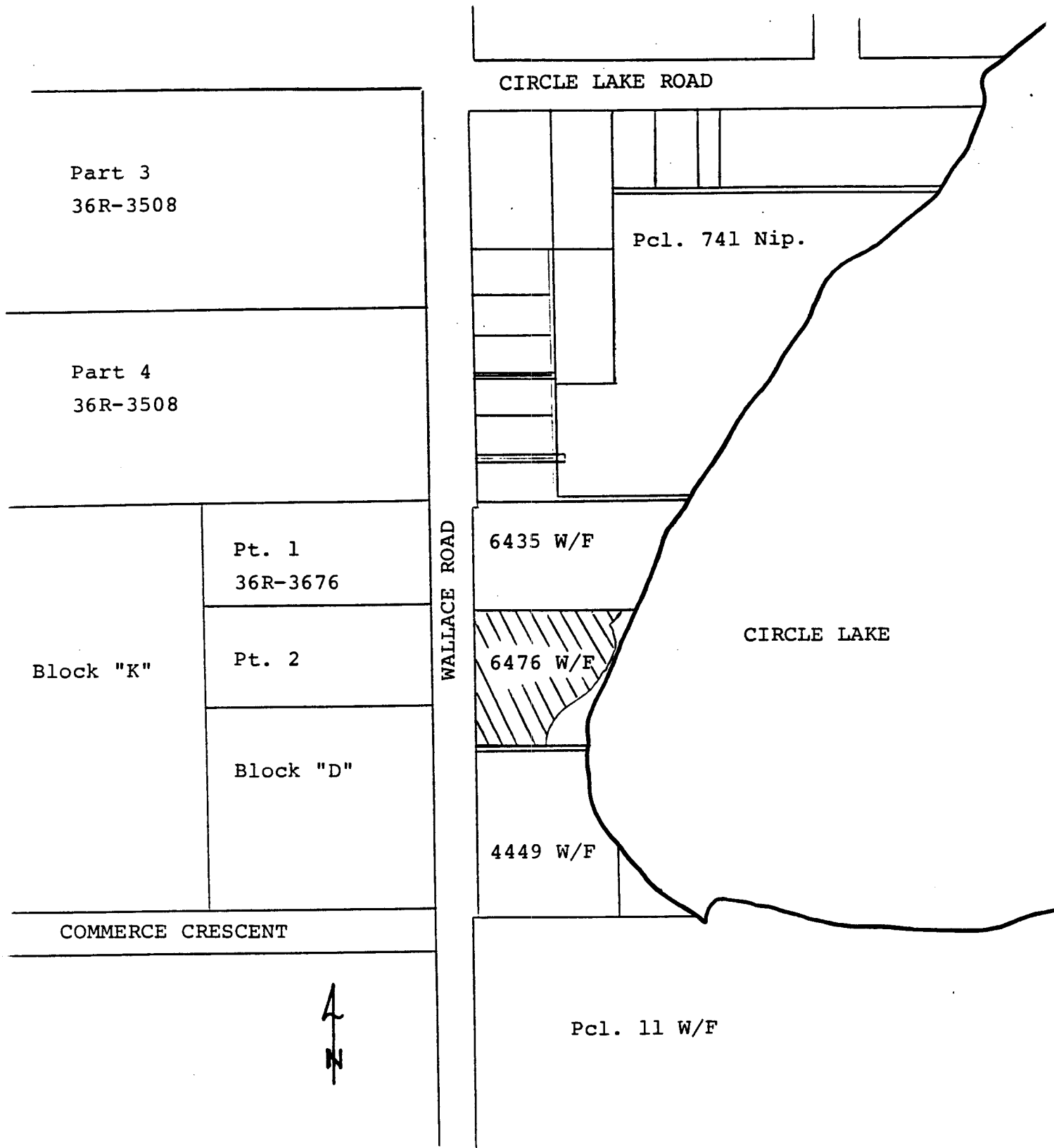
SCHEDULE TO A "RESIDENTIAL MULTIPLE FIRST DENSITY NO. 57
ZONE (RM.1 Sp. 57)"



11.2.58 **Residential Third Density Special
Zone No. 58 (R.3 Sp.58)**

- 11.2.58.1 The property description of this "Residential Third Density Special Zone No. 58 (R.3 Sp.58)" is Part of Parcel 6476 W/F along Wallace Road in the City of North Bay as shown on the attached Schedule and Schedule "B-53".
- 11.2.58.2 a) No person shall use land, or use, erect or construct any building or structure in this "Residential Third Density Special Zone No. 58 (R.3 Sp.58)", except for the following uses:
- single detached dwellings;
 - duplex dwellings;
 - semi-detached dwellings;
 - home occupations;
 - parks and playgrounds;
 - non-profit uses, and
 - institutional uses.
- 11.2.58.2 b) The regulations for this "Residential Third Density Special Zone No. 58 (R.3 Sp.58)" are as follows:
- i) A rear yard shall be provided in the rear yard of the main building. The rear setback shall be measured from the 203.33 C.G.D. contour elevation. Further, said rear setback shall not be less than ten and five-tenths (10.5) metres.
 - ii) That portion of Parcel 6476 W/F located below and to the east of the 203.33 C.G.D. contour shall remain as an undisturbed, natural vegetative buffer.
- 11.2.58.3 The use of land or buildings in this "Residential Third Density Special Zone No. 58 (R.3 Sp.58)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

SCHEDULE TO "RESIDENTIAL THIRD DENSITY SPECIAL ZONE NO. 58 (R3 Sp.58)"



11.2.59 **Residential Multiple Third Density Special
Zone No. 59 (RM 3 Sp.59)**

11.2.59.1 The property description of this "Residential Multiple Third Density Special Zone No. 59 (RM 3 Sp.59)" is the northerly one-half of Lot 275 and all of Lot 276, Plan M-28 along Kehoe Street in the City of North Bay as shown on the attached Schedule and Schedule "B-43".

11.2.59.2 a) No person shall use land, or use, erect or construct any building or structure in this "Residential Multiple Third Density Special Zone No. 59 (RM 3 Sp.59)", except for the following uses:

- five (5) unit apartment dwelling.

11.2.59.2 b) The regulations for this "Residential Multiple Third Density Special Zone No. 59 (RM 3 Sp.59)" are as follows:

i) The minimum lot frontage shall be twenty-two and eight-tenths (22.8) metres.

ii) The minimum front yard setback shall be five and three-tenths (5.3) metres.

iii) The minimum northerly side yard setback shall be two and zero-tenths (2.0) metres.

11.2.59.3 The use of land or buildings in this "Residential Multiple Third Density Special Zone No. 59 (RM 3 Sp.59)" shall conform to all other regulations of this By-law, except as hereby expressly varied."

SCHEDULE TO "RESIDENTIAL MULTIPLE THIRD DENSITY SPECIAL ZONE NO. 59 (RM.3 SP.59)"

187	250	282	345
186	251	281	346
185	252	280	347
184	253	279	348
183	254	278	349
182	255	277	350

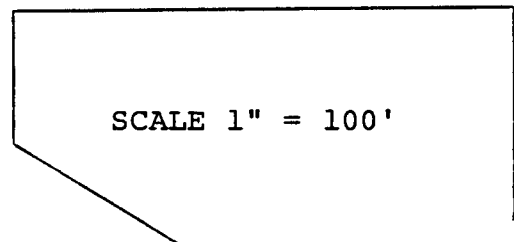
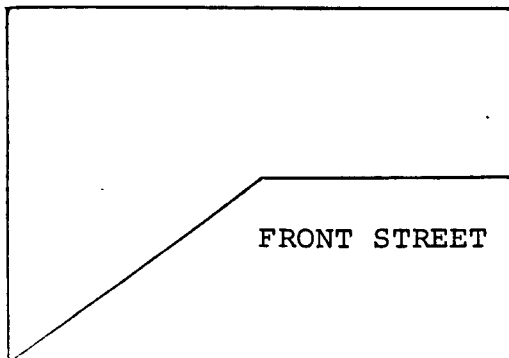
EVA (Plan M-28) STREET

MCLEOD STREET

181	256
180	257
179	258
178	259
177	260
176	261

O'BRIEN STREET

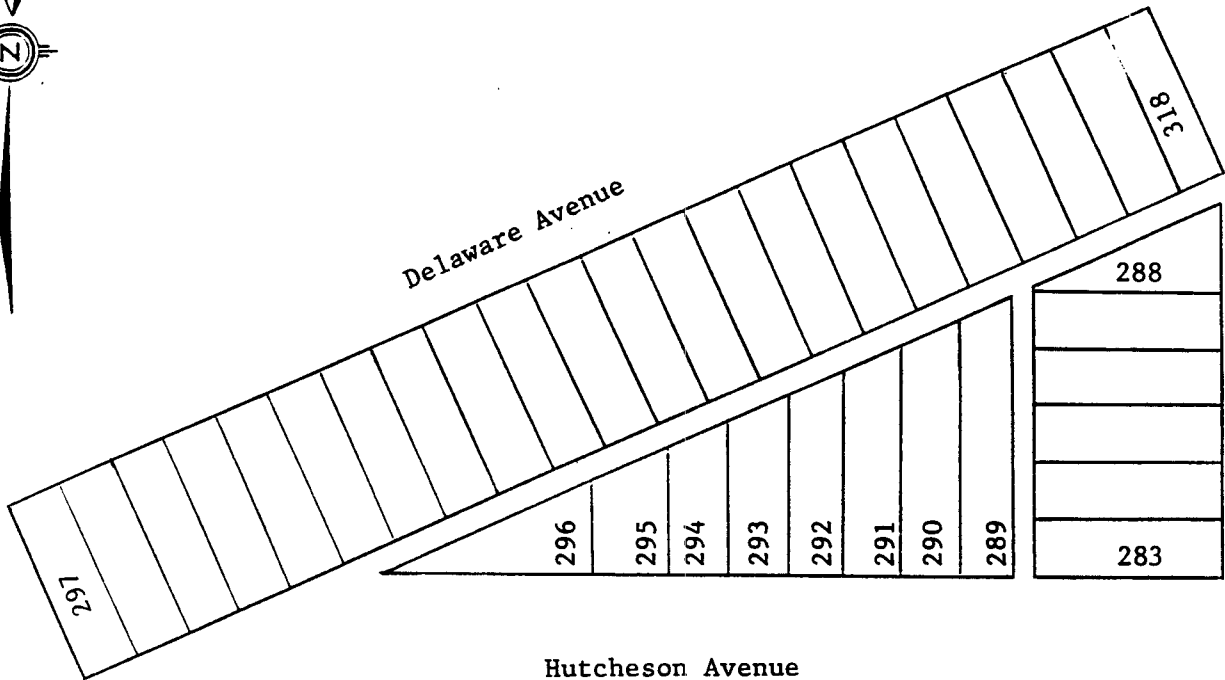
276	351
275	352
274	353
273	354
272	355
271	356
270	357



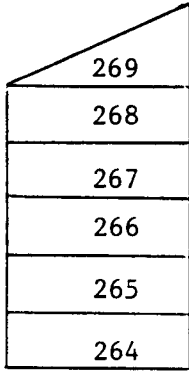
11.2.60 **Residential Multiple First Density Special
Zone No. 60 (RM 1 Sp.60)**

- 11.2.60.1 The property description of this "Residential Multiple First Density Special Zone No. 60 (RM 1 Sp.60)" is Lots 278 and 279, Plan M-177 along Hutcheson Avenue in the City of North Bay as shown on the attached Schedule and Schedule "B-42".
- 11.2.60.2 a) No person shall use land, or use, erect or construct any building or structure in this "Residential Multiple First Density Special Zone No. 60 (RM 1 Sp.60)", except for the following uses:
- a triplex dwelling.
- 11.2.60.2 b) The regulations for this "Residential Multiple First Density Special Zone No. 60 (RM 1 Sp.60)" are as follows:
- i) The minimum lot frontage shall be eighteen and two-tenths (18.2) metres.
 - ii) The minimum lot area per dwelling unit shall be 185.8 square metres.
- 11.2.60.3 The use of land or buildings in this "Residential Multiple First Density Special Zone No. 60 (RM 1 Sp.60)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

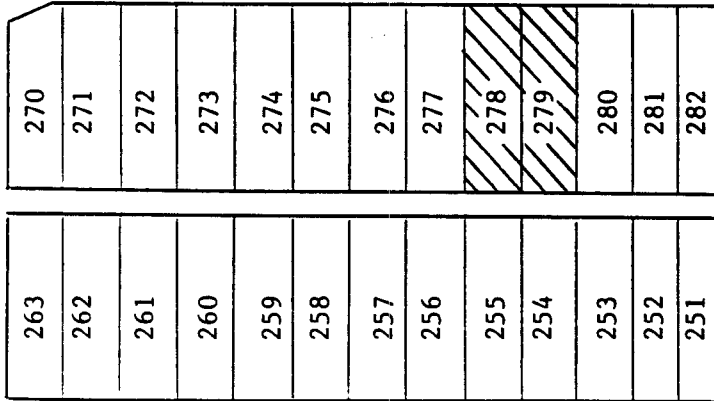
SCHEDULE TO RESIDENTIAL MULTIPLE FIRST DENSITY
SPECIAL ZONE NO. 60 (RM1 Sp.60)



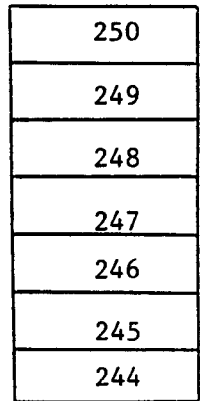
Douglas Street



Hutcheson Avenue



McLeod Street



Lansdowne Avenue



Scale 1" = 100 Feet

11.2.61 **Residential Multiple First Density Special
Zone No. 61 (RM 1 Sp.61)**

- 11.2.61.1 The property description of this "Residential Multiple First Density Special Zone No. 61 (RM 1 Sp.61)" is Lot 348, Plan M-28 along O'Brien Street in the City of North Bay as shown on the attached Schedule and Schedule "B-43".
- 11.2.61.2 a) No person shall use land, or use, erect or construct any building or structure in this "Residential Multiple First Density Special Zone No. 61 (RM 1 Sp.61)", except for the following uses:
- a triplex dwelling.
- 11.2.61.2 b) The regulations for this "Residential Multiple First Density Special Zone No. 61 (RM 1 Sp.61)" are as follows:
- i) The minimum lot frontage shall be fifteen and zero-tenths (15.0) metres.
 - ii) The minimum rear yard setback shall be eight and five-tenths (8.5) metres.
- 11.2.61.3 The use of land or buildings in this "Residential Multiple First Density Special Zone No. 61 (RM 1 Sp.61)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

SCHEDULE TO "RESIDENTIAL MULTIPLE FIRST DENSITY SPECIAL ZONE
NO. 61 (RM.1 SP.61)"

Plan M-28

284	343	378	437
283	344	377	438
282	345	376	439
281	346	375	440
280	347	374	441
279	348	373	442
278	349	372	443
277	350	371	444



KEHOE STREET

Eva Street

276	351	370	445
275	352	369	446
274	353	368	447
273	354	367	448

O'Brien

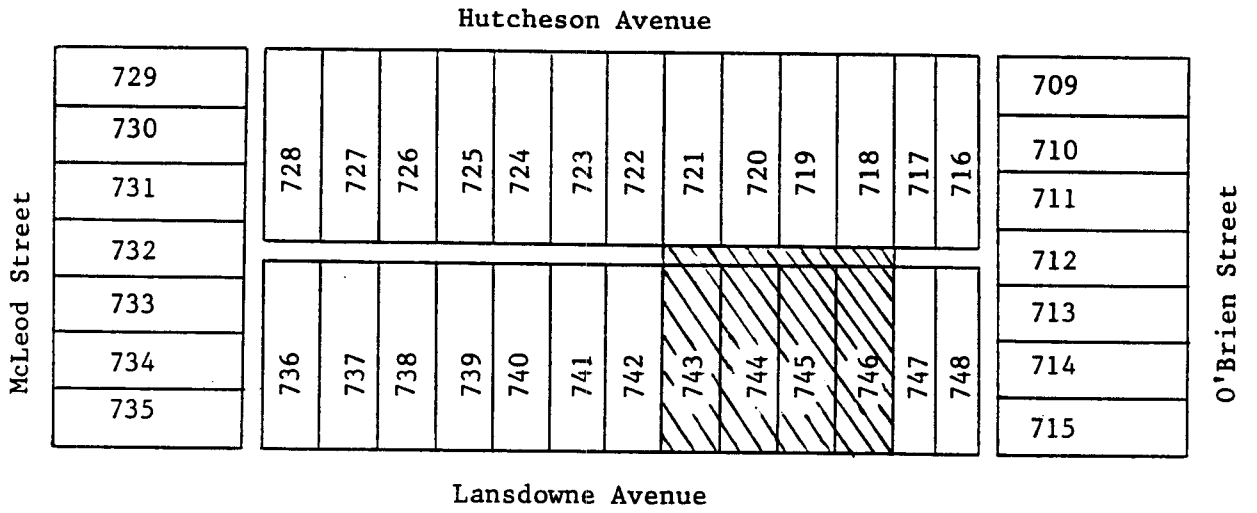
McPhail Street

Scale
1" = 100 Feet

11.2.62 **Residential Multiple Fourth Density Special
Zone No. 62 (RM 4 Sp.62)**

- 11.2.62.1 The property description of this "Residential Multiple Fourth Density Special Zone No. 62 (RM 4 Sp.62)" is Lots 743 to 746, Plan M-177 and that portion of the laneway abutting Lots 743 to 746, Plan M-177 along Lansdowne Avenue in the City of North Bay as shown on the attached Schedules "A", "B" and "C" and Schedule "B-43".
- 11.2.62.2 No person shall use land, or use, erect or construct any building or structure in this "Residential Multiple Fourth Density Special Zone No. 62 (RM 4 Sp.62)", except for the following uses:
- an apartment building with a maximum height of 3 storeys and a maximum of eleven dwelling units.
- 11.2.62.3 The use of land or buildings in this "Residential Multiple Fourth Density Special Zone No. 62 (RM 4 Sp.62)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

SCHEDULE TO "RESIDENTIAL MULTIPLE FOURTH DENSITY SPECIAL ZONE
NO. 62 (RM.4 SP.62)"



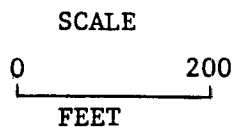
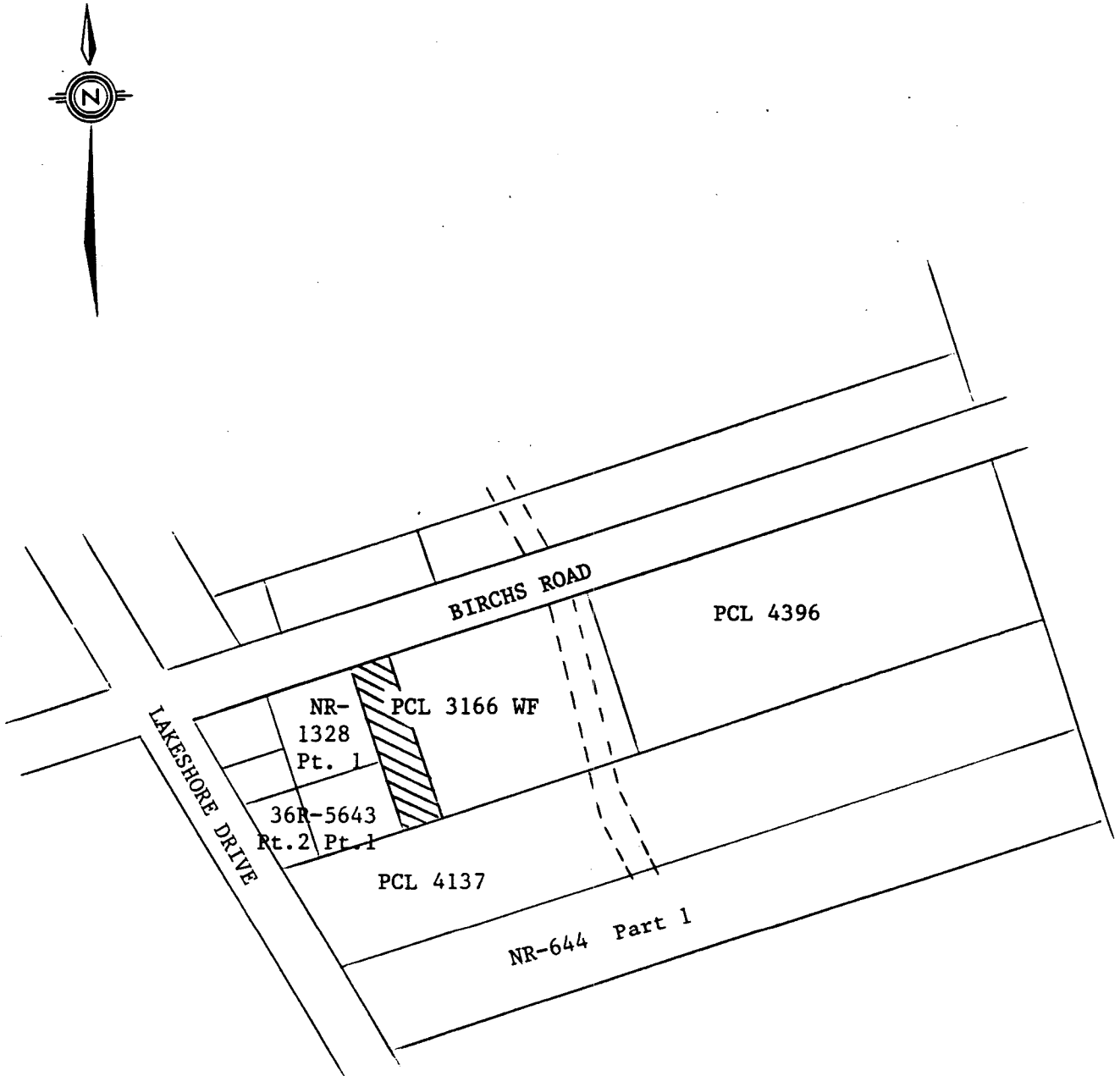
Scale 1" = 100'



11.2.63 **Residential Third Density Special
Zone No. 63 (R.3 Sp.63)**

- 11.2.63.1 The property description of this "Residential Third Density Special Zone No. 63 (R.3 Sp.63)" is the westerly fifty (50) feet of the remainder of Parcel 3166 W/F, Concession 14, Part Lot 39 along Birchs Road in the City of North Bay as shown on the attached Schedule and Schedule "B-80".
- 11.2.63.2 a) No person shall use land, or use, erect or construct any building or structure in this "Residential Third Density Special Zone No. 63 (R.3 Sp.63)", except for the following uses:
- a duplex dwelling.
- 11.2.63.2 b) The regulations for this "Residential Third Density Special Zone No. 63 (R.3 Sp.63)" are as follows:
- i). The minimum lot frontage shall be fifteen and two-tenths (15.2) metres.
- 11.2.63.3 The use of land or buildings in this "Residential Third Density Special Zone No. 63 (R.3 Sp.63)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

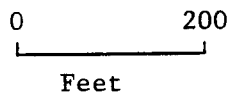
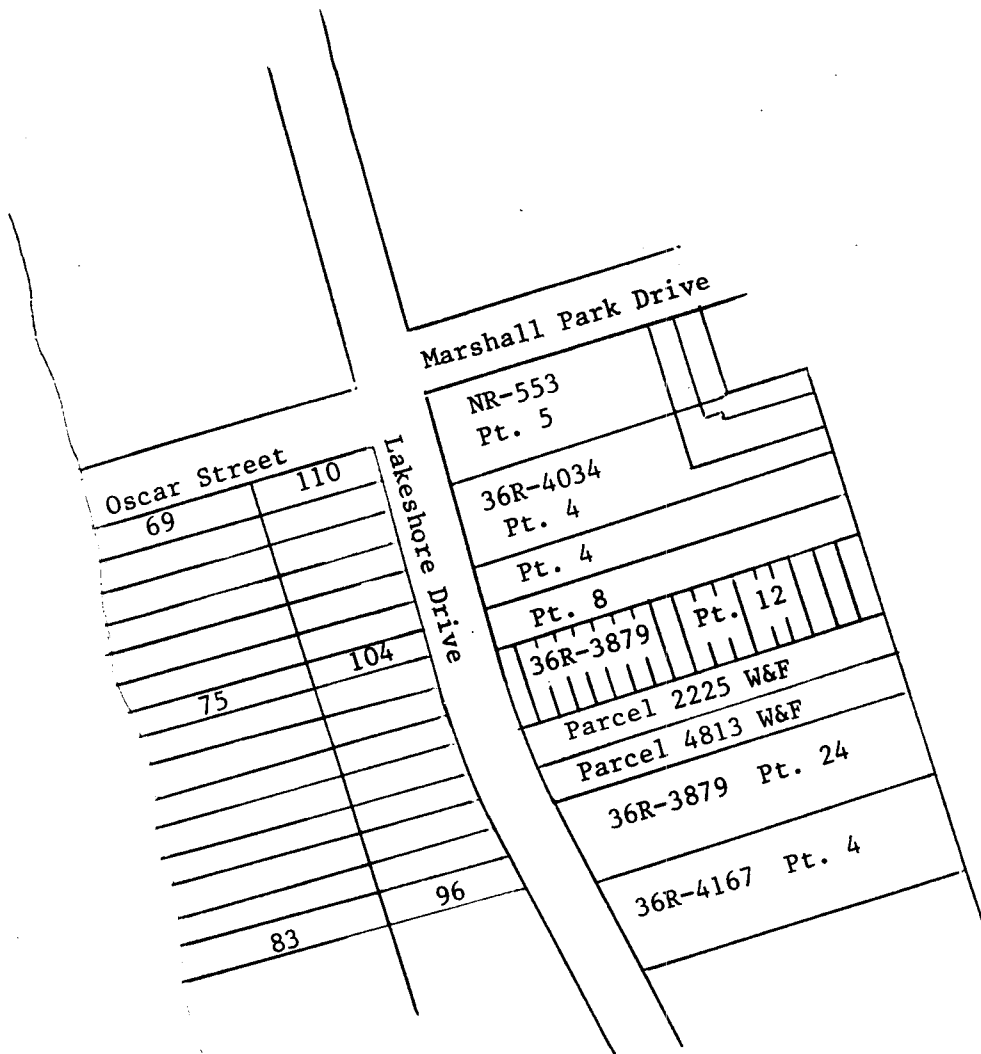
SCHEDULE TO " RESIDENTIAL THIRD DENSITY SPECIAL ZONE NO. 63 (R3 Sp63)"



11.2.64 **Residential Multiple First Density Special
Zone No. 64 (R.M.1 Sp.64)**

- 11.2.64.1 The property description of this "Residential Multiple First Density Special Zone No. 64 (R.M.1 Sp.64)" is Plan 36R-3879, Part 12 along Lakeshore Drive in the City of North Bay as shown on the attached Schedules and Schedule "B-70".
- 11.2.64.2 No person shall use land, or use, erect, or construct any building or structure in this "Residential Multiple First Density Special Zone No. 64 (R.M.1 Sp.64)", except for the following uses:
- maximum seven (7) dwelling units in total on the subject lands.
- 11.2.64.3 The use of land or buildings in this "Residential Multiple First Density Special Zone No. 64 (R.M.1 Sp.64)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

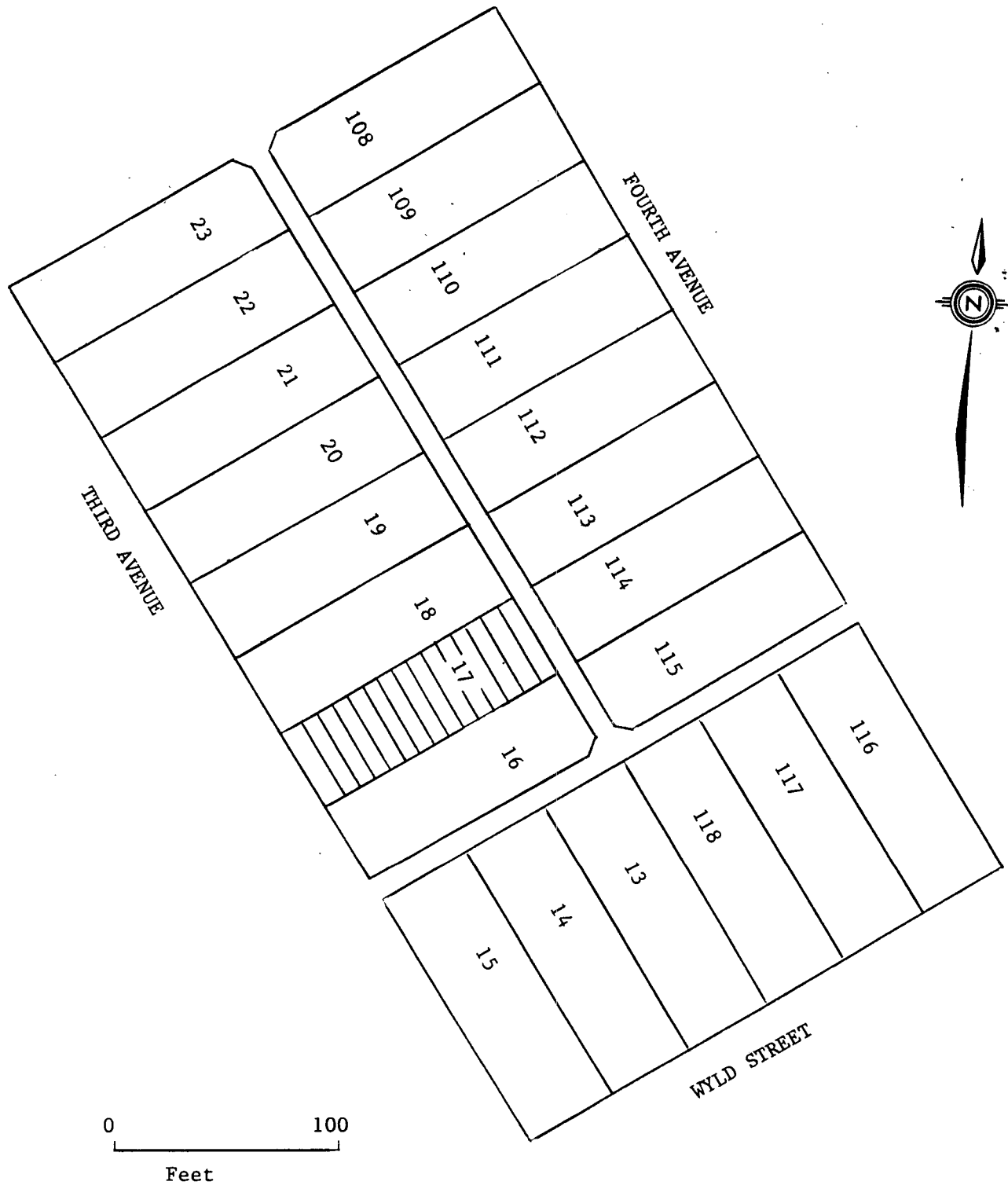
SCHEDULE TO "RESIDENTIAL MULTIPLE FIRST DENSITY SPECIAL ZONE NO. 64 (R.M.1 Sp.64)"



11.2.66 **Residential Multiple First Density Special
Zone No. 66 (R.M.1 Sp.66)**

- 11.2.66.1 The property description of this "Residential Multiple First Density Special Zone No. 66 (R.M.1 Sp.66)" is Lot 17, Plan 62 along Third Avenue East in the City of North Bay as shown on the attached Schedules and Schedule "B-51".
- 11.2.66.2a) No person shall use land, or use, erect, or construct any building or structure in this "Residential Multiple First Density Special Zone No. 66 (R.M.1 Sp.66)", except for the following uses:
- triplex dwelling.
- 11.2.66.2b) The regulations for this "Residential Multiple First Density Special Zone No. 66 (R.M.1 Sp.66)" are as follows:
- i) The maximum lot coverage not to exceed forty (40) percent of the total lot area.
 - ii) The minimum lot frontage shall be twelve and one-tenth (12.1) metres.
 - iii) The minimum front yard setback shall be five and six-tenths (5.6) metres.
 - iv) The minimum northerly side yard setback shall be one and one-tenth (1.1) metres.
 - v) The minimum rear yard setback shall be one and two-tenths (1.2) metres.
 - vi) The minimum lot area per dwelling unit shall be 144.9 square metres.
- 11.2.66.3 The use of land or buildings in this "Residential Multiple First Density Special Zone No. 66 (R.M.1 Sp.66)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

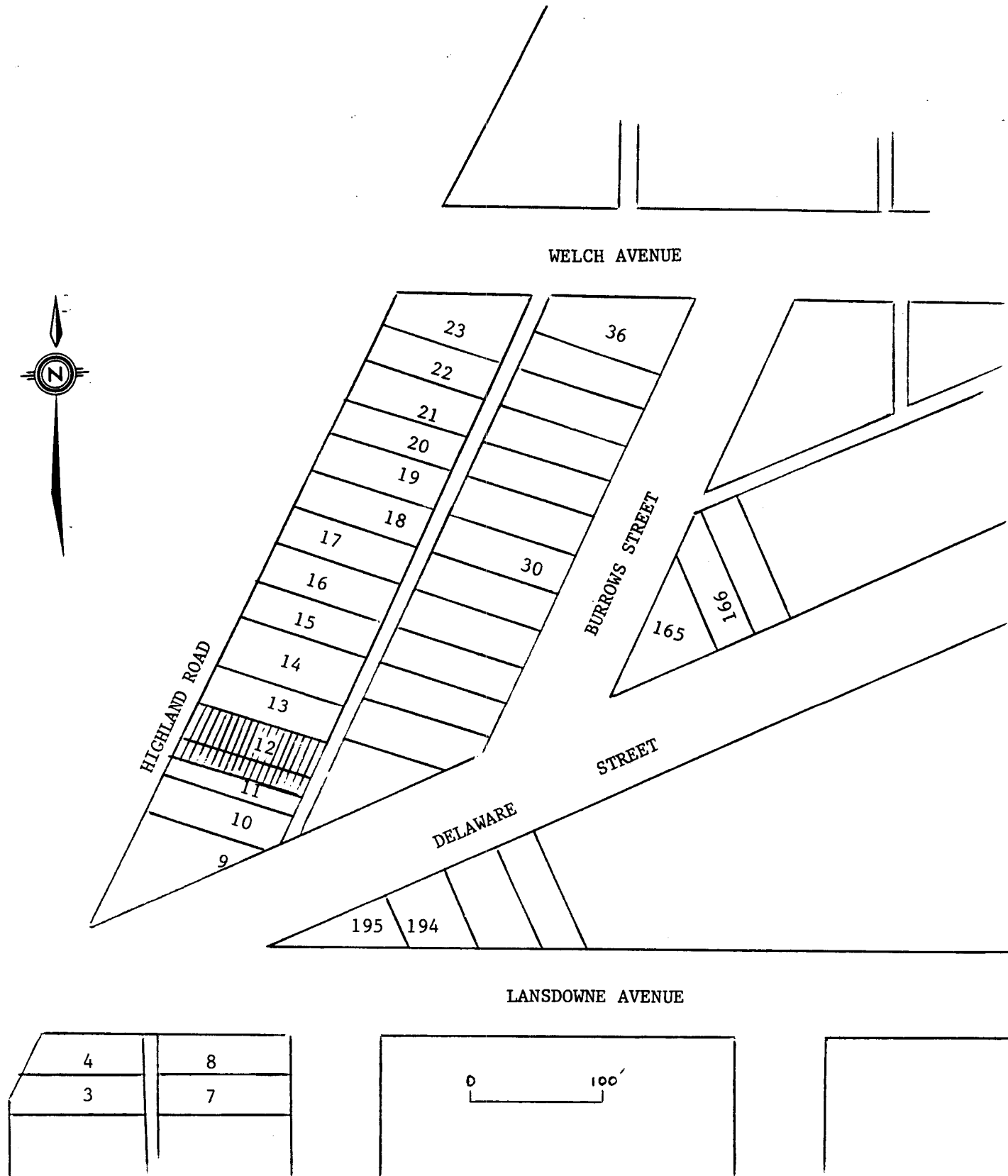
SCHEDULE TO "RESIDENTIAL MULTIPLE FIRST DENSITY SPECIAL ZONE NO. 66 (R.M.1 Sp.66)"



11.2.67 **Residential Third Density Special Zone
No. 67 (R.3 Sp.67)**

- 11.2.67.1 The property description of this "Residential Third Density Special Zone No. 67 (R.3 Sp.67)" is part of Lot 11 and Lot 12, Plan M-177 along Highland Road in the City of North Bay as shown on the attached Schedules and Schedule "B-42".
- 11.2.67.2a) No person shall use land, or use, erect, or construct any building or structure in this "Residential Third Density Special Zone No. 67 (R.3 Sp.67)", except for the following uses:
- single detached dwelling;
 - semi-detached dwelling;
 - duplex dwelling;
 - parks, playgrounds, non-profit uses;
 - home occupations;
 - institutional uses.
- 11.2.67.2b) The regulations for this "Residential Third Density Special Zone No. 67 (R.3 Sp.67)" are as follows:
- i) The minimum lot area shall be 418.0 square metres.
 - ii) The minimum lot frontage shall be thirteen and seven-tenths (13.7) metres.
 - iii) The minimum front yard setback shall be two and six-tenths (2.6) metres.
 - iv) The minimum northerly side yard setback shall be zero and eight-tenths (0.8) metres.
- 11.2.67.3 The use of land or buildings in this "Residential Third Density Special Zone No. 67 (R.3 Sp.67)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

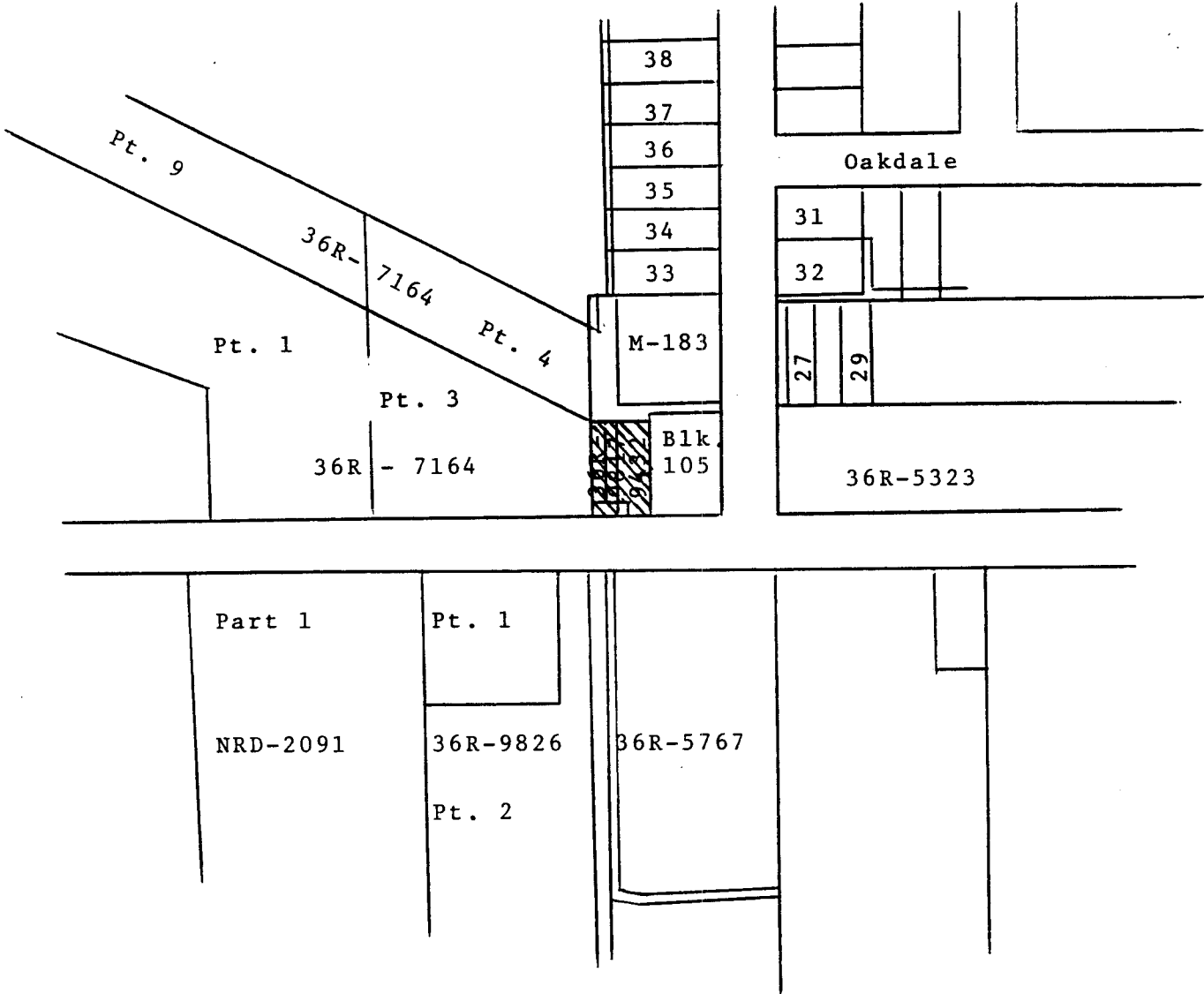
Schedule to "Residential Third Density Special Zone No. 67 (R.3 Sp. 67)"



11.2.68 **Residential Multiple Third Density Special Zone
No.68 (RM3 Sp.68)**

- 11.2.68.1 The property description of this "Residential Multiple Third Density Special Zone No. 68 (RM3 Sp.68)" is Parcel 9432 W&F, Parts 1 and 2, Plan 36R-9817 and part of the former Larocque Street road allowance along McKeown Avenue in the City of North Bay as shown on the attached Schedules and Schedule "B-32".
- 11.2.68.2 a) No person shall use land, or use, erect, or construct any building or structure in this "Residential Multiple Third Density Special Zone No. 68 (RM3 Sp.68)", except for the following uses:
- an apartment building having no more than six (6) dwelling units.
- 11.2.68.2 b) The regulations for this "Residential Multiple Third Density Special Zone No. 68 (RM3 Sp.68)" are as follows:
- i) the minimum lot frontage shall be seventeen and zero-tenths (17.0) metres;
 - ii) the minimum front yard setback shall be one and five-tenths (1.5) metres;
 - iii) the minimum westerly side yard shall be three and zero-tenths (3.0) metres;
 - iv) the minimum easterly side yard shall be three and nine-tenths (3.9) metres.
- 11.2.68.2 c) The requirements of Subsections 5.3.6 (landscaping), 5.3.7, and 5.3.8 (play space) of Zoning By-law No. 28-80 shall not apply to this "Residential Multiple Third Density Special Zone No. 68 (RM3 Sp.68)".
- 11.2.68.3 The use of land or building in this "Residential Multiple Third Density Special Zone No. 68 (RM3 Sp.68)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

SCHEDULE TO "RESIDENTIAL MULTIPLE THIRD DENSITY
SPECIAL ZONE NO. 68 (RM3 SP.68)"



0 200
Feet

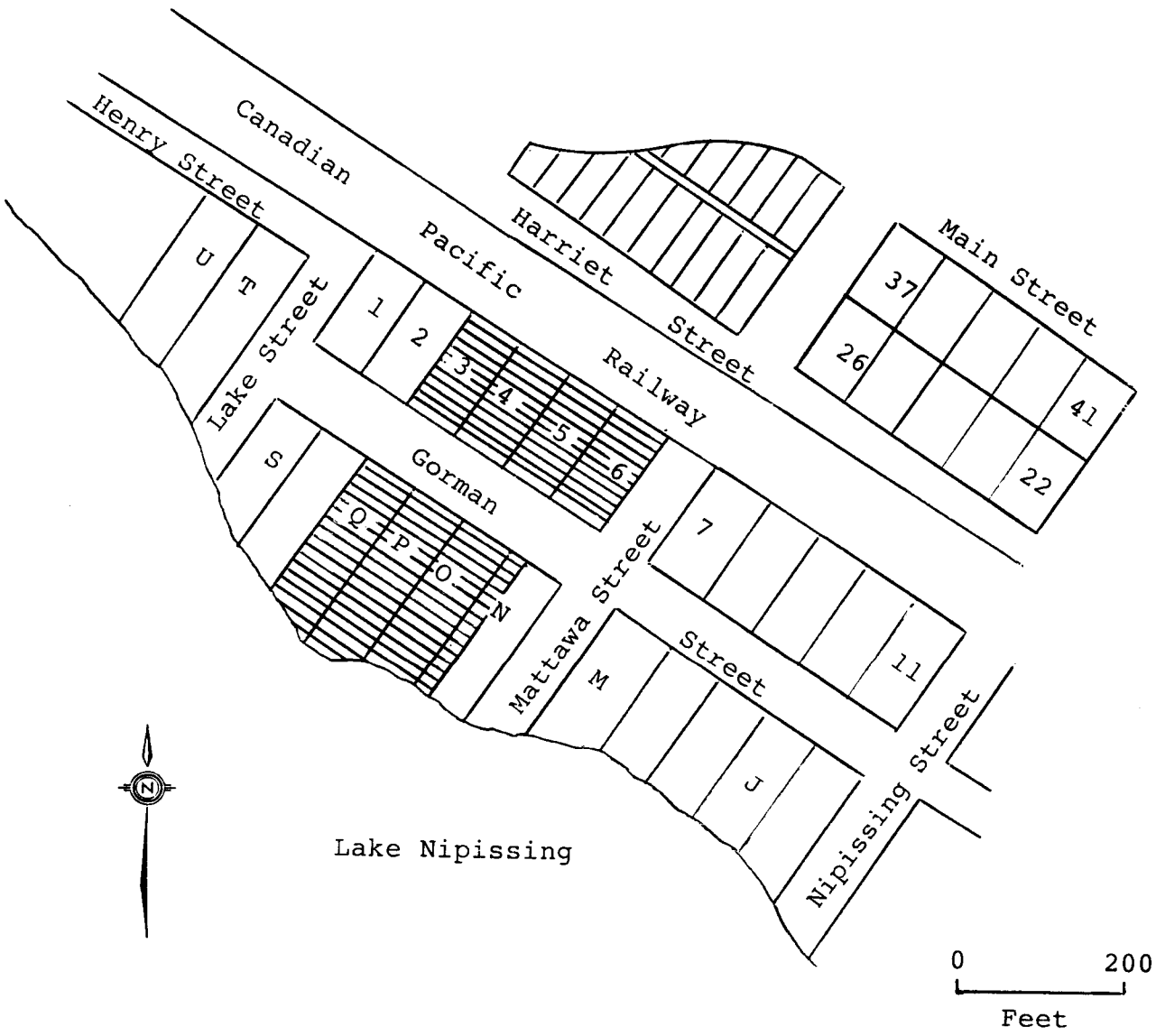
11.2.69 **Residential Multiple Second Density Special Zone
No. 69 (RM2 Sp.69)**

- 11.2.69.1 The property description of this "Residential Multiple Second Density Special Zone No. 69 (RM2 Sp.69)" is Plan 15, Lots 3 to 6, Blocks O, P, Q and Part Block N along Gorman Street in the City of North Bay as shown on the attached Schedules and Schedule "B-41".
- 11.2.69.2 a) No person shall use land, or use, erect, or construct any building or structure in this "Residential Multiple Second Density Special Zone No. 69 (RM2 Sp.69)" except for the following uses:
- i) a maximum thirty-one (31) unit, one-storey multiple residence for retirement living or single detached dwellings shall be permitted on Plan 15, Blocks O, P, Q and Part Block N;
 - ii) any dwelling unit contained within the multiple residence for retirement living shall have a minimum floor area of twenty-four (24) square metres;
 - iii) vehicular parking, ancillary to the main residential use, and open space shall be permitted on Plan 15, Lots 3 to 6;
 - iv) rooming or boarding houses or group homes shall not be permitted on the subject property.
- 11.2.69.2 b) The regulations for this "Residential Multiple Second Density Special Zone No. 69 (RM2 Sp.69)" are as follows:
- i) the minimum floor area per dwelling unit shall be twenty-four (24) square metres.
- 11.2.69.2 c) The definition of dwelling unit for the use of lands contained within "Residential Multiple Second Density Special Zone No. 69 (RM2 Sp.69)" shall consist of a suite of habitable rooms which:
- i) is in a building;

- ii) has individual sanitary facilities but not food preparation facilities for the exclusive use of the occupants of that dwelling unit;
- iii) has a private entrance directly from outside the building or from a common hallway.

11.2.69.3 The use of land or building in this "Residential Multiple Second Density Special Zone No. 69 (RM2 Sp.69)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

Schedule to "Residential Multiple Second Density
Special Zone No. 69 (RM2 Sp.69)"



11.3 COMMERCIAL SPECIAL ZONES

11.3.1 Commercial Special Zone #1 (C Sp.1)

11.3.1.1 The property description of this "Commercial Special 1 Zone (C Sp.1)" is:

Lots 1 and 2, Plan M-5, Algonquin Avenue (see attached Site Plan and Schedule "B-42").

11.3.1.2 The special requirements of this "Commercial Special 1 Zone (C Sp.1)" are:

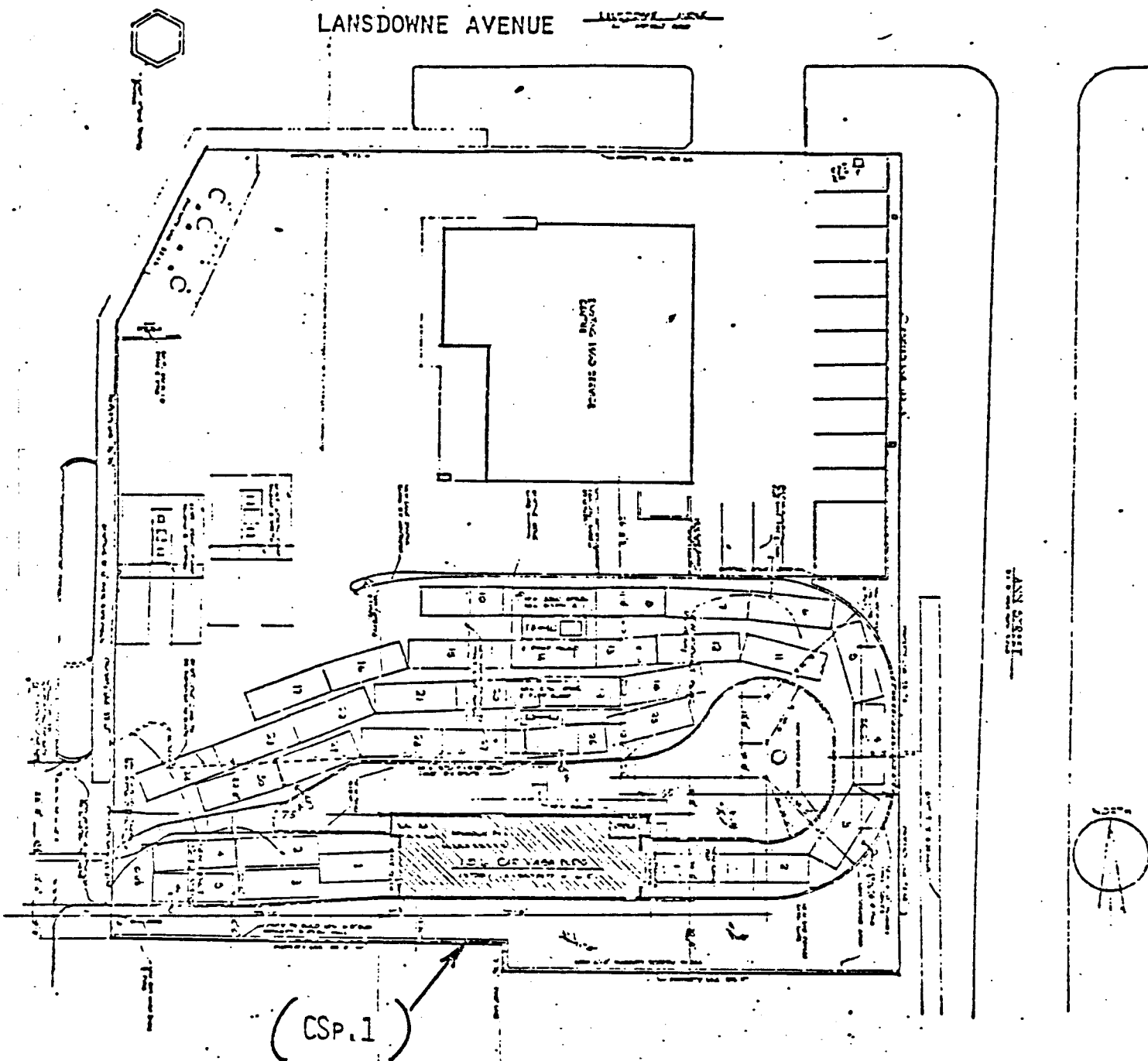
a) Regulations

i) The setback from the side lot line shall be a minimum of four (4) metres.

ii) Where a side lot line abuts a street, the setback from the said side lot line shall be a minimum of six (6) metres.

11.3.1.3 The use of land in this "Commercial Special 1 Zone (C Sp.1)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

SCHEDULE TO COMMERCIAL SPECIAL ZONE NO.1 (CSP.1)



11.3.2 Commercial Special Zone 2 (C Sp.2)

11.3.2.1 The property description of this "Commercial Special 2 Zone (C Sp.2)" is:

As shown on attached Site Plan, Highways No. 11-17 (see Schedule "B-52").

11.3.2.2 For the purposes of this zone, the following definitions are added to Section 2 of this By-law:

- a) "Gross Leaseable Area" (G.L.A.) shall mean the aggregate of the horizontal areas of each floor above or below grade in a building or structure contained within the walls, but measured by the outside walls or outside finished partitions but excluding:
 - i) Floor area occupied by boiler rooms, air conditioning equipment rooms, elevator shafts, machinery rooms and other building plant equipment rooms except laundry rooms and storage rooms.
 - ii) Chimney shafts, garbage chutes and pipe shafts.
 - iii) Parking spaces, access driveways and manoeuvring space.
 - iv) All floor area of halls, corridors and stairwells, and all areas to be used in common by and for three (3) or more tenants.
- b) "Planned Shopping Centre" shall mean a group of commercial establishments conceived, designed, developed and managed as a unit in an integrated building complex in accordance with the provisions of this By-law and related in location, size and type to the surrounding trade area which it serves.

11.3.2.2 c) "Gasoline Bar" shall mean a building or place where gasoline is kept for sale with or without lubricants and automobile accessories, but where no servicing, repair or equipping of motor vehicles is carried on.

d) "Food Bar" shall mean a building or place where snacks and light refreshments are prepared, sold and consumed, but does not include an outside automobile waiter or waitress service, a restaurant or other establishment where full course meals are prepared and consumed.

11.3.2.3 The special requirements of this Commercial Special 2 Zone (C Sp.2) are:

a) The Permitted Uses are as follows:

i) Commercial Uses

A planned shopping centre which shall include one or more of any of the following uses or combination thereof:

- Art Studio
- Bake Shop
- Bank, Trust Company, Financial Establishment
- Barber Shop
- Beauty Parlour
- Billiard Parlour
- Bowling Alley
- Business Office, Professional Office
- Car Wash
- Community, Social Building, Lodge, Club
- Dry Cleaning or Laundry Establishment
- Food Bar
- Gasoline Bar
- Laundromat

- 11.3.2.3 a) i) - Library
- Limited Institutional Uses as defined in Clause (ii) of Subsection (a) of Section 3
- Medical or Dental Clinic or Office
- Parking Structure
- Pharmacy
- Photographer's Studio
- Post Office
- Restaurant
- Retail Store including Department Store
- Shoe Repair and Shoe Shine Shop
- Tavern
- Theatre
- Travel Agency
- Any use which is accessory to any of the foregoing uses that are in accordance with all other provisions of this By-law.

ii) Institutional Uses

- Club
- Church
- Fraternal Organizations

iii) Residential Uses

Nil

b) The regulations in this zone are:

Within the zone hereby established, all buildings or structures erected or altered and the use of the land shall conform to the Site Plan attached hereto and forming part of this zone.

11.3.2.3 c) The parking requirement shall be:

Within the zone hereby established, there shall be at least one (1) automobile parking space provided for each eighteen and six-tenths (18.6) square metres of gross leaseable area in the shopping centre.

11.3.2.4 The use of land in this Commercial Special 2 Zone (C Sp.2) shall conform to all other regulations of this By-law, except as hereby expressly varied.

SCHEDULE "B" TO COMMERCIAL SPECIAL ZONE NO. 2 (CSP.2)

AREA OF COMMERCIAL SPECIAL ZONE NO. 2 (CSP.2) IN SQUARE METRES		
EXISTING STORES	LOBLAWS	1,847
	SOUTH STORES	4,578
	NORTH STORES	2,174
	TOTAL	8,599
NEW STORES	WOOLCO	11,855
	SERVICE STORES	4,683
	TOTAL	16,538

TOTAL NUMBER OF AUTOMOBILES ACCOMMODATED 1,825

11.3.3 Commercial Special Zone 3 (C Sp.3)

11.3.3.1 The property description for this Commercial Special 3 Zone (C Sp.3) is:

Part of Plan 36R-3281, McKeown Avenue
(see attached Schedule and Schedule
"B-41").

11.3.3.2 The special requirements of this Commercial Special 3 Zone (C Sp.3) are as follows:

a) The Permitted Uses are as follows:

i) Commercial

- Motor Vehicle Sales Outlet
- Motor Vehicle Service and Repair Facilities
- Accessory uses to the above

ii) Institutional

Nil

iii) Residential

Nil

b) The regulations are as follows:

i) Front Yard

Minimum setback from the centreline of McKeown Avenue to the nearest main wall of a building shall be thirty-two and five-tenths (32.5) metres.

ii) Side Yard

Minimum setback from a side lot line to the nearest main wall of a building shall be one-half the height of the building, but not less than seven and six-tenths (7.6) metres.

11.3.3.2 b) iii) Rear Yard

Minimum setback from the centreline of Queen's Highway No. 17 (as shown on M.T.C. Plan P-2785-4) to the nearest main wall of a building shall be sixty-five and seven-tenths (65.7) metres.

iv) Landscaping

A strip of land not less than:

- a) One and five-tenths (1.5) metres in width inside and adjacent to the side lot lines;
- b) fifteen (15) metres in width adjacent to Queen's Highway No. 17, and
- c) seven and six-tenths (7.6) metres in width adjacent to McKeown Avenue,

shall not be used for any purposes other than landscaping, but this shall not prevent the provision of entrances and exits from the said lot through the required landscaping where they are otherwise permitted.

v) Vehicular Storage

No derelict vehicles or vehicles with only scrap value shall be stored on the property. Further, an area on the property shall be provided for the exclusive storage of used vehicles which shall be screened from Queen's Highway No. 17 by a hedge or fence not less than one and eight-tenths (1.8) metres in height.

In addition, an area shall be set aside for exclusive storage of vehicles awaiting body repairs. This area shall be screened on all

sides by a building, hedge or a fence not less than one and eight-tenths (1.8) metres in height.

vi) Lighting

Any lights used for illumination shall be so arranged as to divert the light away from adjacent properties and roads or highways.

11.3.3.3 The use of land in this Commercial Special 3 Zone (C Sp.3) shall conform to all other regulations of this By-law, except as hereby expressly varied.

11.3.4 Commercial Special Zone 4 (C Sp.4)

11.3.4.1 The property description of this Commercial Special 4 Zone is:

Parts 1 and 2, Plan NR-553 and Part of Parcel No. 2211 W&F as shown on the attached Site Plans, Lakeshore Drive (see attached Site Plans and Schedule "B-70").

11.3.4.2 The special requirements of this Commercial Special 4 Zone are as follows:

a) The Permitted Uses are as follows:

i) Commercial Uses

Banks, restaurants, retail establishments within an enclosed building, laundromat, barber shop, beauty salons and offices.

ii) Residential

Ten (10) dwelling units connected to and forming an integral part of the commercial building.

b) The regulations are as follows:

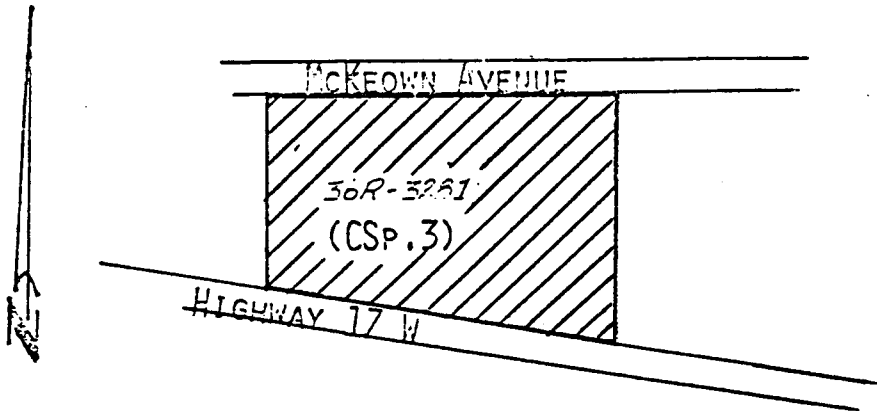
i) One (1) building not to exceed two (2) storeys in height to be located on the property as shown on Site Plan "A", attached hereto and forming part hereof shall be permitted.

ii) Sixty-one (61) parking spaces to be located on the site as shown on Site Plan "A", attached hereto.

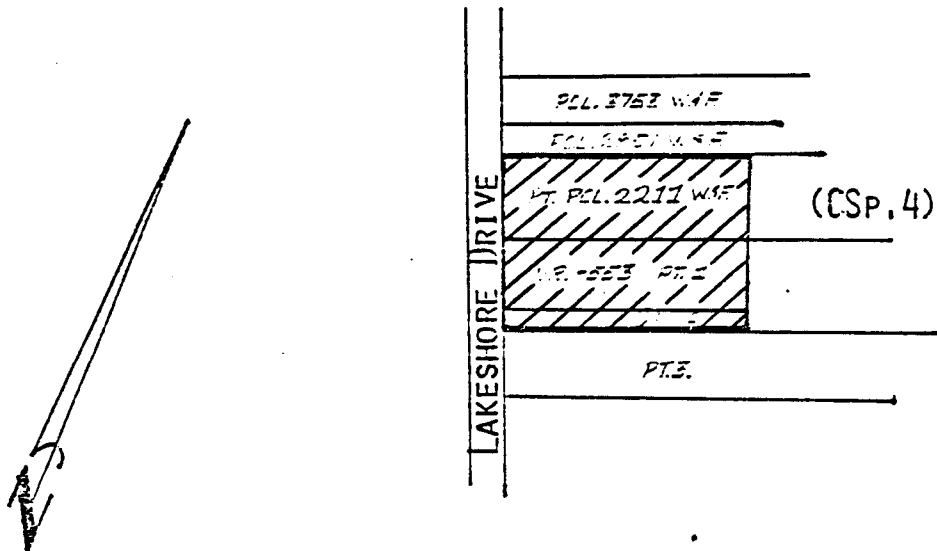
iii) A strip of land, three and two-tenths (3.2) metres in perpendicular width, as shown on Site Plan "A" attached hereto, shall be required as Open Space where the property abuts a Residential Zone.

- 11.3.4.2 b) iv) Commercial uses shall be permitted only on the ground floor that is to be constructed as shown on the "First Floor Plan" of Site Plan "B" attached hereto and forming part hereof.
- v) A residential use of not more than ten (10) dwelling units to be constructed as shown on the "Second Floor Plan" of Site Plan "B" attached hereto, shall be permitted.
- vi) That the building, as shown on Site Plan "A" attached hereto, shall not be designed and constructed in such a way as to permit the entry of floor waters below the level of one hundred and ninety-eight (198) metres, Canadian Geodetic Datum.
- 11.3.4.3 The use of land in this Commercial Special 4 Zone shall conform to all other regulations of this By-law, except as hereby expressly varied.

SCHEDULE TO COMMERCIAL SPECIAL ZONE NO.3 (CSP.3)

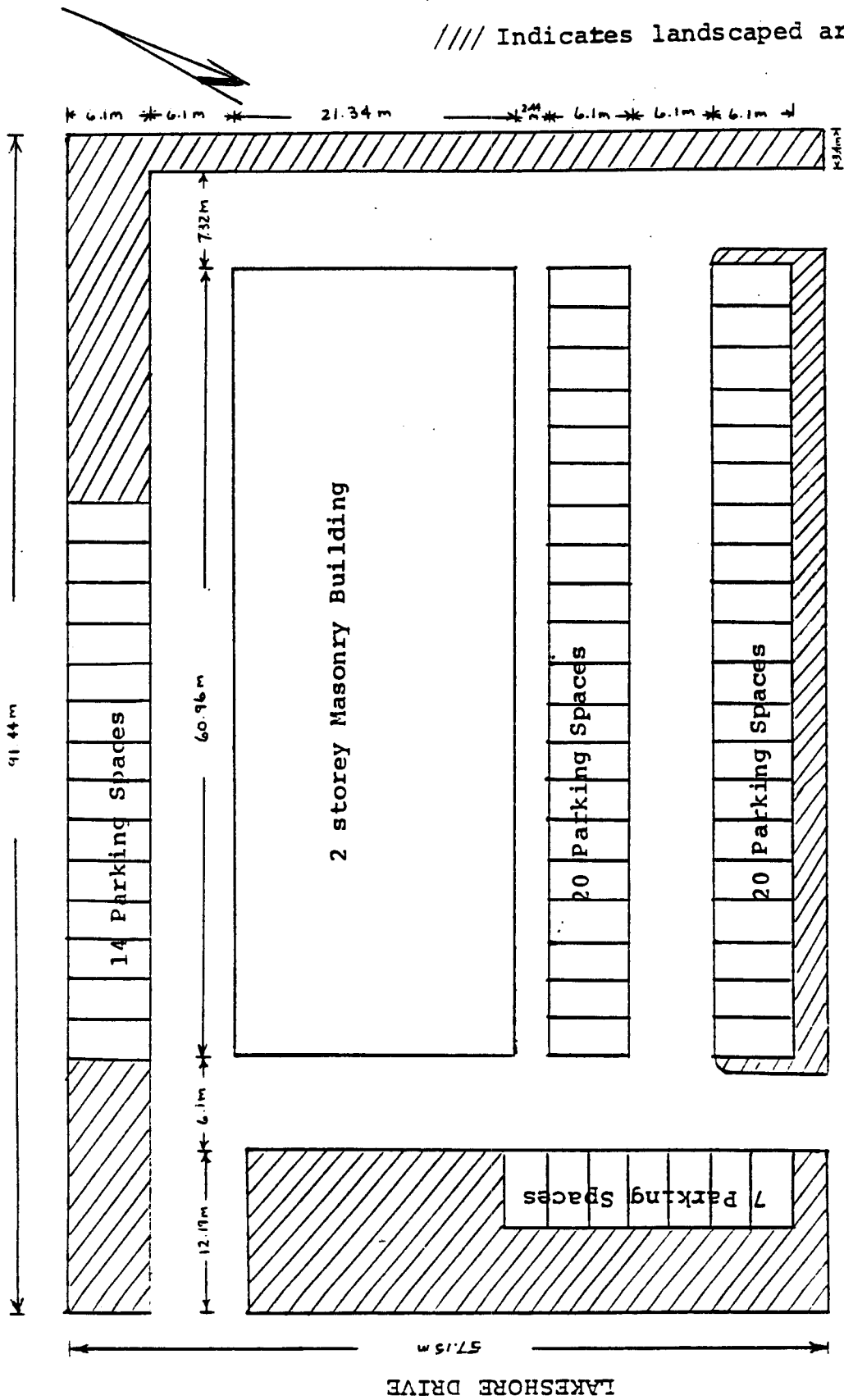


SCHEDULE TO COMMERCIAL SPECIAL ZONE NO. 4 (CSP.4)



SITE PLAN TO COMMERCIAL SPECIAL
ZONE 4 (CSP.4)

//// Indicates landscaped area



11.3.5 Commercial Special Zone 5 (C Sp.5)

11.3.5.1 The property description of this Commercial Special 5 Zone is:

Lots 3 to 7 inclusive, Plan 92, Lakeshore Drive, as shown on the attached Site Plan and Schedule "B-60".

11.3.5.2 The special requirements of this Commercial Special 5 Zone are as follows:

a) The Permitted Uses are:

i) Commercial Uses

- Automobile Service Station and Public Garage
- New and/or Used Car Lot
- Hotel and Motel
- Motor Vehicle Sales Outlet
- Public and Private Parking Area
- Restaurant
- Retail Uses connected to and forming an integral part of an accessory to any of the uses listed above
- Retail Lumber and Building Supplies Outlet
- Vegetable Market and Fruit Market
- Veterinarian Establishment and Animal Hospital

ii) Institutional

- Church, Club and Fraternal Organization

b) The regulations for this zone are:

i) Maximum lot coverage shall be forty (40) percent.

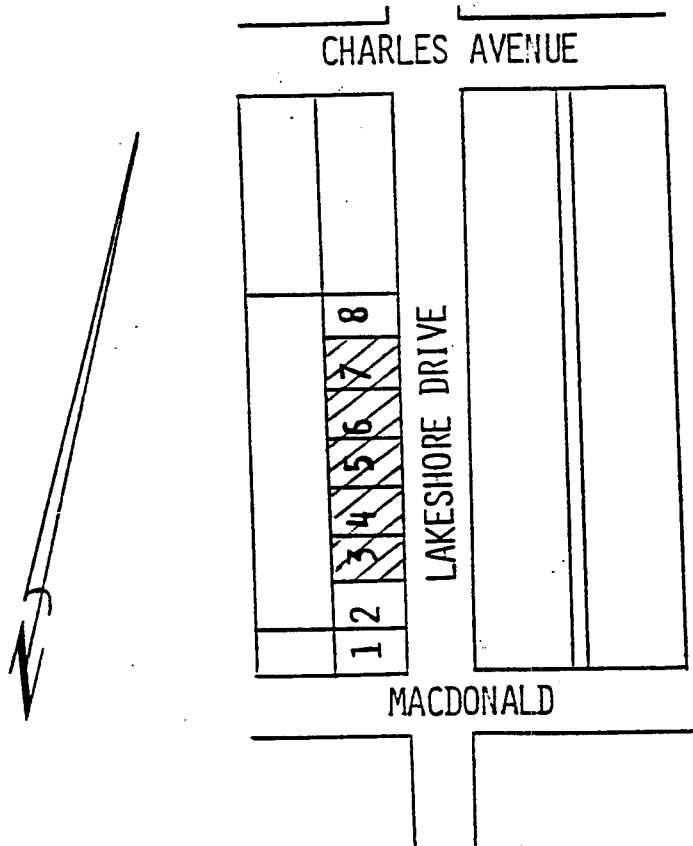
ii) The setback from the front lot line shall be a minimum of twelve (12) metres.

- 11.3.5.2 b) iii) The setback from the side yard shall be a minimum of four and five-tenths (4.5) metres on the northerly side yard and two (2) metres on the southerly side yard.
- iv) The setback from the rear lot line shall be a minimum of one and two-tenths (1.2) metres.
- v) Special regulations for an Automobile Service Station in this zone are as follows:
- a) Minimum lot frontage shall be forty-five and seven-tenths (45.7) metres.
 - b) Minimum lot depth shall be twenty-three and eight-tenths (23.8) metres.
 - c) No portion of any pump island on a service station shall be located closer than three (3) metres from the street line of any street.
 - d) No portion of any building or structure other than a pump island or canopy shall be located closer to the street than twelve (12) metres.
 - e) The maximum width of a ramp at the street line shall be not more than nine (9) metres and the minimum width not less than seven and six-tenths (7.6) metres. The width of the ramp shall be seven and six-tenths (7.6) metres measured perpendicular to the centre line of the ramp.

- 11.3.5.2 b) v) f) The minimum distance of a ramp to the intersection of two streets shall be fifteen (15) metres measured along the street line, and its projection to the intersection of such street line or its projection with another street line or its projection.
- g) The minimum distance between ramps shall be not less than ten and five-tenths (10.5) metres.
- h) The minimum interior angle of a ramp to a street line shall be seventy (70o) degrees and the maximum interior angle of a ramp to the street line shall be ninety (90o) degrees.
- i) The minimum distance from the intersection of any property line of the lot and the street line to the nearest ramp shall be three (3) metres.
- j) No storage of materials incidental to the operation of the Automobile Service Station shall be carried on outside a building that is not completely enclosed by adequate screening in the form of landscaping or fencing to a height of not less than one and eight-tenths (1.8) metres.

11.3.5.3 The use of land in this Commercial Special 5 Zone shall conform to all other regulations of this By-law, except as hereby expressly varied.

SCHEDULE TO COMMERCIAL SPECIAL ZONE NO. 5 (CSP.5)



11.3.6 Commercial Special Zone 6 (C. Sp.6)

11.3.6.1 The property description of this Commercial Special 6 Zone is:

Lot 4, Plan M-244, Gertrude Street West, as shown on the attached Schedule and Schedule "B-60".

11.3.6.2 The special requirements of this Commercial Special 6 Zone are as follows:

a) The Permitted Uses for this zone are:

i) Commercial Uses

- Veterinarian Establishment and Animal Hospital
- Retail uses integral and accessory to the above uses
- Public and Private Parking Area

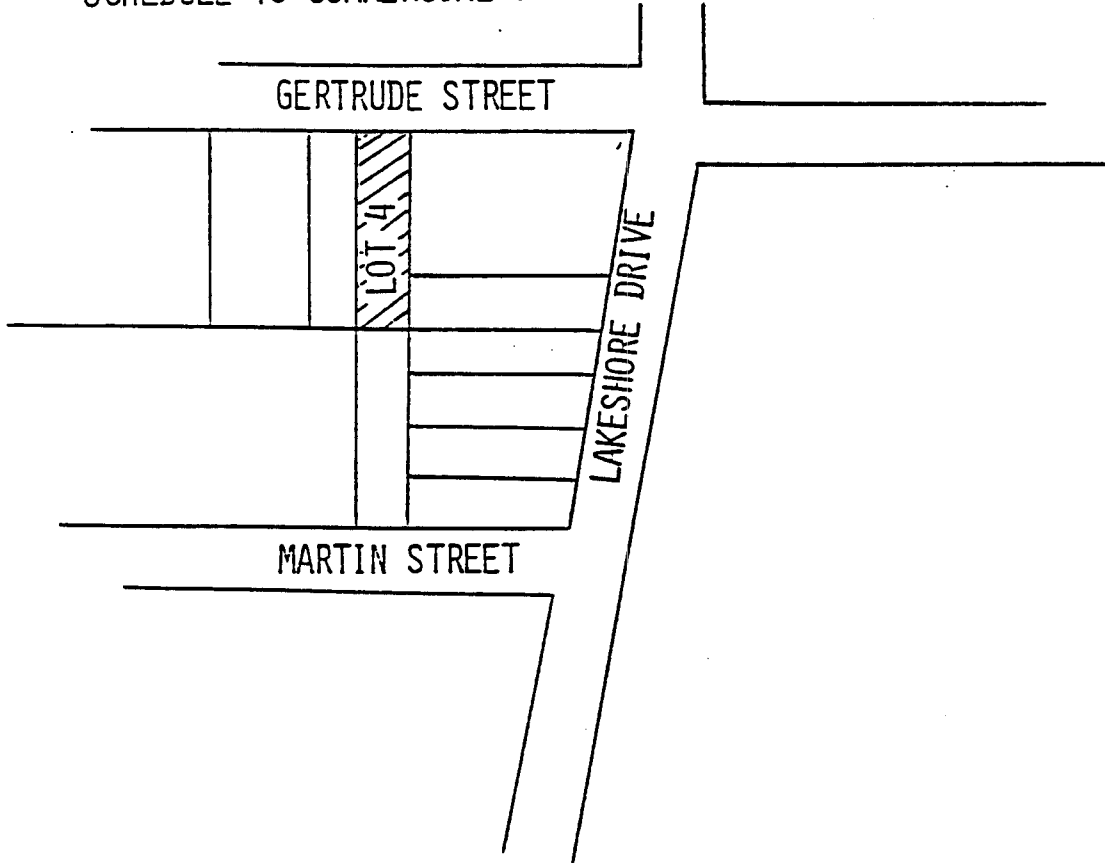
ii) The regulations for this zone are:

- i) The maximum lot coverage shall be twenty (20) percent.
- ii) The minimum front yard shall be ten and five-tenths (10.5) metres.
- iii) The minimum west side yard shall be one and eight-tenths (1.8) metres.
- iv) The minimum east side yard shall be three and six-tenths (3.6) metres.
- v) The minimum rear yard shall be thirty (30) metres.

11.3.6.3 This Commercial Special 6 Zone is hereby designated as a Site Plan Control Area pursuant to Section 35(a) of the Planning Act, as amended.

11.3.6.4 The use of land in this Commercial Special 6 Zone shall conform to all other regulations of this By-law, except as hereby expressly varied.

SCHEDULE TO COMMERCIAL SPECIAL ZONE NO. 6 (CSP. 6)



11.3.7 Commercial Special Zone 7 (C Sp.7)

11.3.7.1 The property description of this Commercial Special 7 Zone is:

Part of Lots 491 and 556,
Plan 21 as shown on the
attached Site Plan and
Schedule "B-51".

(Section 52
By-law No.
165-80)

11.3.7.2 The special requirements of this Commercial Special 7 Zone are as follows:

a) The Permitted Uses are:

i) Commercial Uses

- Auto specialty service shop
- Truck storage facility
- Public and Private Parking Area

b) The regulations are as follows:

i) Ten (10) parking spaces shall be located on the site.

ii) A minimum frontage of eighteen (18) metres shall be required.

iii) A minimum lot depth of twenty-eight and six-tenths (28.6) metres shall be required.

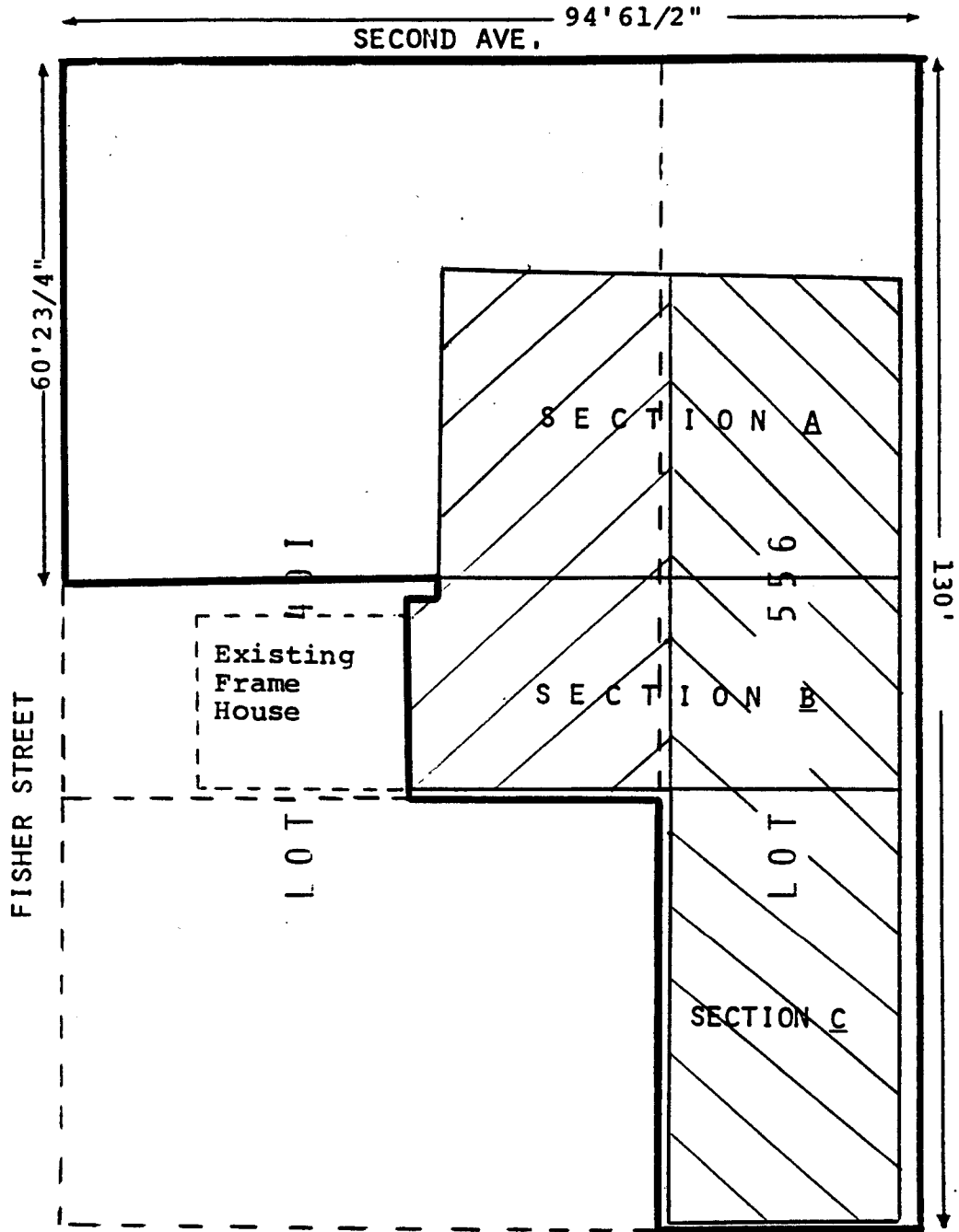
iv) The front yard setback of that portion of the structure identified on the attached Site Plan as Section "A" shall be eleven (11) metres.

v) The front yard setback of that portion of the structure identified on the attached Site Plan as Section "B" shall be nil (0) metres.

- 11.3.7.2 b) vi) The front yard setback of that portion of the structure identified on the attached Site Plan as Section "C" shall be three-tenths (0.3) metres.
- vii) The maximum lot coverage shall be fifty-five (55) percent.
- viii) The minimum exterior side yard setback shall be six (6) metres.
- ix) The minimum interior side yard setback shall be three-tenths (0.3) metres.
- x) The minimum rear yard setback shall be six-tenths (0.6) metres.
- xi) For the purpose of this Commercial Special Zone 7 (C Sp.7) a one and five-tenths (1.5) metre landscaped strip abutting a residential zone shall be required.
- xii) In no case shall parking be located within one (1) metre of the street line.

11.3.7.3 The use of land in this Commercial Special 7 Zone shall conform to all other regulations of this By-law, except as hereby expressly varied. (Section 52 By-law No. 165-80)

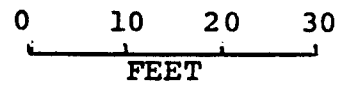
SITE PLAN TO COMMERCIAL SPECIAL
ZONE 7 (CSP.7)



INDICATES SPECIALTY SERVICE AREA



INDICATES TRUCK STORAGE AREA



11.3.8 Commercial Special Zone No. 8 (C. Sp.8)

11.3.8.1 The property description of this Commercial Special No. 8 Zone is:

Part of Lot 29, Plan No. 20 and the westerly portion of Lot 560, Plan No. 21 as shown on the attached Schedule and Schedule "B-51".

11.3.8.2 a) The Permitted Uses in this "Commercial Special Zone No. 8 (C. Sp.8)" are as follows:

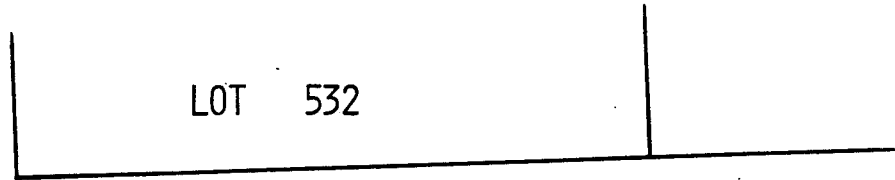
- Professional Offices

b) The regulations for this "Commercial Special Zone No. 8 (C Sp.8)" are as follows:

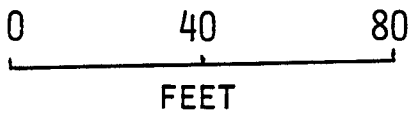
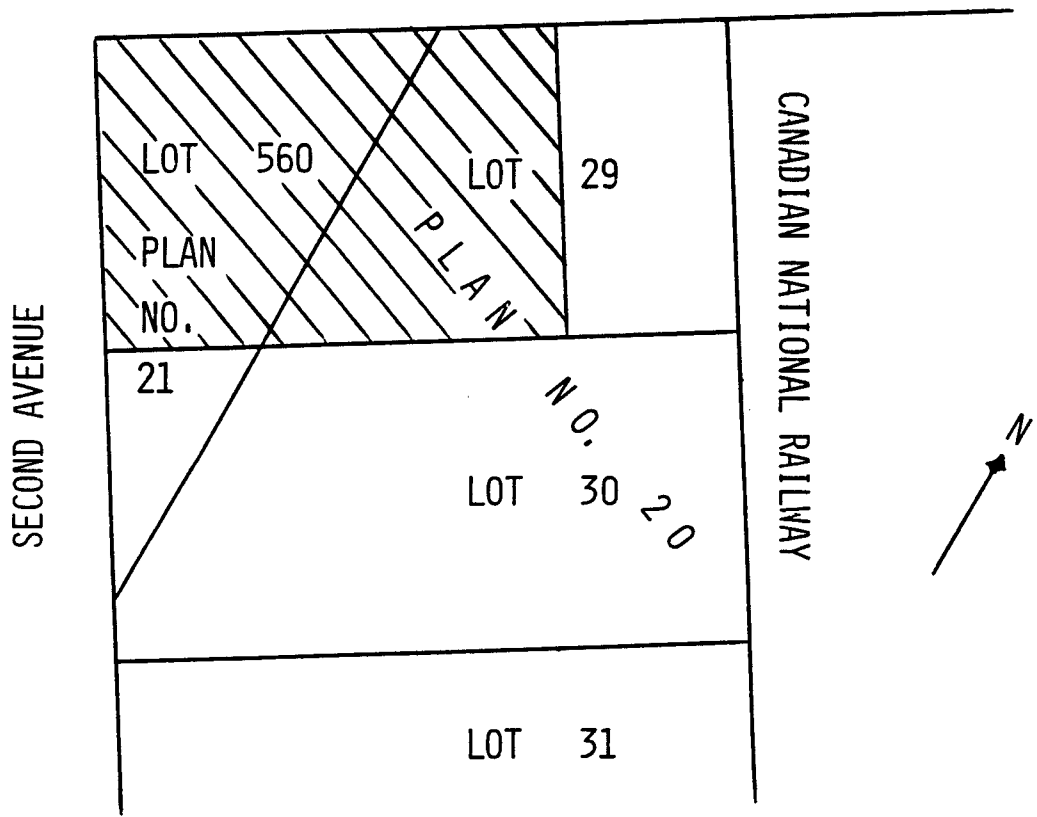
- i) Maximum lot coverage shall be twenty-five (25) percent.
- ii) The minimum front yard setback shall be four and five-tenths (4.5) metres.
- iii) The minimum interior side yard setback shall be one and five-tenths (1.5) metres.
- iv) The minimum exterior side yard setback shall be two and five-tenths (2.5) metres.
- v) The minimum side yard setback where a side lot line abuts a street shall be ten and five-tenths (10.5) metres.
- vi) The minimum number of on site parking spaces is six (6).
- vii) The minimum rear yard setback shall be four and three-tenths (4.3) metres.

11.3.8.3 The use of land in this "Commercial Special Zone No. 8 (C Sp.8)" shall conform to all other regulations of this By-law, except as hereby varied.

SCHEDULE TO "COMMERCIAL SPECIAL ZONE NO. 8(CSP.8)"



FISHER STREET



11.3.9 Commercial Special (C.4) Zone No. 9 (C.4 Sp.9)

11.3.9.1 The property description of this "Commercial Special C.4 No. 9" zone is:

Lots 3 and 4, Plan M-176 as shown on the attached Schedule and Schedule "B-42".

11.3.9.2 a) The Permitted Uses in this "Commercial Special (C.4) Zone No. 9 (C.4 Sp.9)" are as follows:

- Restaurants and Taverns
- Public and Private Parking Areas

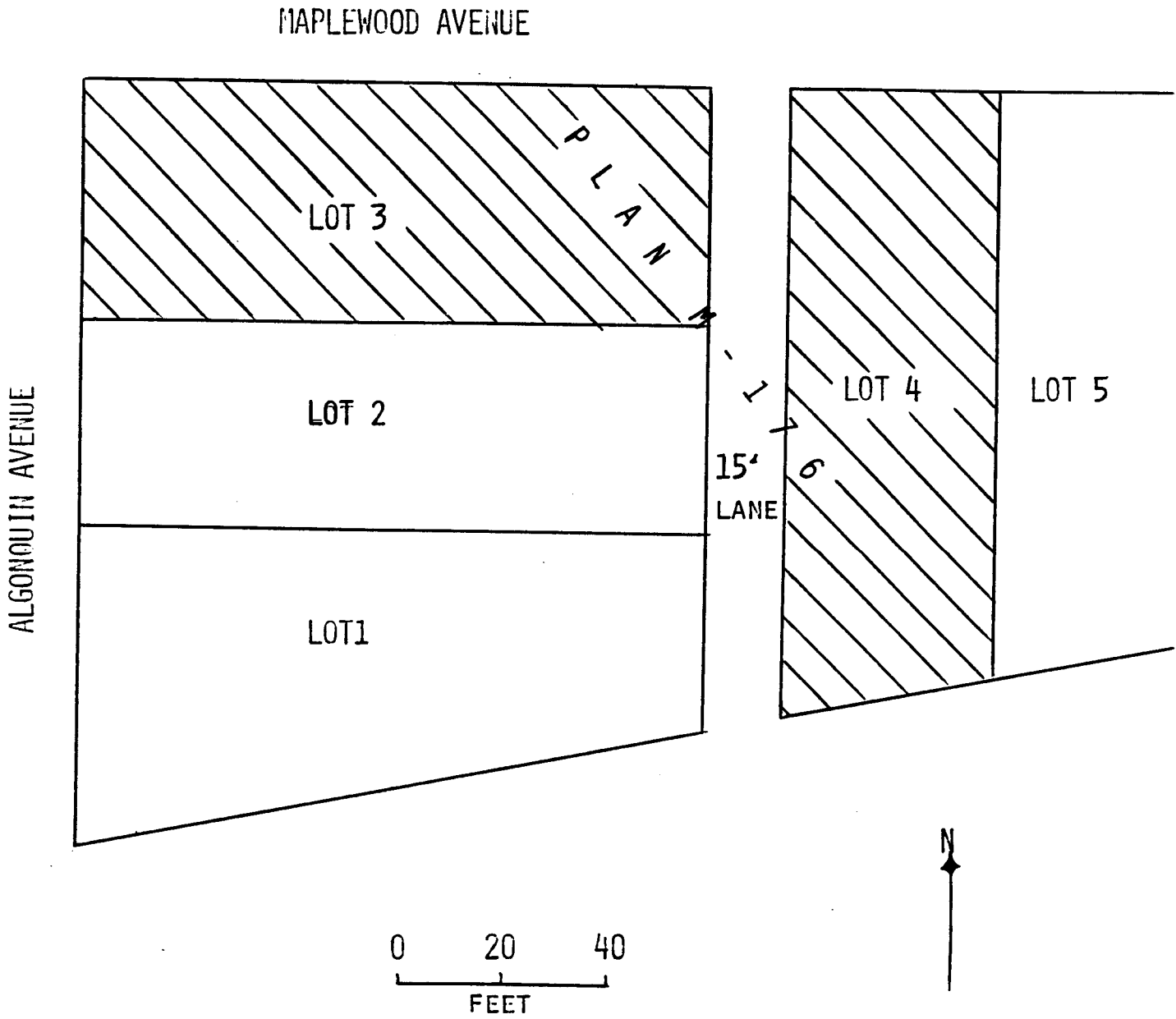
b) The regulations for this "Commercial Special (C.4) Zone No. 9 (C.4 Sp.9)" are as follows:

- i) Maximum lot coverage shall be forty (40) percent.
- ii) The setback from the front lot line shall be a minimum of seven (7) metres.
- iii) The setback from the side lot line shall be a minimum of six-tenths (0.6) metres.
- iv) Where a side lot line abuts a street, the setback from the said side lot line shall be a minimum of four and eight-tenths (4.8) metres.
- v) The setback from the rear lot line shall be a minimum of one and two-tenths (1.2) metres.

11.3.9.3 Notwithstanding the requirement of Section 3.27 that parking spaces be provided on the same lot as the building on the lot, any parking spaces required for any building on Lot 3, Plan M-176 may be located on Lot 4, Plan M-176, provided the number of parking spaces required by Section 3.27 is met.

11.3.9.4 The use of land in this "Commercial Special (C.4) Zone No. 9 (C.4 Sp.9)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

SCHEDULE TO "COMMERCIAL SPECIAL (C.4) ZONE NO. 9(C4SP.9)"



11.3.10 Commercial Special (C.4) Zone No. 10 (C.4 Sp.10)

11.3.10.1 The property description of this "Commercial Special (C.4) Zone No. 10" is:

Lots 921-925 inclusive and Part of Lots 917-920 inclusive, Plan M-177 and Parcel 1331 W&F, Parcel 2227 W&F, and Parcel 15224 W&F as shown on the attached Schedule and Schedule "B-43".

11.3.10.2 a) The Permitted Uses in this "Commercial Special (C.4) Zone No. 10 (C.4 Sp.10)" are as follows:

- Automobile Service Station or Gas Bar
- Banks
- Business Offices
- Financial Institutions
- Food Stores
- Public and Private Parking Areas
- Places of Entertainment
- Hotels, Motels
- Professional Offices
- Restaurants and Taverns
- Service Establishments that are not obnoxious

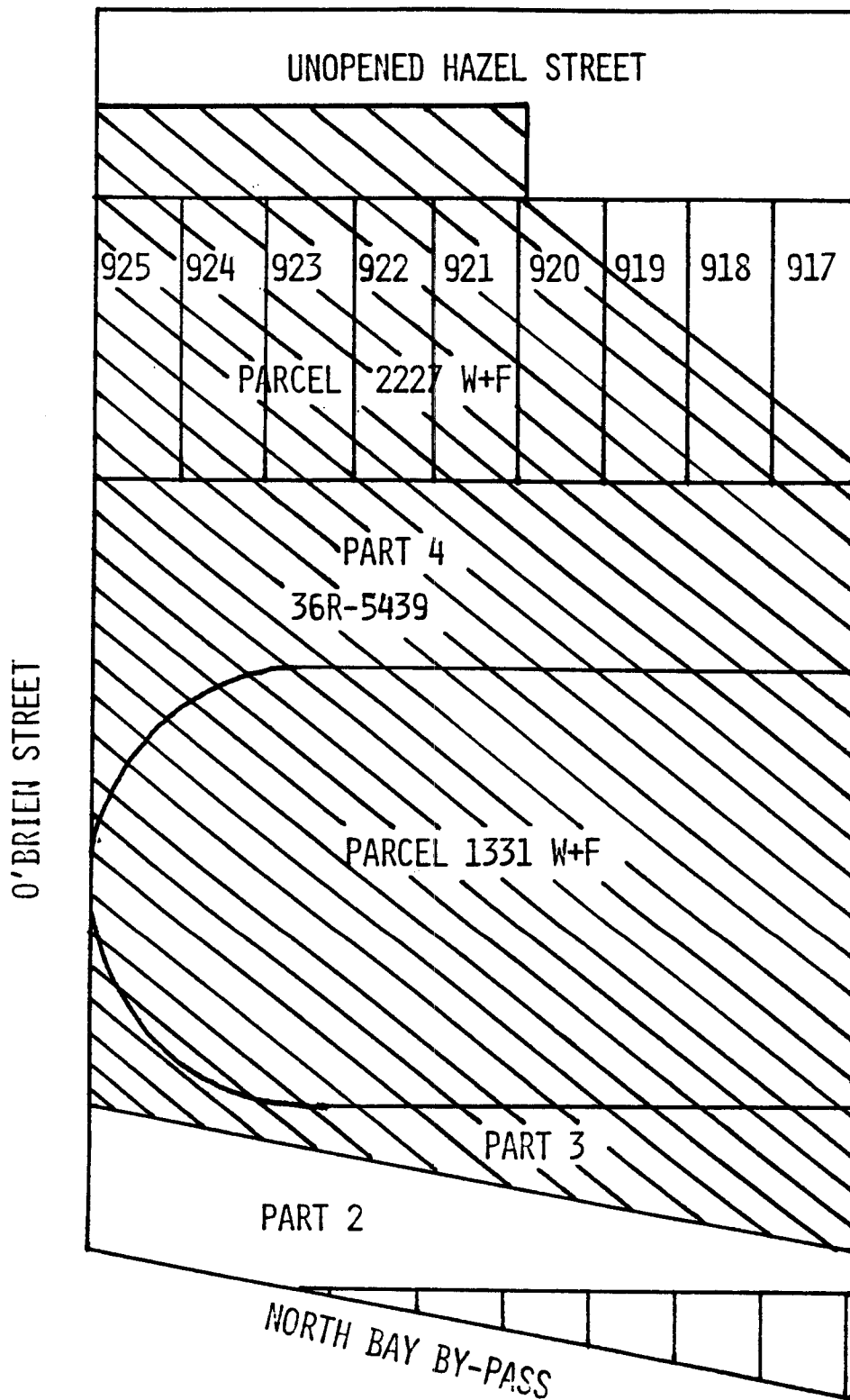
b) The regulations for this "Commercial Special (C.4) Zone No. 10 (C.4 Sp.10)" are as follows:

- i) Maximum lot coverage shall be twenty-five (25) percent.
- ii) The setback from the front lot line shall be a minimum of nineteen and eight-tenths (19.8) metres.
- iii) The setback from the side lot line shall be a minimum of seven and six-tenths (7.6) metres.
- iv) Where a side lot line abuts a street, the setback from the said side lot line shall be a minimum of twenty-one (21) metres.

11.3.10.2 b) v) The setback from the rear lot line shall be a minimum of six and seven-tenths (6.7) metres.

11.3.10.3 The use of land in this "Commercial Special (C.4) Zone No. 10 (C.4 Sp.10)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

SCHEDULE TO "COMMERCIAL SPECIAL(C.4) ZONE NO.10(C.4SP.10)"



11.3.11 Commercial Special (C.4) Zone No. 11 (C.4 Sp.11)

11.3.11.1 The property description of this "Commercial Special (C.4) Zone No. 11" is:

Lots 146 to 148 and 151 to 156 inclusive, Plan M-176, Parcel 3113 W&F and 14772 W&F, as shown on the attached Schedule and Schedule "B-42".

11.3.11.2 a) The Permitted Uses in this "Commercial Special (C.4) Zone No. 11 (C.4 Sp.11)" are as follows:

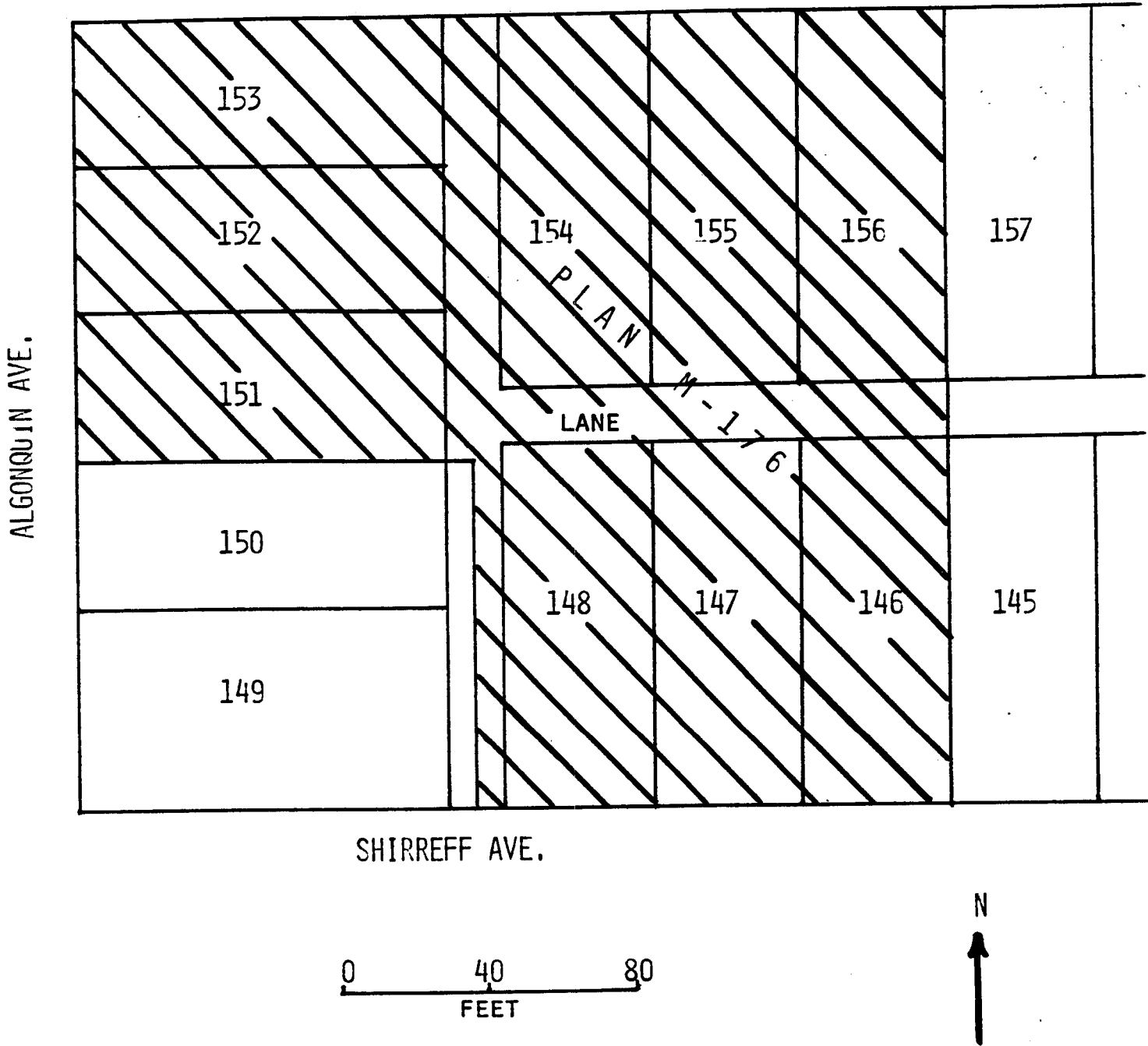
- Automobile Service Station or Gas Bar
- Banks
- Business Offices
- Financial Institutions
- Food Stores
- Local Retail Stores
- Public and Private Parking Areas
- Places of Entertainment
- Hotels, Motels
- Professional Offices
- Restaurants and Taverns
- Retail Stores
- Service Establishments that are not obnoxious

b) The regulations for this "Commercial Special (C.4) Zone No. 11 (C.4 Sp.11)" are as follows:

- i) Maximum lot coverage shall be twenty-five (25) percent.
- ii) The setback from the front lot line shall be a minimum of fifteen and four-tenths (15.4) metres.
- iii) The setback from the side lot line shall be a minimum of four and five-tenths (4.5) metres.
- iv) The setback from the rear lot line shall be a minimum of seven and six-tenths (7.6) metres.

11.3.11.3 The use of land in this "Commercial Special (C.4) Zone No. 11 (C.4 Sp.11)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

SCHEDULE TO "COMMERCIAL SPECIAL(C.4) ZONE NO. 11(C.4SP.11)"



11.3.12 Commercial Special (C.4) Zone No. 12 (C.4 Sp.12)

11.3.12.1 The property description of this "Commercial Special (C.4) Zone No. 12" is:

Lot 14 and the south one-half of Lot 15, Plan M-177, as shown on the attached Schedule and Schedule "B-42".

11.3.12.2 a) No person shall use land or erect or construct any building or structure in this "Commercial Special (C.4) Zone No. 12 (C.4 Sp.12)" except for the following uses:

i) Commercial Uses

- Repair Garage

ii) Residential

- One (1) dwelling for an essential workman or caretaker

b) The regulations for this "Commercial Special (C.4) Zone No. 12 (C.4 Sp.12)" are as follows:

i) Maximum lot coverage shall be twenty-five (25) percent.

ii) The setback from the front lot line shall be nil.

iii) The setback from the northerly side lot line for the residential use on the property shall be a minimum of five and two-tenths (5.2) metres.

iv) The setback from the southerly side lot line for the residential use on the property shall be a minimum of two and eighty-six hundredths (2.86) metres.

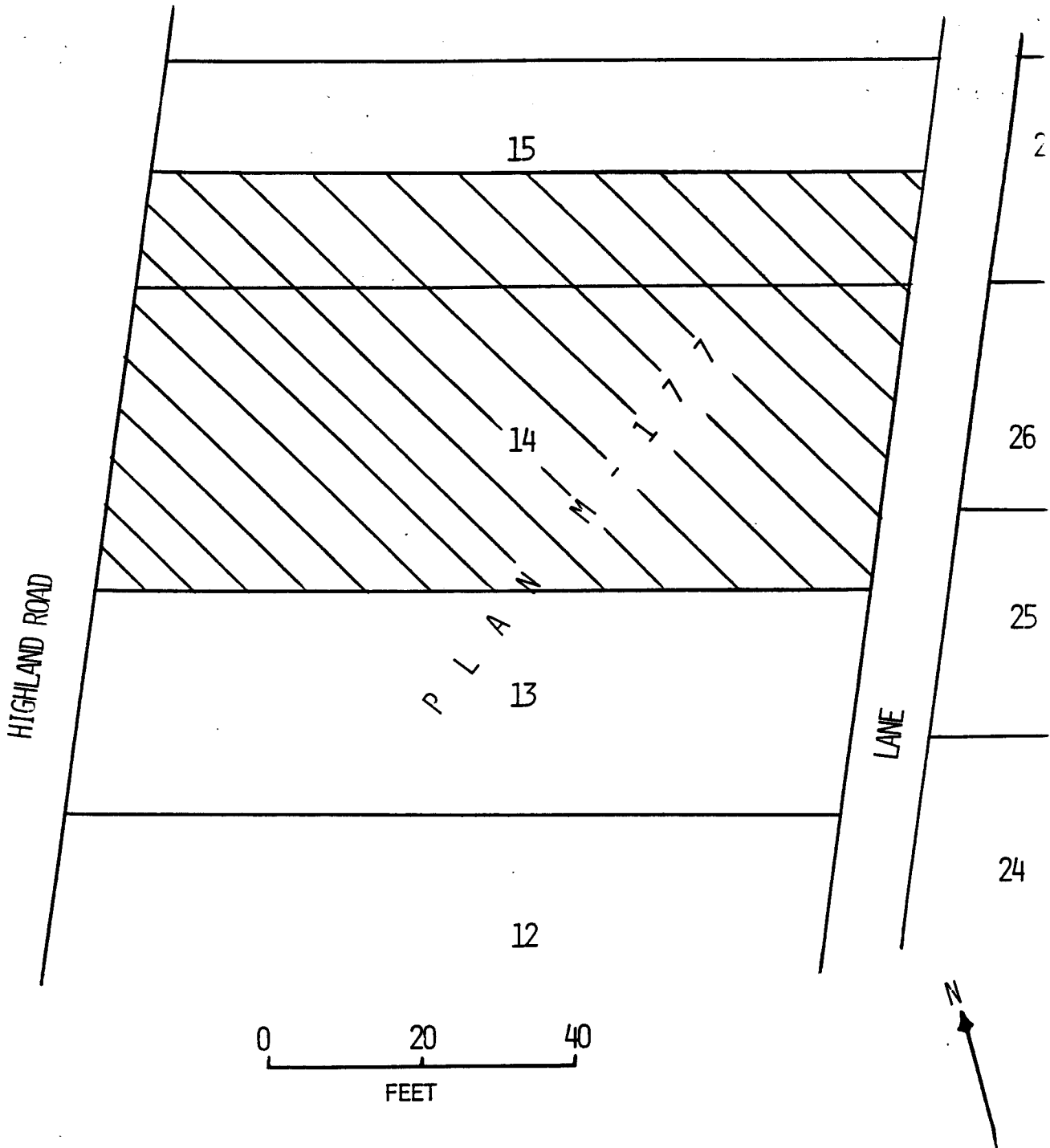
v) The setback from the northerly side lot line for the commercial use on the property shall be a minimum of seventy-eight hundredths (0.78) metres.

11.3.12.2 a) vi) The setback from the southerly side lot line for the commercial use on the property shall be a minimum of one and ninety-nine hundredths (1.99) metres.

vii) The setback from the rear lot line shall be nil.

11.3.12.3 The use of land in this "Commercial Special (C.4) Zone No. 12 (C.4 Sp.12)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

SCHEDULE TO "COMMERCIAL SPECIAL(C.4)ZONE NO. 12(C.4SP.12)"



11.3.13 Commercial Special Zone No. 13 (C.4 Sp.13)

11.3.13.1 The property description of this "Commercial Special Zone No. 13 (C.4 Sp.13)" is:

Lots 118, 119 and 120, Plan M-176 in the City of North Bay as shown on the attached Schedule and Schedule "B-42".

11.3.13.2 a) No person shall use land or erect or construct any building or structure in this "Commercial Special Zone No. 13 (C.4 Sp.13)" except for the following uses:

- Automobile Service Station or Gas Bar
- Banks
- Business Offices
- Financial Institutions
- Food Stores
- Local Retail Store
- Public and Private Parking Areas
- Places of Entertainment
- Hotels, Motels
- Professional Offices
- Restaurants and Taverns
- Retail Stores

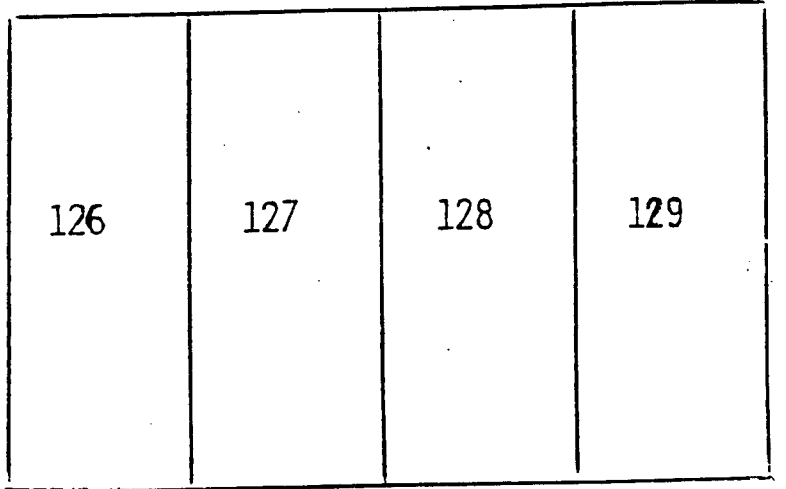
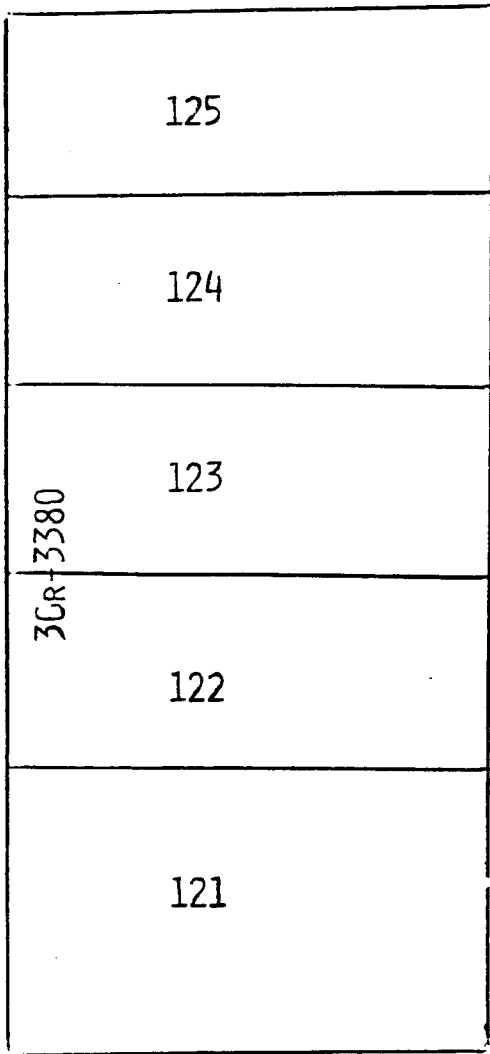
b) The regulations for this "Commercial Special Zone No. 13 (C.4 Sp.13)" are as follows:

- i) Maximum lot coverage shall be thirty (30) percent.
- ii) The setback from the front lot line shall be six (6) metres.
- iii) The setback from the westerly side lot line shall be a minimum of three and six-tenths (3.6) metres.
- iv) The setback from the easterly side lot line shall be a minimum of seven and six-tenths (7.6) metres.
- v) The setback from the rear yard lot line shall be a minimum of three and six-tenths (3.6) metres.

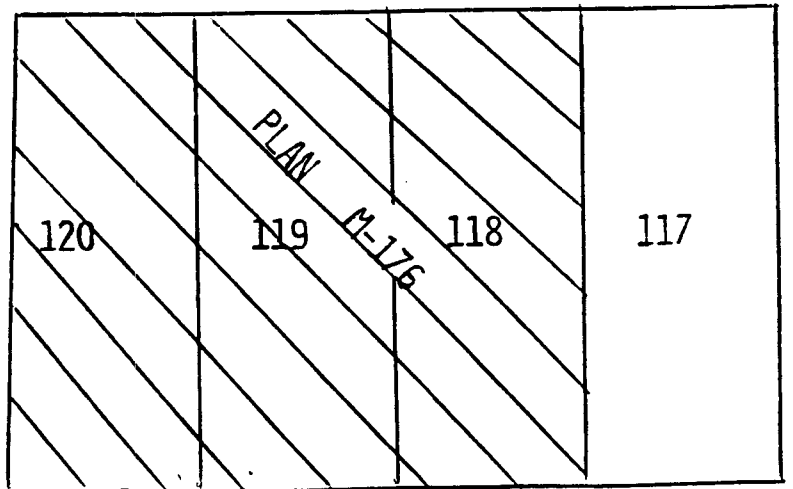
11.3.13.3 The use of land or buildings in this
"Commercial Special Zone No. 13
(C.4 Sp.13)" shall conform to all other
regulations of this By-law, except as
hereby expressly varied.

SCHEDULE TO "COMMERCIAL SPECIAL(C.4) ZONE NO. 13(C.4SP.13)"

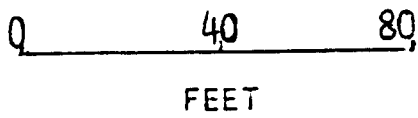
SHIRREFF AVENUE



LANE



SPENCER AVENUE



11.3.15 Commercial Special Zone No. 15 (C.6 Sp.15)

11.3.15.1 The property description of this "Commercial Special Zone No. 15 (C.6 Sp.15)" is:

Parts 1, 2 and 3 of Plan 36R-6476 in the City of North Bay as shown on the attached Schedule and Schedule "B-31".

11.3.15.2 a) No person shall use land or erect or construct any building or structure in this "Commercial Special Zone No. 15 (C.6 Sp.15)" except for the following uses:

- Restaurants and Taverns

b) The regulations for this "Commercial Special Zone No. 15 (C.6 Sp.5)" are as follows:

i) Maximum lot coverage shall be forty (40) percent.

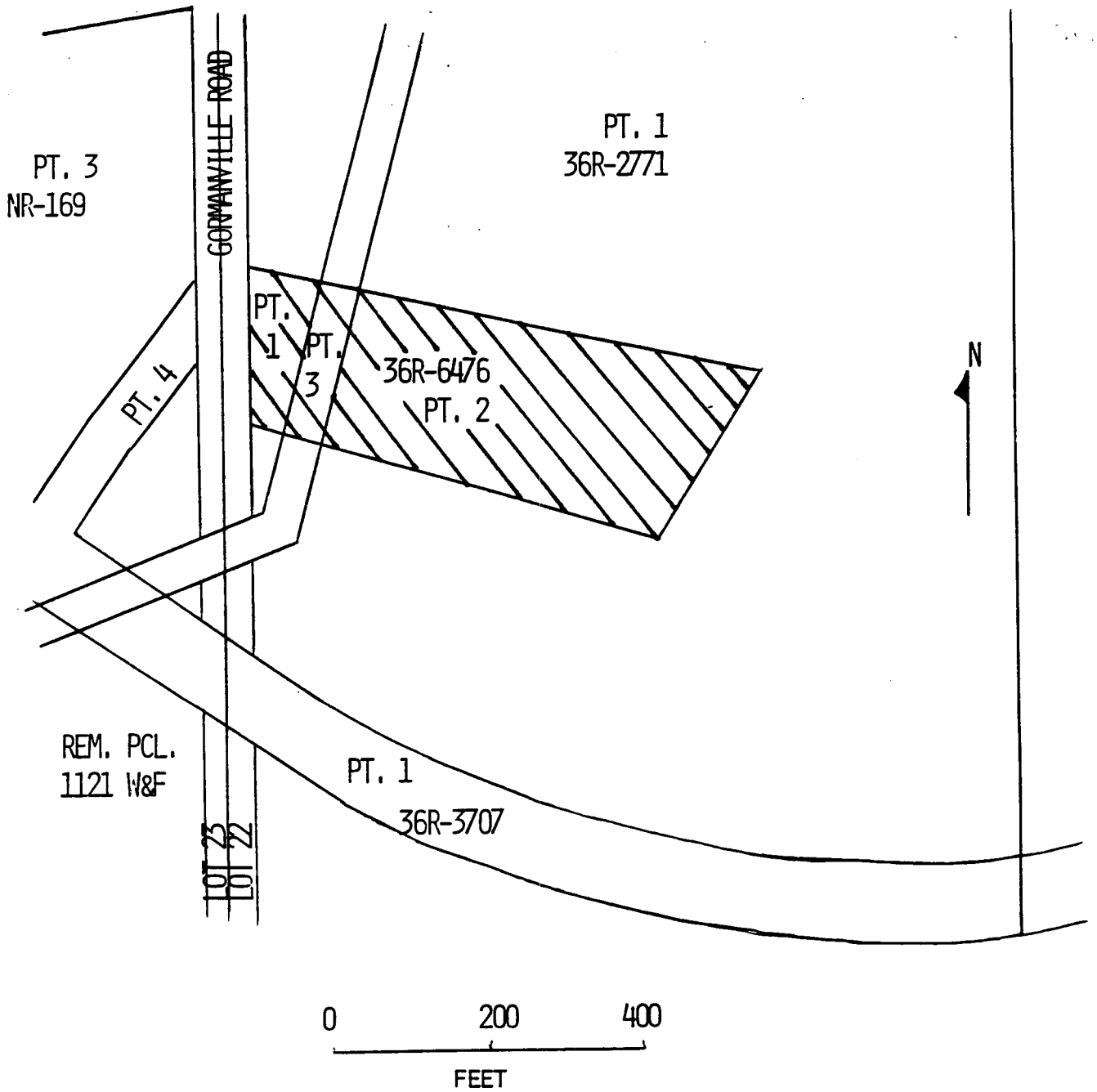
ii) The setback from the front lot line shall be a minimum of twelve (12) metres.

iii) The setback from the side lot line shall be a minimum of seven and six-tenths (7.6) metres.

iv) The setback from the rear yard lot line shall be a minimum of seven and six-tenths (7.6) metres.

11.3.15.3 The use of land or buildings in this "Commercial Special Zone No. 15 (C.6 Sp.15)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

SCHEDULE TO "COMMERCIAL SPECIAL ZONE NO. 15(C.6SP.15)"



11.3.16 Commercial Special Zone No. 16 (C.2 Sp.16)

11.3.16.1 The property description of this "Commercial Special Zone No. 16 (C.2 Sp.16)" is:

Lot 27 and Part of Lot 26, Plan 10 along Main Street, Sherbrooke Street and Oak Street, in the City of North Bay as shown on the attached Schedule and Schedule "B-50".

11.3.16.2 a) No person shall use land, or erect or construct any building or structure in this "Commercial Special Zone No. 16 (C.2 Sp.16)", except for the following uses:

- Animal Hospitals
- Automobile Service Stations
- Banks
- Business Offices
- Bus Station
- Financial Institutions
- Food Stores
- Funeral Homes
- Hotels, Motels
- Local Retail Stores
- Open Air Markets
- Places of Entertainment
- Professional Offices
- Public and Private Parks
- Public and Private Parking Areas
- Repair Garage (Body Shop)
- Restaurants and Taverns
- Retail Stores
- Service Establishments that are not obnoxious
- Wholesale Uses
- Twenty-one (21) dwelling units connected to and forming an integral part of the commercial building, provided that they do not exceed four hundred and twenty-five (425) percent of the floor area of the commercial portion of the use and access to the dwelling units is separate from the access to the commercial portion of the building

11.3.16.2 a) - and the dwelling units are located above and or at the rear of the business premises.

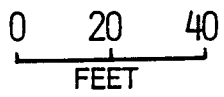
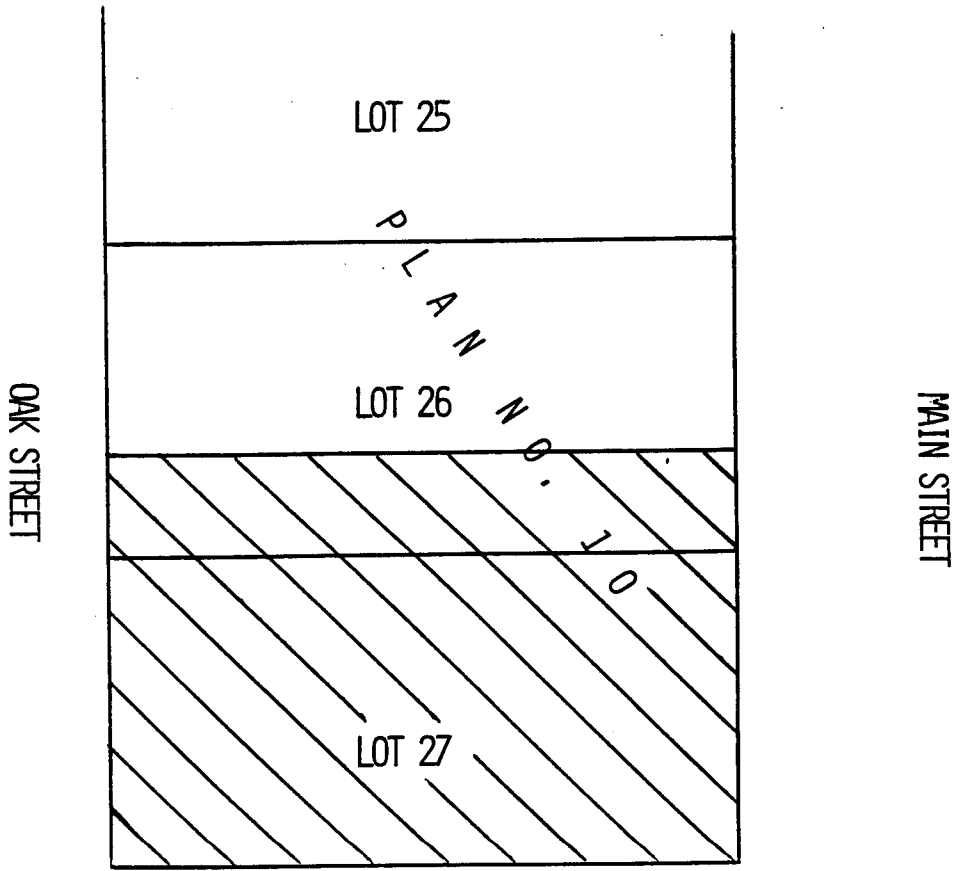
- Clubs and Fraternal Organizations
- Places of Worship
- Public and Private Hospitals
- Institutional Uses

b) The regulations for this "Commercial Special Zone No. 16 (C.2 Sp.16)" are as follows:

- i) Maximum lot coverage shall be seventy-five (75) percent.
- ii) The setback from the front lot line shall be nil.
- iii) The setback from the side lot line shall be nil.
- iv) The setback from the rear yard lot line shall be nil.
- v) The minimum number of off-street parking spaces shall be twenty (20).

11.3.16.3 The use of land or buildings in this "Commercial Special Zone No. 16 (C.2 Sp.16)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

SCHEDULE TO "COMMERCIAL SPECIAL ZONE NO. 16(C.2SP.16)"



11.3.17 Commercial Special Zone No. 17 (C.4 Sp.17)

11.3.17.1 The property description of this "Commercial Special Zone No. 17 (C.4 Sp.17)" is:

Parts 6, 7, 19, 21, 33, 36, 54, 57, 58, 61, 65, 66, 89, 91 and 93 of Plan 36R-5102 along Barker Street in the City of North Bay as shown on the attached Schedule and Schedule "B-44".

11.3.17.2 a) No person shall use land, or erect or construct any building or structure in this "Commercial Special Zone No. 17 (C.4 Sp.17)", except for the following uses:

- Automobile Service Station or Gas Bar
- Banks
- Business Offices
- Financial Institutions
- Food Stores
- Local Retail Stores
- Public and Private Parking Areas
- Places of Entertainment
- Hotels, Motels
- Professional Offices
- Restaurants and Taverns
- Retail Stores
- Service Establishments that are not obnoxious
- Dwelling units connected to and forming an integral part of the commercial building provided that access to the dwelling units is separate from the access to the commercial portion of the building.
- Club and Fraternal Organizations

b) The regulations for this "Commercial Special Zone No. 17 (C.4 Sp.17)" are as follows:

- i) Maximum lot coverage shall be twenty-five percent (25%).
- ii) The setback from the front lot line shall be seventeen (17) metres.

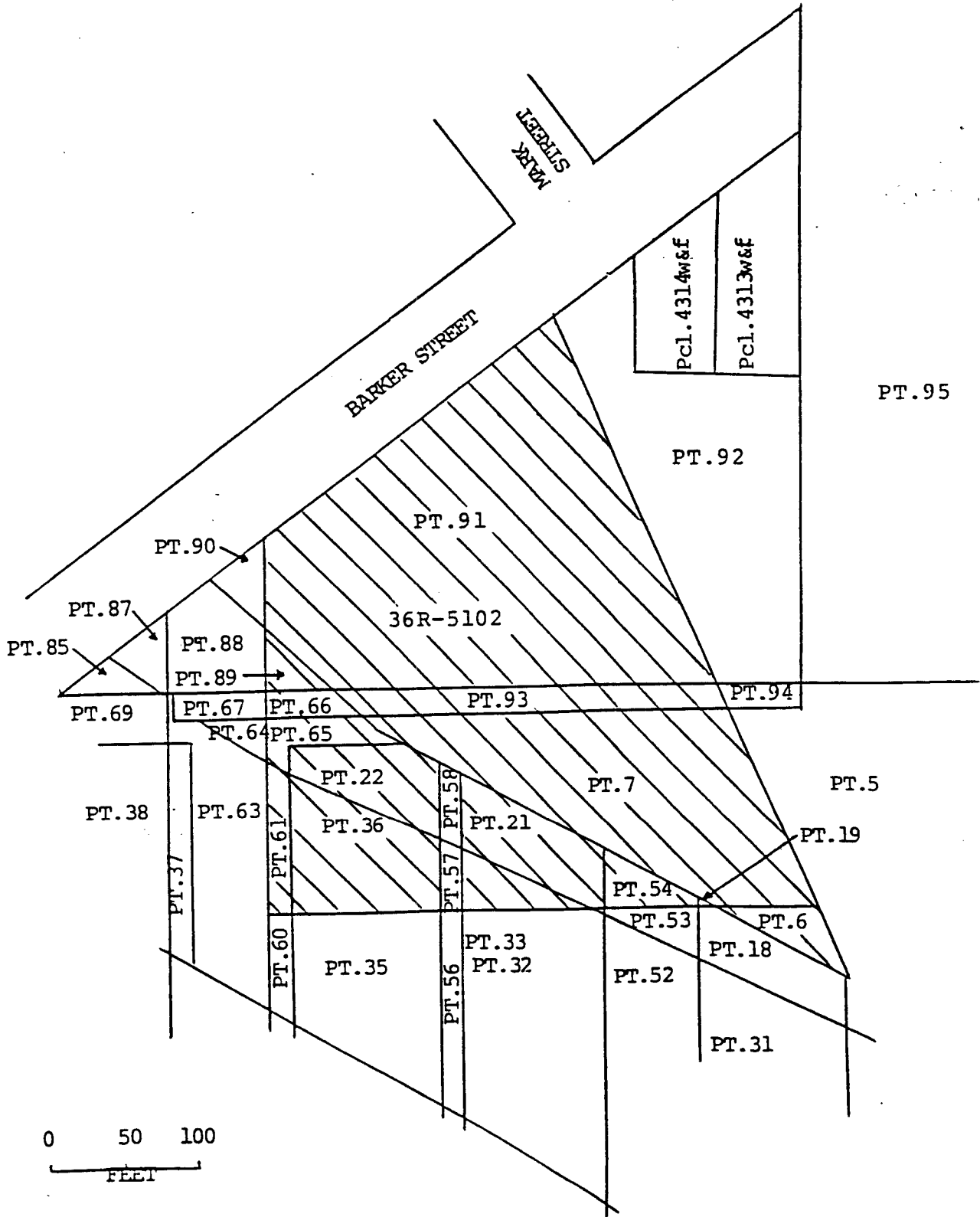
11.3.17.2 b) iii) The setback from the easterly side lot line shall be a minimum of six (6) metres.

iv) The setback from the westerly side lot line shall be a minimum of seven and six-tenths (7.6) metres.

v) The setback from the rear yard lot line shall be a minimum of ten and five-tenths (10.5) metres.

11.3.17.3 The use of land or buildings in this "Commercial Special Zone No. 17 (C.4 Sp.17)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

SCHEDULE TO "COMMERCIAL SPECIAL ZONE NO.17(C.4SP.17)"



11.3.18 **General Commercial Outer Core
Special Zone No. 18 (C.2 Sp.18)**

11.3.18.1 The property description of this General Commercial Outer Core Special Zone No. 18 (C.2 Sp.18)" is:

Lots 451, 452, 519 and 520, Plan No. 21 along First Avenue in the City of North Bay as shown on the attached Schedule and Schedule "B-50".

11.3.18.2 a) No person shall use land, or erect or construct any building or structure in this "General Commercial Outer Core Special Zone No. 18 (C.2 Sp.18)" except for the following uses:

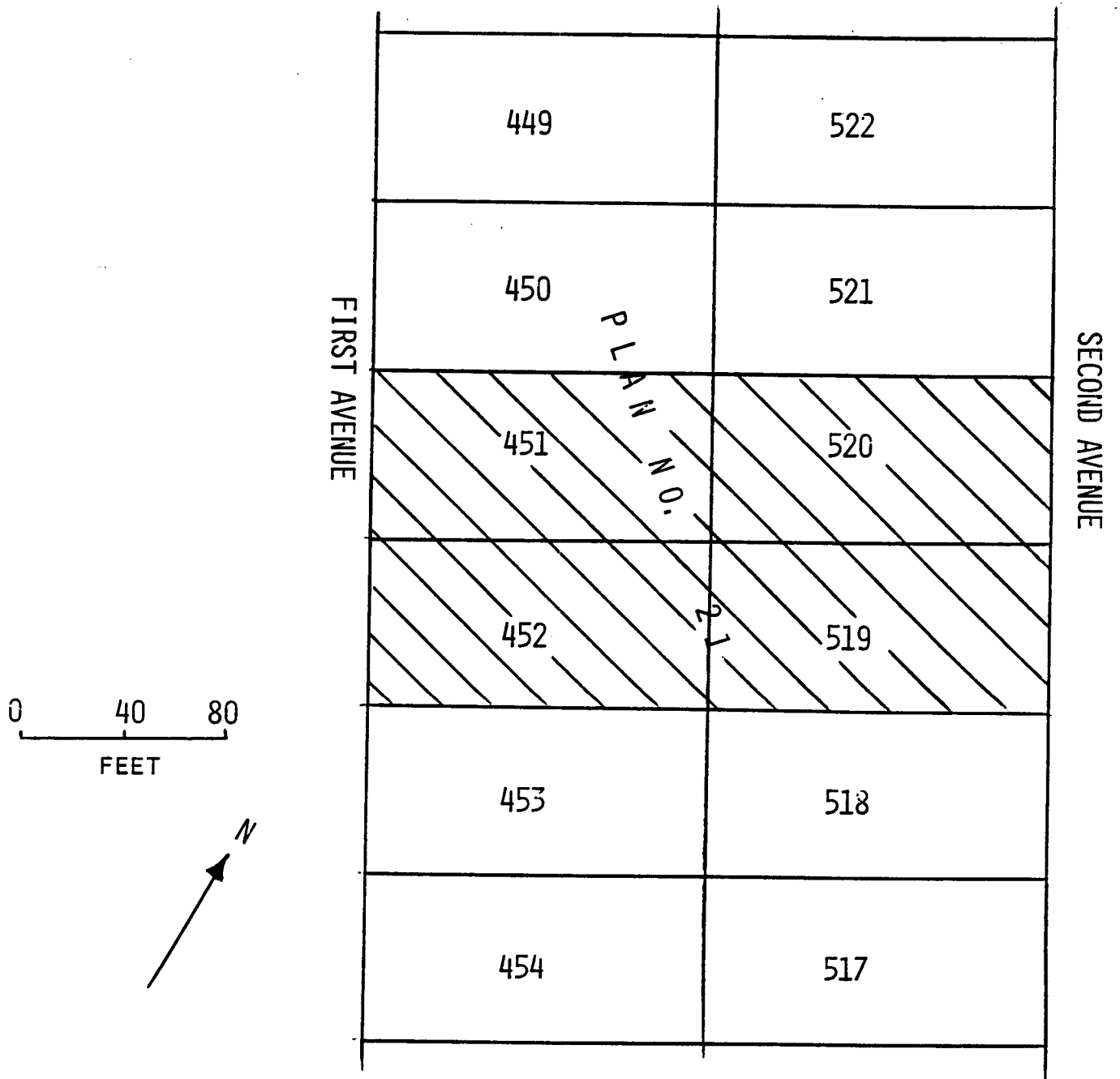
- Clubs and Fraternal Organizations
- Private Parking Areas

b) The regulations for this "General Commercial Outer Core Special Zone No. 18 (C.2 Sp.18)" are as follows:

- i) The maximum lot coverage shall be seventy-five (75) percent.
- ii) The minimum setback from the front lot line shall be nil.
- iii) The minimum setback from the side lot line shall be four and five-tenths (4.5) metres.
- iv) The minimum setback from the rear lot line shall be ten and five-tenths (10.5) metres.
- v) The maximum floor space index shall be three (3) for the commercial portion of the building.

11.3.18.3 The use of land or buildings in this "General Commercial Outer Core Special Zone No. 18 (C.2 Sp.18)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

SCHEDULE TO "GENERAL COMMERCIAL OUTER CORE SPECIAL ZONE NO.18(C.2SP18)"



11.3.19 Commercial Special Zone No. 19 (C.4 Sp.19)

11.3.19.1 The property description of this "Commercial Special Zone No. 19 (C.4 Sp.19)" is:

Parcel 3190 W&F, along Trout Lake Road in the City of North Bay as shown on the attached Schedule and Schedule "B-44".

11.3.19.2 a) No person shall use land, or erect or construct any building or structure in this "Commercial Special Zone No. 19 (C.4 Sp.19)" except for the following uses:

- Automobile Service Station or Gar Bar
- Banks
- Business Offices
- Financial Institutions
- Food Stores
- Local Retail Stores
- Public and Private Parking Areas
- Place of Entertainment
- Hotels, Motels
- Professional Offices
- Restaurants and Taverns
- Retail Stores
- Service Establishments that are not obnoxious
- Dwelling units connected to and forming an integral part of the commercial building provided that access to the dwelling units is separate from the access to the commercial portion of the building.
- Club and Fraternal Organizations

b) The regulations for this "Commercial Special Zone No. 19 (C.4 Sp.19)" are as follows:

- i) Maximum lot coverage shall be twenty-five (25) percent.
- ii) The setback from the front lot line shall be a minimum of fifteen (15) metres.

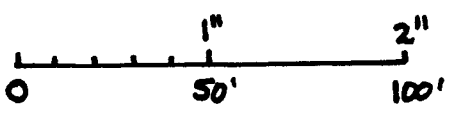
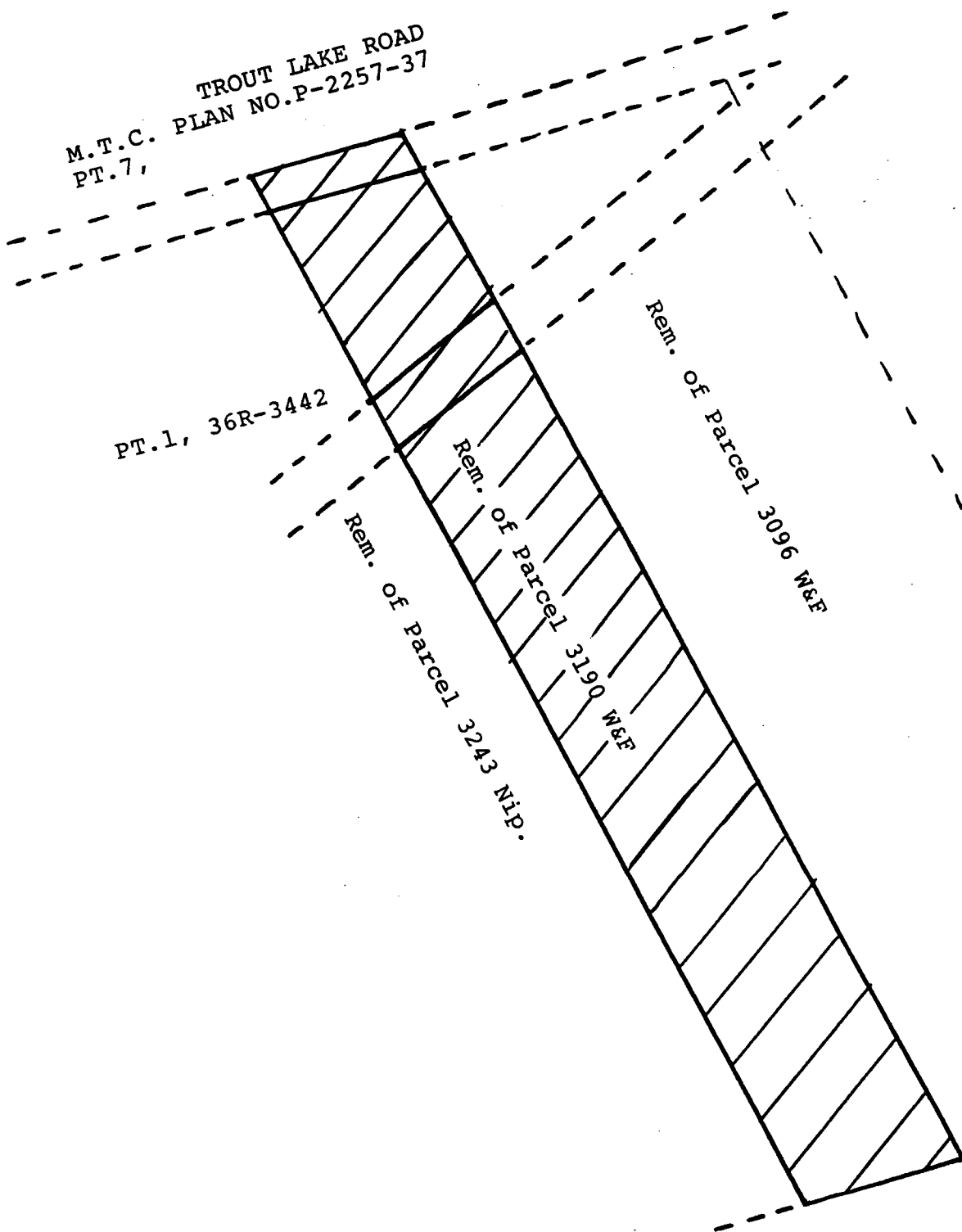
11.3.19.2 b) iii) The setback from the easterly side lot line shall be a minimum of one and eight-tenths (1.8) metres.

iv) The setback from the westerly side lot line shall be a minimum of one and eight-tenths (1.8) metres.

v) The setback from the rear yard lot line shall be a minimum of ten and five-tenths (10.5) metres.

11.3.19.3 The use of land or buildings in this "Commercial Special Zone No. 19 (C.4 Sp.19)" shall conform to all other regulations of this By-law except as hereby expressly varied.

Schedule to "Commercial Special Zone No. 19 (C.4 Sp.19)"



11.3.20 Neighbourhood Commercial Special Zone No. 20 (C.5 Sp.20)

11.3.20.1 The property description of this "Neighbourhood Commercial Special Zone No. 20 (C.5 Sp.20)" is:

Parcel 1136 W&F in the City of North Bay as shown on the attached Schedule and Schedule "B-83".

11.3.20.2 a) No person shall use land or erect or construct any building or structure in this "Neighbourhood Commercial Special Zone No. 20 (C.5 Sp.20)" except for the following uses:

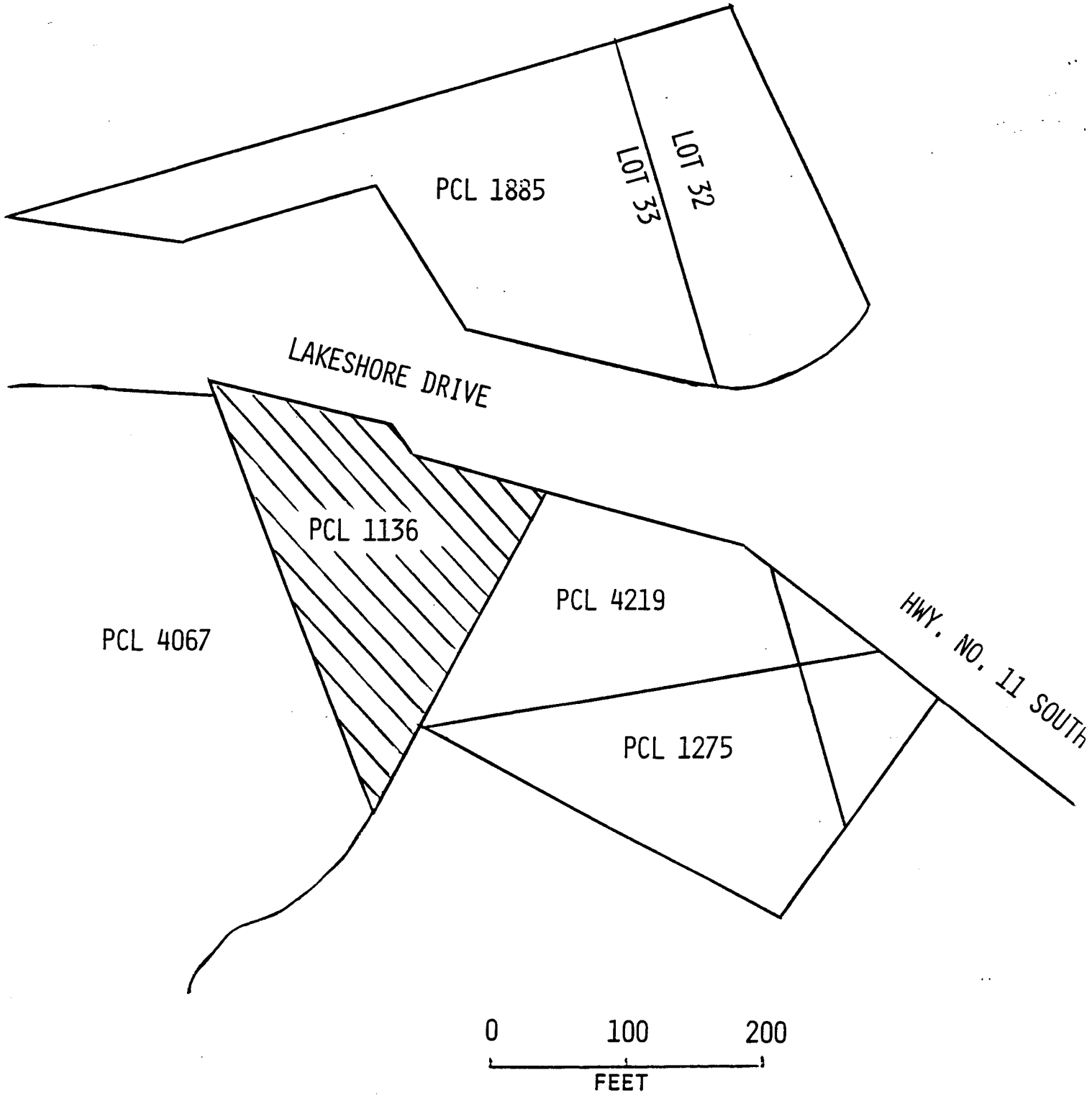
- Garden Centre
- Single detached dwelling for essential workman or caretaker

b) The regulations for this "Neighbourhood Commercial Special Zone No. 20 (C.5 Sp.20)" are as follows:

- i) Maximum lot coverage shall be twenty-five (25) percent.
- ii) The setback from the front lot line shall be a minimum of nine (9) metres.
- iii) The setback from the easterly side lot line shall be a minimum of ten (10) metres.
- iv) The setback from the westerly side lot line shall be a minimum of four and five-tenths (4.5) metres.
- v) The setback from the rear yard lot line shall be a minimum of ten and five-tenths (10.5) metres.

11.3.20.3 The use of land or buildings in this "Neighbourhood Commercial Special Zone No. 20 (C.5 Sp.20)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

Schedule to "Neighbourhood Commercial Special Zone No. 20 (C.5 Sp.20)"



11.3.21 District Commercial Special Zone No. 21 (C.4 Sp.21)

11.3.21.1 The property description of this "District Commercial Special Zone No. 21 (C.4 Sp.21)" is:

Parcel 5822 W&F along Algonquin Avenue in the City of North Bay as shown on the attached Schedule and Schedule "B-32".

11.3.21.2 a) No person shall use land or erect or construct any building or structure in this "District Commercial Special Zone No. 21 (C.4 Sp.21)" except for the following uses:

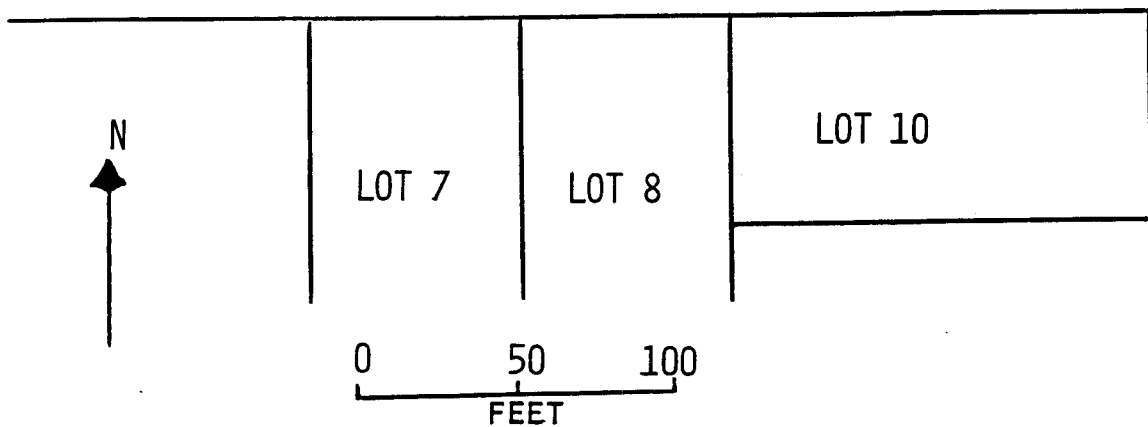
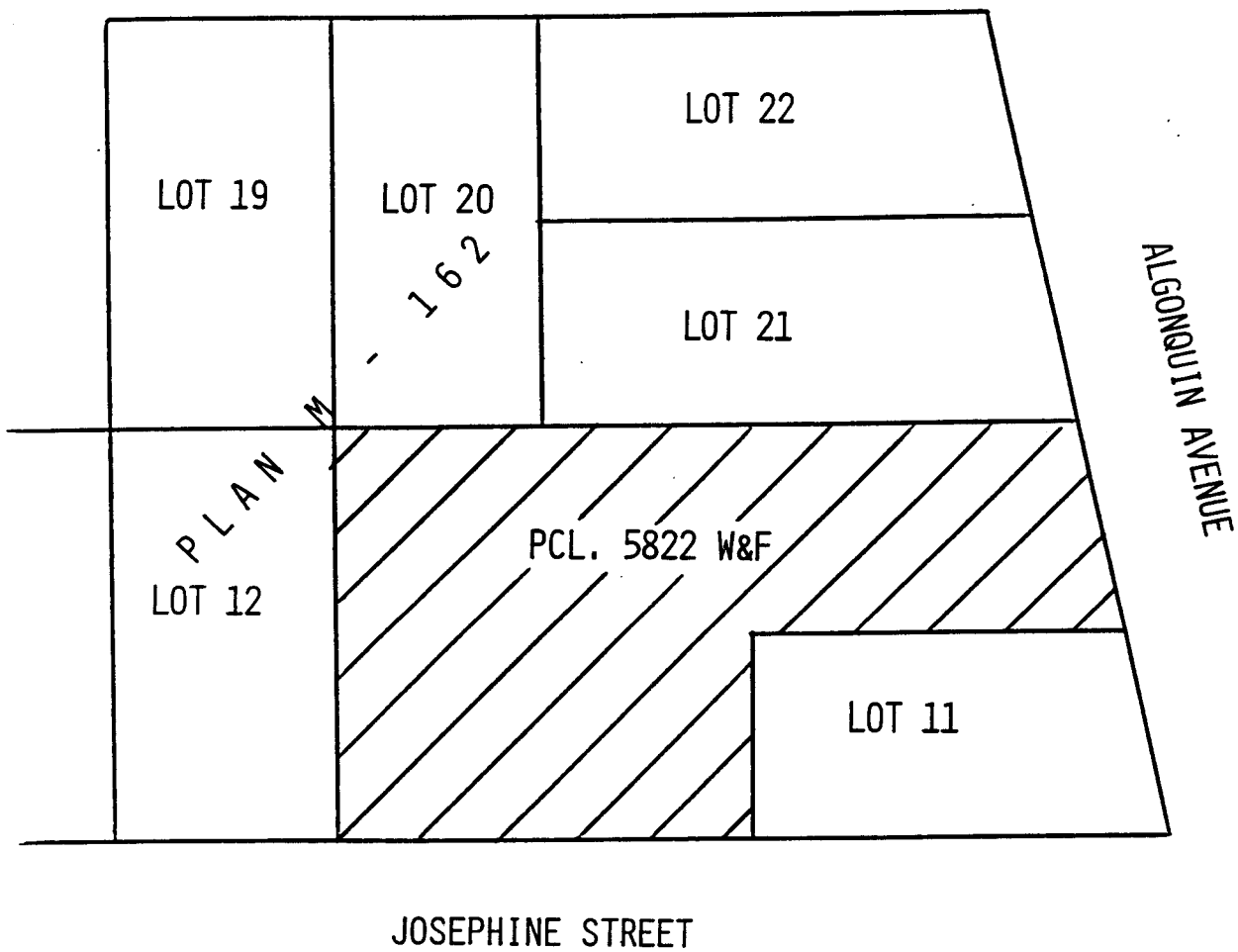
- Automobile Service Station or Gas Bar
- Banks
- Business Offices
- Financial Institutions
- Food Stores
- Local Retail Stores
- Public and Private Parking Areas
- Places of Entertainment
- Hotels, Motels
- Professional Offices
- Restaurants and Taverns
- Retail Stores
- Service Establishments that are not obnoxious
- Dwelling units connected to and forming an integral part of the commercial building, provided that access to the dwelling units is separate from the access to the commercial portion of the building.
- Clubs and Fraternal Organizations

11.3.21.2 b) The regulations for this "District Commercial Special Zone No. 21 (C.4 Sp.21)" are as follows:

- i) Maximum lot coverage shall be fifty (50) percent.
- ii) The setback from the front lot line shall be thirteen and nine-tenths (13.9) metres.

- 11.3.21.2 b) iii) The setback from the southerly side lot line shall be a minimum of six (6) metres.
- iv) The setback from the northerly side lot line shall be a minimum of one and one-tenth (1.1) metres.
- v) The setback from the rear yard lot line shall be a minimum of ten and five-tenths (10.5) metres.
- vi) The minimum number of parking spaces for the Residential portion of the building shall be fifteen (15).
- vii) The minimum number of parking spaces for the Commercial portion of the building shall be eight (8).
- 11.3.21.3 The use of land or buildings in this "District Commercial Special Zone No. 21 (C.4 Sp.21)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

SCHEDULE TO "DISTRICT COMMERCIAL SPECIAL ZONE NO.21(C.4SP.21)"



11.3.22 Highway Commercial Special Zone No. 22 (C.6 Sp.22)

11.3.22.1 The property description of this "Highway Commercial Special Zone No. 22 (C.6 Sp.22)" is:

Lots 14 to 17, Plan No. 82 along Lakeshore Drive in the City of North Bay as shown on the attached Schedule and Schedule "B-60".

11.3.22.2 a) No person shall use land or erect or construct any building or structure in this "Highway Commercial Special Zone No. 22 (C.6 Sp.22)" except for the following uses:

- Animal Hospitals
- Automobile Sales Showrooms
- Automobile Service Establishments including Car Wash Establishments
- Automobile Service Stations or Gas Bars
- Clubs and Fraternal Organizations
- Hotels, Motels, Restaurants and Taverns
- Industrial Equipment Sales and Service
- New and/or Used Car Lots
- Places of Entertainment
- Places of Worship
- Public or Private Garages
- Recreational Vehicle Sales and Services
- Retail Lumber and Building Supplies
- Service Establishments that are not obnoxious
- Vegetable or Fruit Market.

11.3.22.2 b) The regulations for this "Highway Commercial Special Zone No. 22 (C.6 Sp.22)" are as follows:

- i) Maximum lot coverage shall be forty (40) percent.
- ii) The setback from the front lot line shall be four and five-tenths (4.5) metres.

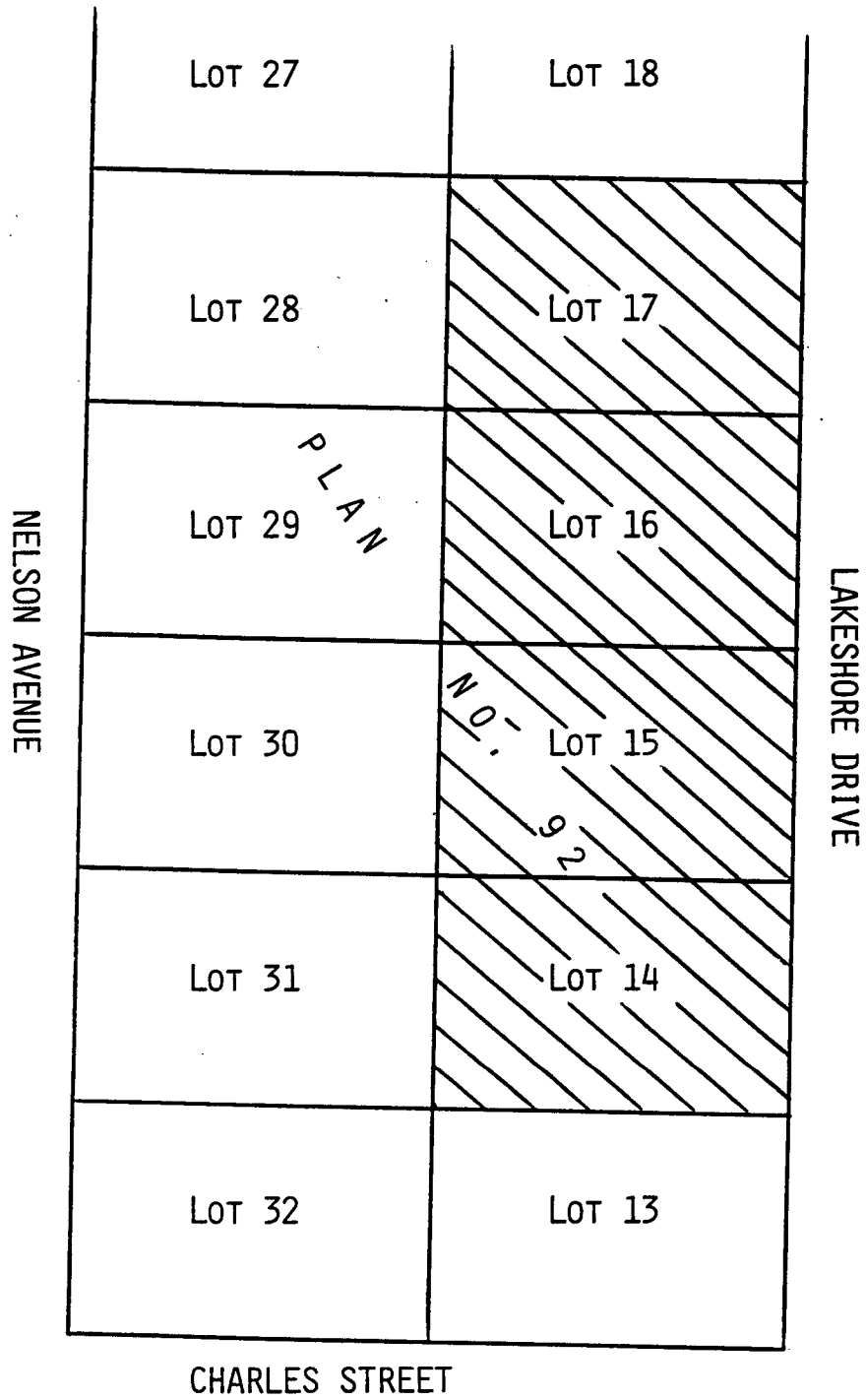
11.3.22.2 b) iii) The setback from the side lot line shall be a minimum of four and five-tenths (4.5) metres.

iv) The setback from the rear yard lot line shall be a minimum of three (3) metres.

v) The minimum number of parking spaces shall be fourteen (14).

11.3.22.3 The use of land or buildings in this "Highway Commercial Special Zone No. 22 (C.4 Sp.22)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

SCHEDULE TO "HIGHWAY COMMERCIAL SPECIAL ZONE NO. 22(C.6SP.22)"



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11.3.23 Neighbourhood Commercial Special Zone No. 23 (C.5 Sp.23)

11.3.23.1 The property description of this "Neighbourhood Commercial Special Zone No. 23 (C.5 Sp.23)" is:

Part of Block "B", Plan M-528 along McKeown Avenue and McNamara Street in the City of North Bay as shown on the attached Schedule and Schedule "B-31".

11.3.23.2 a) No person shall use land or erect or construct any building or structure in this "Neighbourhood Commercial Special Zone No. 23 (C.5 Sp.23)" except for the following uses:

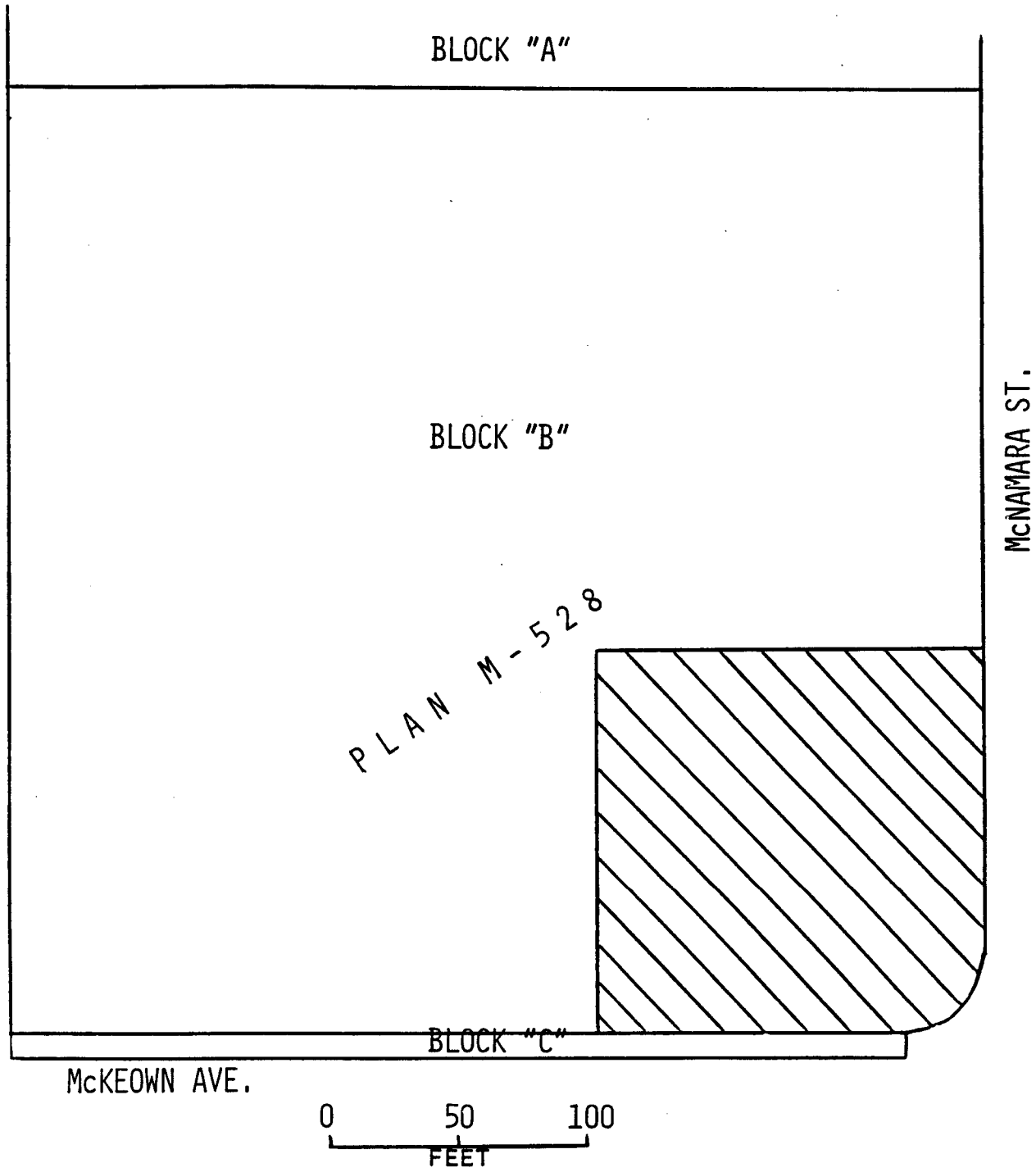
- Convenience Stores
- Dry Cleaning Depots
- Local Retail Stores
- Gas Bars
- Service Establishments that are not obnoxious
- Dwelling units connected to and forming an integral part of the commercial building provided that they do not exceed the floor area of the commercial portion of the use, and access to the dwelling units is separate from the access to the commercial portion of the building, and the dwelling units are located above or at the rear of business premises.

11.3.23.2 b) The regulations for this "Neighbourhood Commercial Special Zone No. 23 (C.5 Sp.23)" are as follows:

- i) Maximum lot coverage shall be twenty-five (25) percent.
- ii) The setback from the front lot line shall be a minimum of twelve (12) metres.

- 11.3.23.2 b) iii) The setback from the westerly side lot line shall be a minimum of four and five-tenths (4.5) metres.
- iv) The setback from the easterly side lot line shall be a minimum of three (3) metres.
- v) Where the building contains residential accommodation above the commercial area and the windows of habitable rooms face the side lot line, the nearest main wall of the residential portion of the building shall be not less than six (6) metres from the side lot line.
- vi) The setback from the rear lot line shall be a minimum of ten and five-tenths (10.5) metres.
- vii) No portion of any pump island shall be located closer than four and five-tenths (4.5) metres to the lot line along any street.
- viii) The minimum parking requirement shall be one (1) space for every eighteen and six-tenths (18.6) square metres of commercial floor space, and one and one-quarter (1.25) spaces for every dwelling unit contained in the building.
- 11.3.23.3 The use of land or buildings in this "Neighbourhood Commercial Special Zone No. 23 (C.5 Sp.23)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

SCHEDULE TO "NEIGHBOURHOOD COMMERCIAL SPECIAL ZONE NO. 23(C.5SP.23)"



11.3.24 District Commercial Special Zone No. 24 (C.4 Sp.24)

11.3.24.1 The property description of this "District Commercial Special Zone No. 24 (C.4 Sp.24)" is: Lots 3 to 7 inclusive, Plan No. 94 along Algonquin Avenue in the City of North Bay as shown on the attached Schedule and Schedule "B-42".

11.3.24.2 a) No person shall use land or erect or construct any building or structure in this "District Commercial Special Zone No. 24 (C.4 Sp.24)" except for the following uses:

- Places of Entertainment
- Hotels, Motels
- Professional Offices
- Restaurants and Taverns
- Retail Stores
- Service Establishments that are not obnoxious
- Dwelling units connected to and forming an integral part of the commercial building, provided that access to the dwelling units is separate from the access to the commercial portion of the building
- Clubs and Fraternal organizations

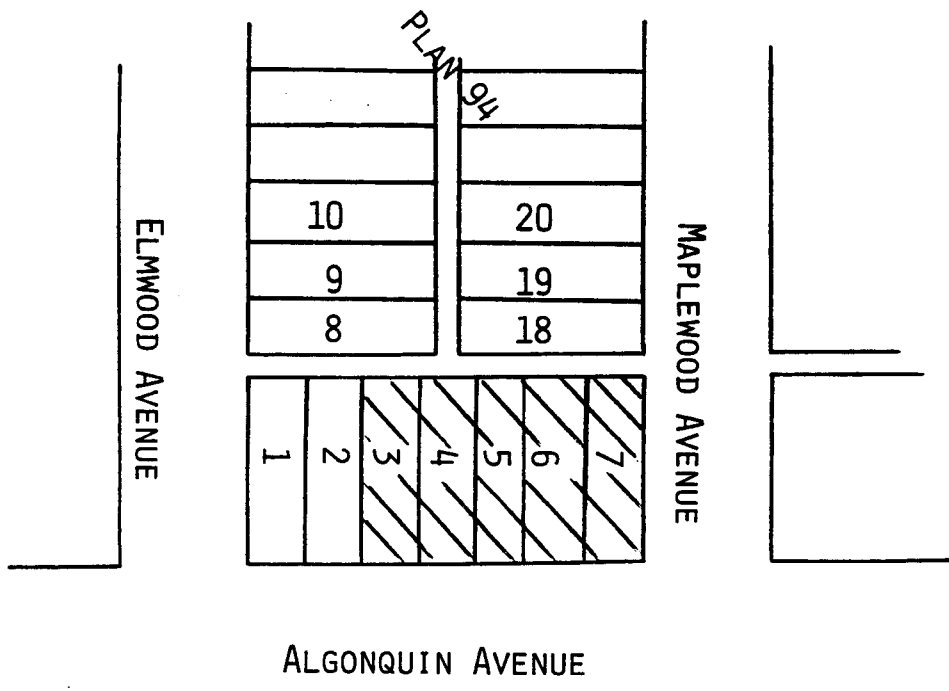
11.3.24.2 b) The regulations for this "District Commercial Special Zone No. 24 (C.4 Sp.24)" are as follows:

- i) Maximum lot coverage shall be twenty-five (25) percent.
- ii) The setback from the front line shall be twelve (12) metres.
- iii) The setback from the westerly side lot line shall be a minimum of five (5) metres.
- iv) The setback from the easterly side lot line shall be a minimum of nine and five-tenths (9.5) metres.

11.3.24.2 b) v) The setback from the rear yard lot line shall be a minimum of twenty-three (23) metres.

11.3.24.3 The use of land or buildings in this "District Commercial Special Zone No. 24 (C.4 Sp.24)" zone shall conform to all other regulations of this by-law except as hereby expressly varied.

SCHEDULE TO "DISTRICT COMMERCIAL SPECIAL ZONE NO. 24 (C.4 Sp.24)"



0 50 100
FEET

NORTH

11.3.25 District Commercial Special Zone No. 25 (C.4 Sp.25)

11.3.25.1 The property description of this "District Commercial Special Zone No. 25 (C.4 Sp.25)" is: Part of Part 1, Plan 36R-5434 along Airport Road and Stockdale Road in the City of North Bay as shown on the attached Schedule and Schedules "B-32" and "B-33".

11.3.25.2 a) No person shall use land or erect or construct any building or structure in this "District Commercial Special Zone No. 25 (C.4 Sp.25)" except for the following uses:

- Automobile Service Station or Gas Bar
- Banks
- Business Offices
- Financial Institutions
- Food Stores
- Local Retail Stores
- Public and Private Parking Areas
- Places of Entertainment
- Hotels, Motels
- Professional Offices
- Restaurants and Taverns
- Retail Stores
- Service Establishments that are not obnoxious
- Dwelling units
- Clubs and Fraternal Organizations.

b) The regulations for this "District Commercial Special Zone No. 25 (C.4 Sp.25)" are as follows:

- i) The maximum lot coverage shall be twenty-five (25) percent.
- ii) The maximum gross floor area expressed as a percent of lot area shall be one hundred (100) percent.
- iii) The minimum setback from the westerly rear lot line shall be ten and five-tenths (10.5) metres.
- iv) The minimum setback from the easterly front lot line shall be nine and four-tenths (9.4) metres.

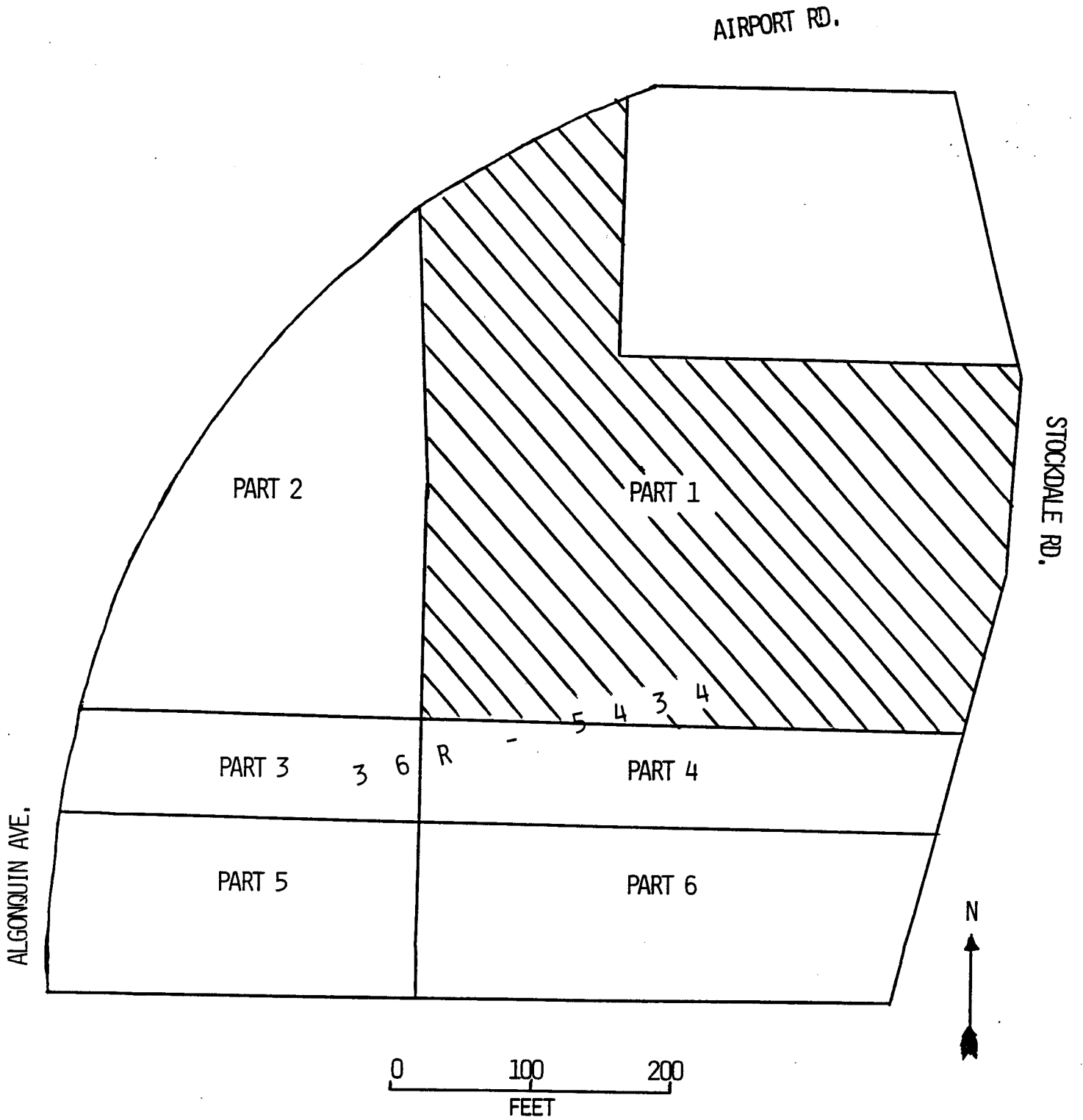
11.3.25.2 b)

- v) The minimum setback from the southerly side lot line shall be nine and four-tenths (9.4) metres.
- vi) The minimum setback from the northerly side lot line shall be twenty-three and one-tenth (23.1) metres.

11.3.25.3

The use of land or buildings in this "District Commercial Special Zone No. 25 (C.4 Sp.25)" shall conform to all other regulations of this By-law except as hereby expressly varied.

SCHEDULE TO "DISTRICT COMMERCIAL SPECIAL ZONE NO. 25(C.4SP.25)"



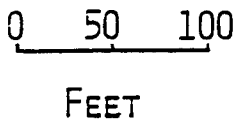
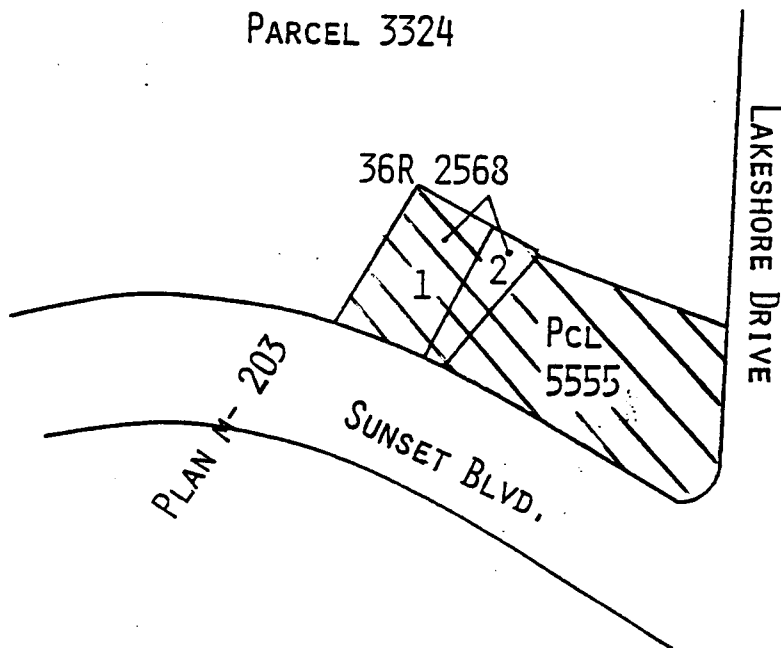
11.3.26 Commercial Special Zone No. 26 (C.7 Sp.26)

- 11.3.26.1 The property description of this "Commercial Special Zone No. 26 (C.7 Sp.26)" is Parcel 555 W&F and Parts 1 and 2, 36R-2568 on the corner of Lakeshore Drive and Sunset Boulevard in the City of North Bay as shown on the attached Schedule and Schedule "B-60".
- 11.3.26.2 a) No person shall use land or erect or construct any building or structure in this "Commercial Special Zone No. 26 (C.7 Sp.26)" except for the following uses:
- Automobile Services and Gas Bars
 - Camps, Tourist Cabins and Housekeeping Cottages
 - Hotels, Motels, Restaurants and Taverns
 - Local Retail Stores
 - Marinas
 - Places of Entertainment
 - Places of Recreation
 - Places of Worship
 - Public and Private Parks
 - Seasonal Tent and Trailer Parks
 - Accessory Retail Establishments to the above uses
 - Accessory Residential Units to the above uses.
- 11.3.26.2 b) The regulations for this "Commercial Special Zone No. 26 (C.7 Sp.26)" are as follows:
- i) Maximum lot coverage is thirty-five (35) percent.
 - ii) The setback from the front line shall be a minimum of ten and seven-tenths (10.7) metres.
 - iii) The side yard setback shall be a minimum of fifteen (15) centimetres.
 - iv) The setback from the rear lot line shall be a minimum of twenty-seven (27) metres.

11.3.26.3

The use of land or buildings in this "Commercial Special Zone No. 26 (C.7 Sp.26)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

SCHEDULE TO: "COMMERCIAL SPECIAL ZONE No. 26 (C.7 SP.26)"



11.3.28 District Commercial Special Zone No. 28 (C.4 Sp.28)

11.3.28.1 The property description of this "District Commercial Special Zone No. 28 (C.4 Sp.28)" is:

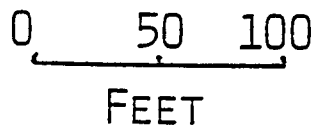
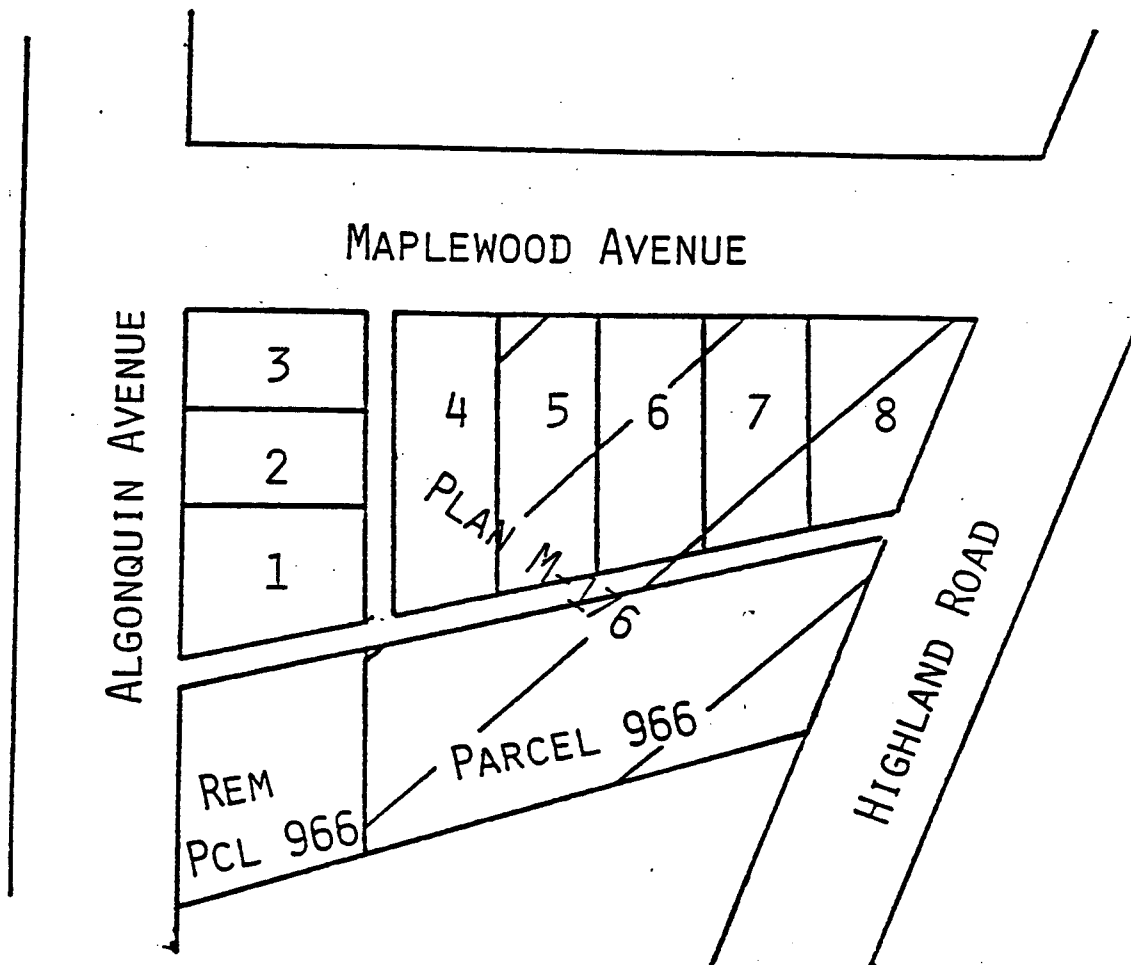
Lots 5 to 8 inclusive, Registered Plan M-176 and Parcel 966 Nipissing along Highland Road and Maplewood Avenue in the City of North Bay as shown on the attached Schedule and Schedule "B-42".

11.3.28.2 No person shall use land, or erect, or construct any building or structure in this "District Commercial Special Zone No. 28 (C.4 Sp.28)" except for the following uses:

- Automobile Service Station or Gas Bar
- Banks
- Business Offices
- Financial Institutions
- Food Stores
- Local Retail Stores
- Public and Private Parking Areas
- Places of Entertainment
- Hotels, Motels
- Professional Offices
- Restaurants and Taverns
- Retail Stores
- Service Establishments that are not obnoxious
- Dwelling Units
- Clubs and Fraternal Organizations
- Day Nursery or Child Care Facilities.

11.3.28.3 The use of the land or buildings in this "District Commercial Special Zone No. 28 (C.4 Sp.28)" shall conform to all regulations of this By-law, except as hereby expressly varied.

SCEDULE TO " DISTRICT COMMERCIAL SPECIAL ZONE No. 28 (C.4 SP.28)"



11.3.29 District Commercial Special Zone No. 29 (C.4 Sp.29)

11.3.29.1 The property description of this "District Commercial Special Zone No. 29 (C.4 Sp.29)" is Lot 37, Plan No. 76 along Fisher Street in the City of North Bay as shown on the attached Schedule and Schedule "B-51".

11.3.29.2 a) No person shall use land, erect, or construct any building or structure in this "District Commercial Special Zone No. 29 (C.4 Sp.29)" except for the following uses:

Light Industrial equipment sales, service and office uses.

b) The regulations for this "District Commercial Special Zone No. 29 (C.4 Sp.29)" are as follows:

i) The maximum lot coverage shall be forty-five (45) percent.

ii) The minimum front yard setback shall be four and five-tenths (4.5) metres.

iii) The minimum westerly side yard setback shall be three (3) metres.

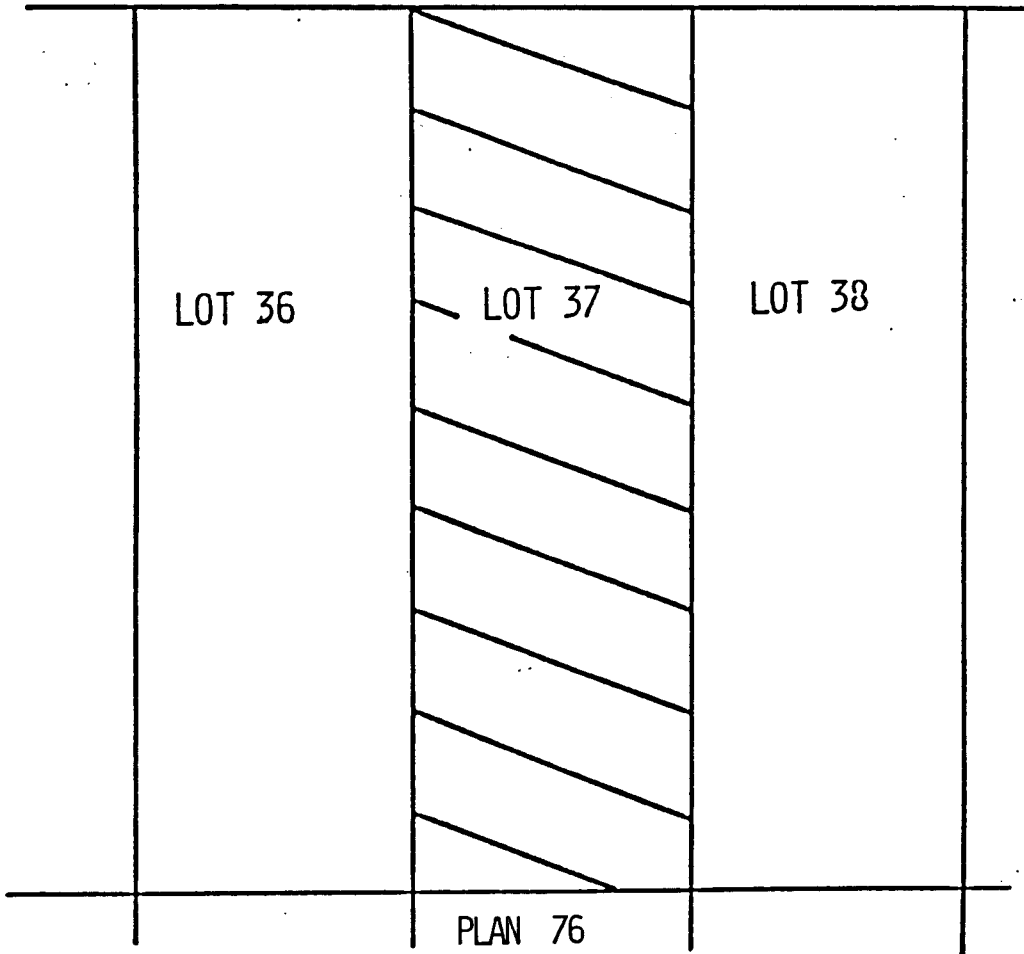
iv) The minimum easterly side yard setback shall be nil.

v) The minimum rear yard setback shall be eleven and three-tenths (11.3) metres.

11.3.29.3 The use of land or buildings in this "District Commercial Special Zone No. 29 (C.4 Sp.29)" shall conform to all other regulations of this By-law except as hereby expressly varied.

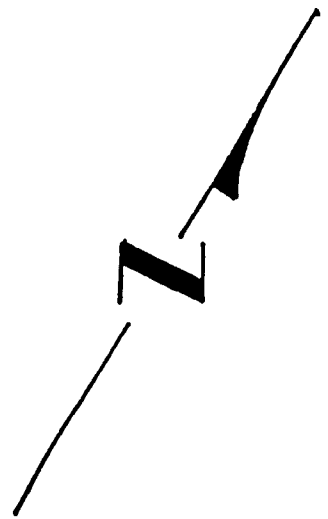
SCHEDULE TO "DISTRICT COMMERCIAL SPECIAL ZONE NO. 29 (C.4 SP.29)"

FISHER STREET



0 25 50

SCALE (IN FEET)



11.3.30 **Neighbourhood Commercial Special Zone No. 30**
(C.5 Sp.30)

11.3.30.1 The property description of this "Neighbourhood Commercial Special Zone No. 30 (C.5 Sp.30)" is Lots 1113 and 1114, Plan M-177 and part of Hazel Avenue along O'Brien Street in the City of North Bay as shown on the attached Schedule and Schedule "B-43".

11.3.30.2 a) No person shall use land, erect, or construct any building or structure in this "Neighbourhood Commercial Special Zone No. 30 (C.5 Sp.30)" except for the following uses:

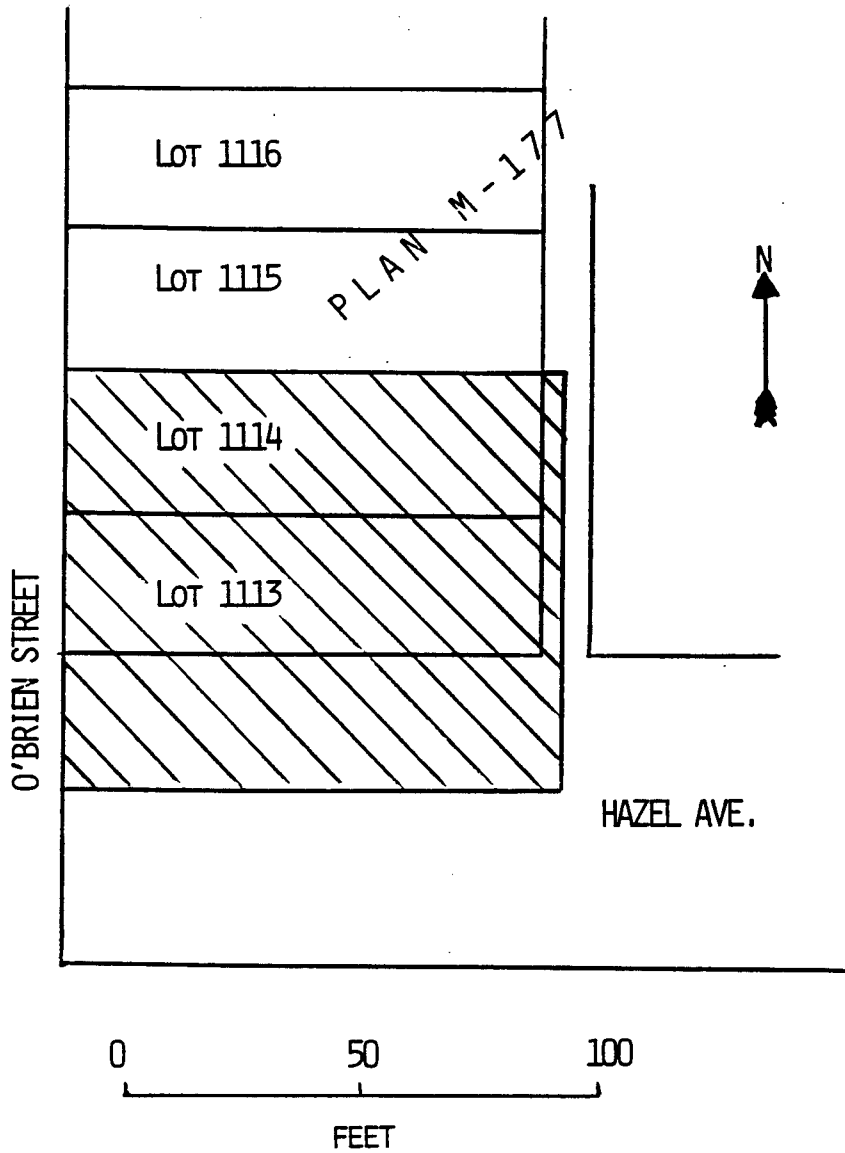
- Portrait Studio
- Dwelling Unit for the Owner/Operator.

b) The regulations for this "Neighbourhood Commercial Special Zone No. 30 (C.5 Sp.30)" are as follows:

- i) The maximum lot coverage shall be thirty-six (36) percent.
- ii) The minimum front yard setback shall be eight and three-tenths (8.3) metres.
- iii) The minimum northerly side yard setback shall be five and nine-tenths (5.9) metres.
- iv) The minimum southerly side yard setback shall be nine and three-tenths (9.3) metres.
- v) The minimum rear yard setback shall be nine and seven-tenths (9.7) metres.

11.3.30.3 The use of land or buildings in this "Neighbourhood Commercial Special Zone No. 30 (C.5 Sp.30)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

SCHEDULE TO "NEIGHBOURHOOD COMMERCIAL SPECIAL ZONE NO. 30(C.5SP.30)"



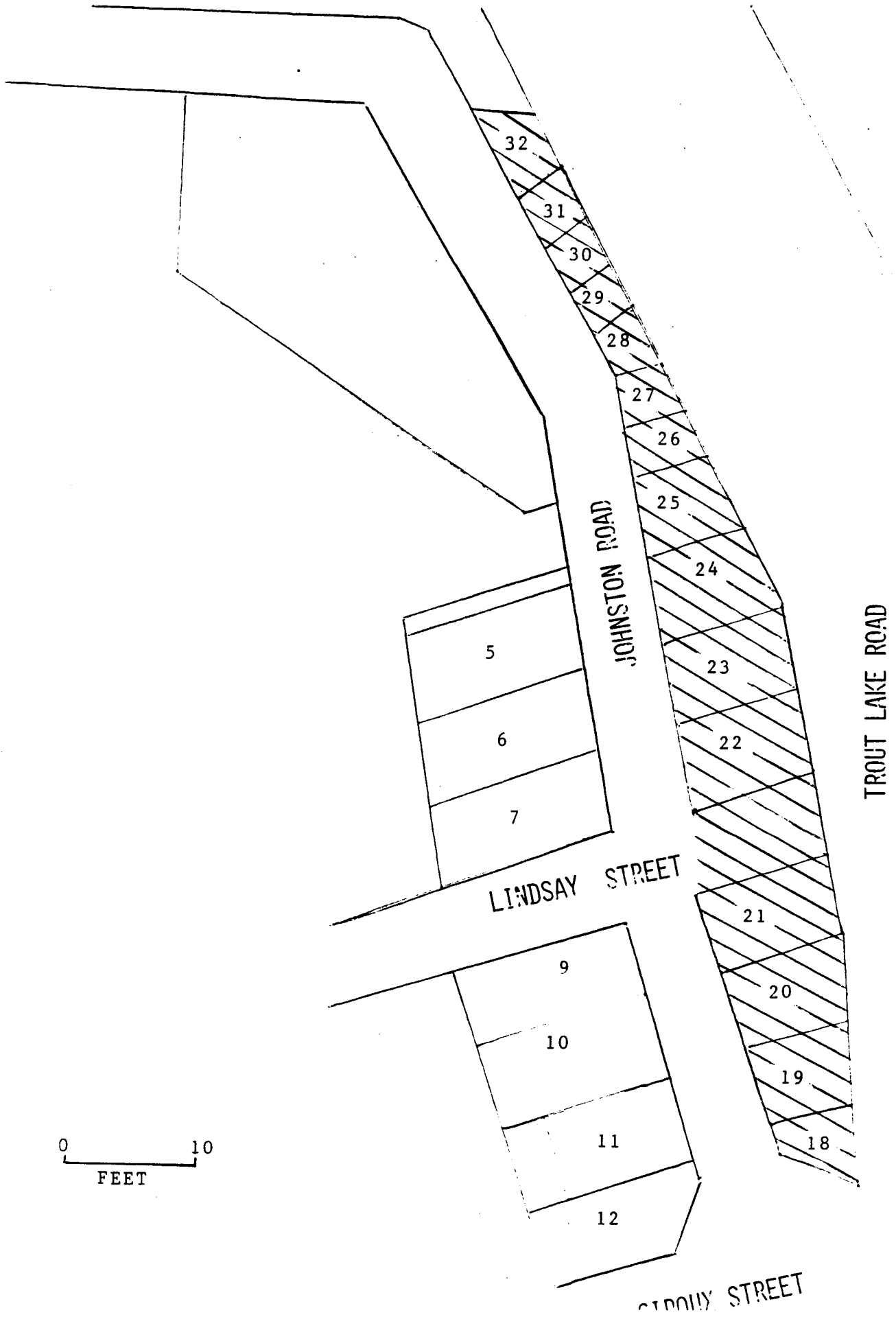
11.3.31a **Neighbourhood Commercial Special Zone No. 31a**
(C.5 Sp. 31a)

- 11.3.31a.1 The property description of this "Neighbourhood Commercial Special Zone No. 31a (C.5 Sp.31a)" is Lots 18 to 32 inclusive, Plan M-85 and the unopened portion of the Lindsay Street road allowance along Johnston Road in the City of North Bay as shown on the attached Schedule and Schedule "B-45".
- 11.3.31a.2 a) No person shall use land, erect or construct any building or structure in this "Neighbourhood Commercial Special Zone No. 31a (C.5 Sp.31a)" except for the following uses:
- Convenience Stores
 - Dry Cleaning Depots
 - Local Retail Stores
 - Gas Bars
 - Service Establishments that are not obnoxious
 - Dwelling units connected to and forming an integral part of the commercial building provided that they do not exceed the floor area of the commercial portion of the use, and access to the dwelling units is separate from the access to the commercial portion of the building, and the dwelling units are located above or at the rear of the business premises.
- b) The regulations for this "Neighbourhood Commercial Special Zone No. 31a (C.5 Sp.31a)" are as follows:
- i) The maximum lot coverage shall be twenty-three (23) percent.
 - ii) The maximum front yard setback from Giroux Street shall be fifty-five and seven-tenths (55.7) metres.
 - iii) The maximum side yard setback shall be fifteen (15) metres.
 - iv) The minimum side yard setback shall be three (3) metres.

11.3.31a.2 a) v) The minimum rear yard setback shall be thirty-two (32) metres.

11.3.31a.3 The use of land or buildings in this "Neighbourhood Commercial Special Zone No. 31a (C.5 Sp.31a)" shall conform to all other regulations of this By-law except as hereby expressly varied.

SCHEDULE TO "NEIGHBOURHOOD COMMERCIAL SPECIAL ZONE NO. 31a(C.5 Sp. 31a)"



11.3.31b **General Commercial (Outer Core) Special Zone
No. 31b (C.2 Sp. 31b)**

11.3.31b.1 The property description of this "General Commercial (Outer Core) Special Zone No. 31b (C.2 Sp.31b)" is: Plan No. 62, Lot 364 along Cassells Street in the City of North Bay as shown on the attached Schedule and Schedule "B-43".

11.3.31b.2 a) No person shall use land, or use, erect, or construct any building or structure in this "General Commercial (Outer Core) Special Zone No. 31b (C.2 Sp.31b)" zone, except for the following uses:

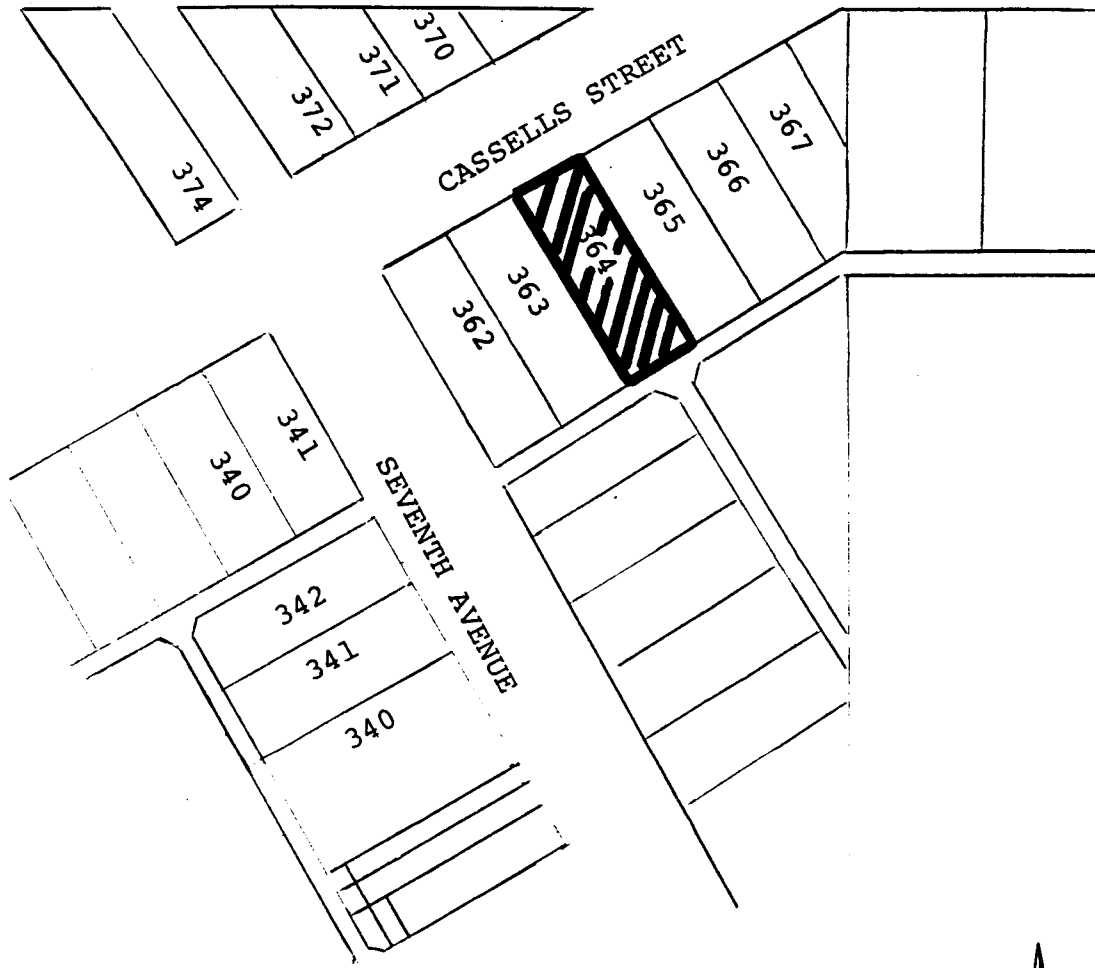
- Retail and service commercial uses
- Public or private parking areas
- Dwelling units located on the ground floor or above.

11.3.31b.2 b) The regulations for this "General Commercial (Outer Core) Special Zone No. 31b (C.2 Sp.31b)" are as follows:

- i) The maximum lot coverage not to exceed forty-eight (48) percent of the total lot area.
- ii) The minimum lot frontage shall be twelve and four-tenths (12.4) metres.
- iii) The minimum front yard setback shall be nil.
- iv) The minimum westerly side yard setback shall be eight-tenths (.8) of a metre.
- v) The minimum easterly side yard setback shall be one and eight-tenths (1.8) metres.
- vi) The minimum rear yard setback shall be ten and seven-tenths (10.7) metres.

11.3.31b.3 The use of land or buildings in this "General Commercial (Outer Core) Special Zone No. 31b (C.2 Sp.31b)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

SCHEDULE TO "GENERAL COMMERCIAL (OUTER CORE) SPECIAL ZONE NO. 31b (C.2 Sp.31b)



11.3.32 **General Commercial (Outer Core) Special Zone No. 32**
(C.2 Sp.32)

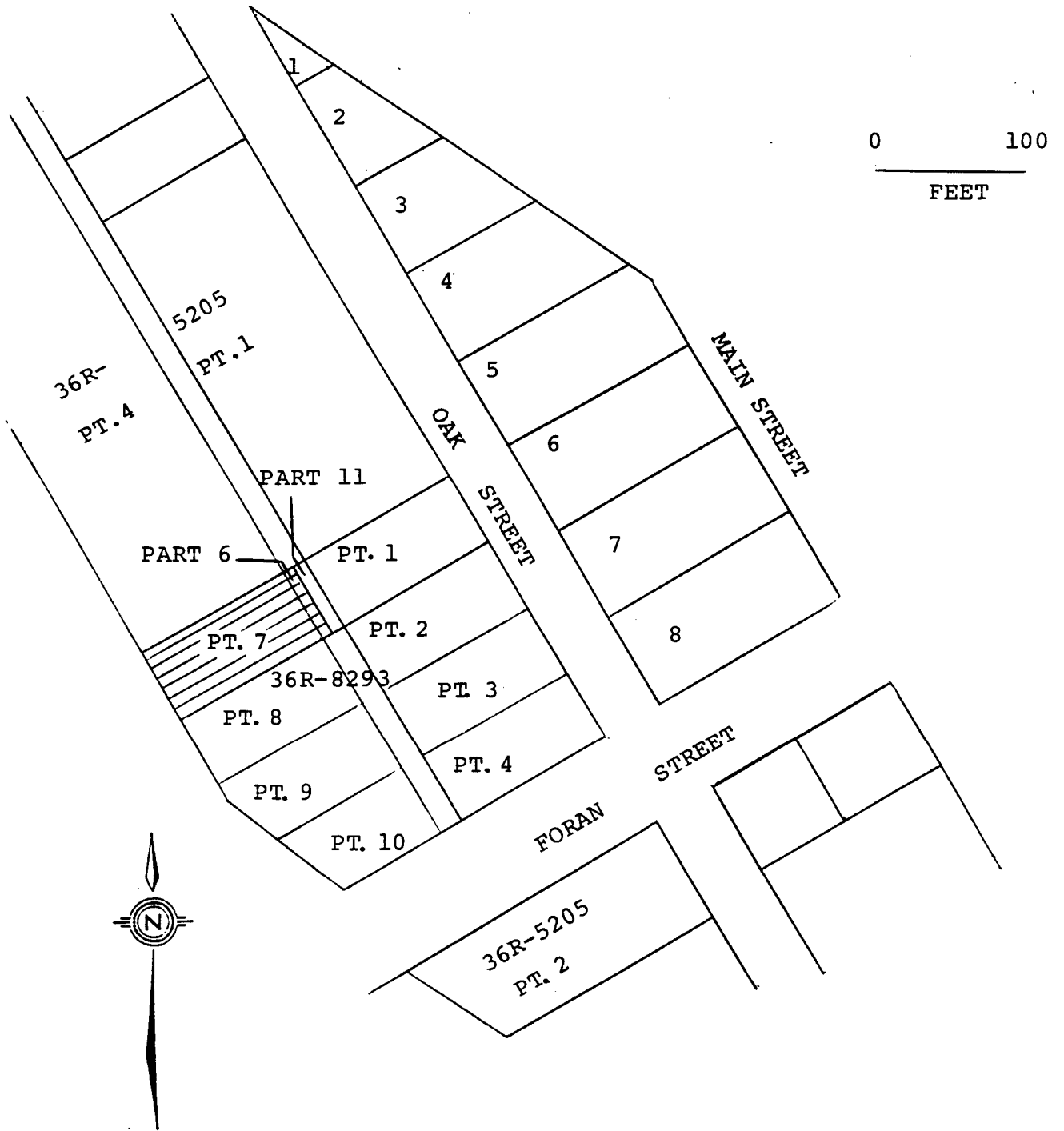
11.3.32.1 The property description of this "General Commercial (Outer Core) Special Zone No. 32 (C.3 Sp.32)" is: Parts 6 and 7, Plan 36R-8293 along Oak Street in the City of North Bay as shown on the attached Schedule and Schedule "B-50".

11.3.32.2 a) No person shall use land, or use, erect or construct any building or structure in this "General Commercial (Outer Core) Special Zone No. 32 (C.2 Sp.32)", except for the following uses:

- At Grade Commercial Parking Lot.

11.3.32.2 b) The use of land or buildings in this "General Commercial (Outer Core) Special Zone No. 32 (C.2 Sp.32)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

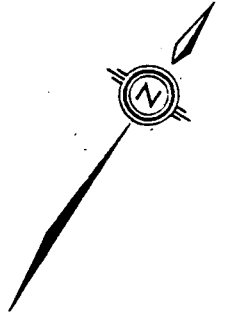
SCHEDULE TO "GENERAL COMMERCIAL (OUTER CORE)
SPECIAL ZONE NO. 32 (C.2 SP.32)"



11.3.33 **Neighbourhood Commercial Special Zone No. 33**
(C.5 Sp.33)

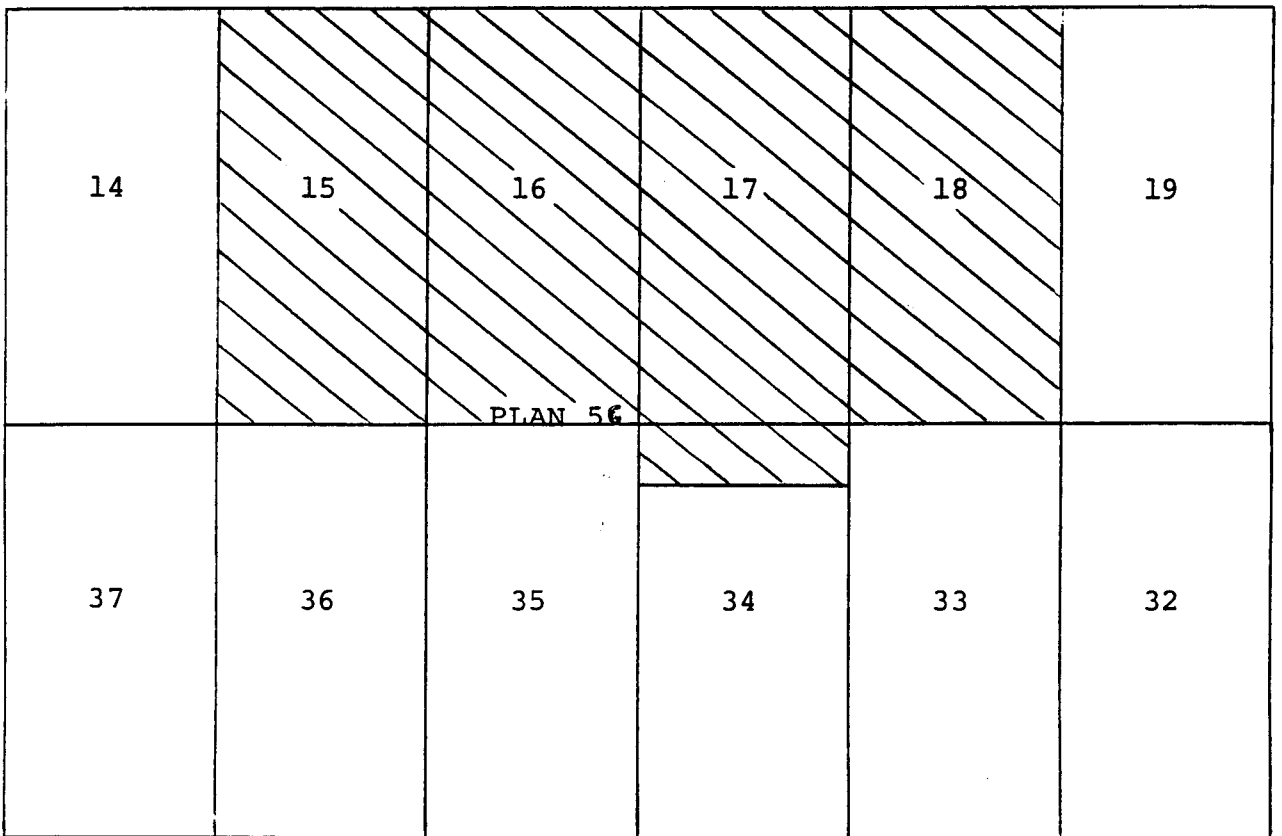
- 11.3.33.1 The property description of this "Neighbourhood Commercial Special Zone No. 33 (C.5 Sp.33)" is Lots 15 to 18 and Part Lot 34, Plan 56 along Fisher Street in the City of North Bay as shown on the attached Schedules and Schedule "B-51".
- 11.3.33.2 a) No person shall use land, or use, erect, or construct any building or structure in this "Neighbourhood Commercial Special Zone No. 33 (C.5 Sp.33)", except for the following uses:
- Food store
 - Ancillary uses to a food store.
- 11.3.33.2 b) The regulations for this "Neighbourhood Commercial Special Zone No. 33 (C.5 Sp.33)" are as follows:
- i) The maximum lot coverage not to exceed twenty-five (25) percent of the total lot area.
 - ii) The minimum lot frontage shall be eighty and four-tenths (80.4) metres.
 - iii) The minimum front yard setback shall be three and zero-tenths (3.0 metres).
 - iv) The minimum easterly side yard setback shall be nil.
 - v) The minimum westerly side yard setback shall be sixty and zero-tenths (60.0) metres.
 - vi) The minimum rear yard setback shall be three and zero-tenths (3.0) metres.
- 11.3.33.3 The use of land or buildings in this "Neighbourhood Commercial Special Zone No. 33 (C.5 Sp.33)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

SCHEDULE TO "NEIGHBOURHOOD COMMERCIAL SPECIAL ZONE NO. 33 (C.5 Sp.33)"



FISHER STREET

LAURIER STREET



0 60
FEET

11.3.34 District Commercial Special Zone No. 34 (C.4 Sp.34)

11.3.34.1 The property description of this "District Commercial Special Zone No. 34 (C.4 Sp.4)" is Part of Blocks 96, 97, 98 and 103, all of Block 99, Plan M-517, Part of Part 5, RP 36R-7572 along McKeown Avenue in the City of North Bay as shown on the attached Schedules and Schedule "B-32".

11.3.34.2 a) No person shall use land, or use, erect, or construct any building or structure in this "District Commercial Special Zone No. 34 (C.4 Sp. 34)" except for the following uses:

- Automobile Service Station or Gas Bar
- Banks
- Business Offices
- Financial Institutions
- Food Stores
- Local Retail Stores
- Public and Private Parking Areas
- Places of Entertainment
- Hotels, Motels
- Professional Offices
- Restaurants and Taverns
- Retail Stores
- Service Establishments that are not obnoxious
- Dwelling units connected to and forming an integral part of the commercial building provided that access to the dwelling units is separate from the access to the commercial portion of the building, and no dwelling units will be permitted on the ground floor
- Club and Fraternal Organizations.

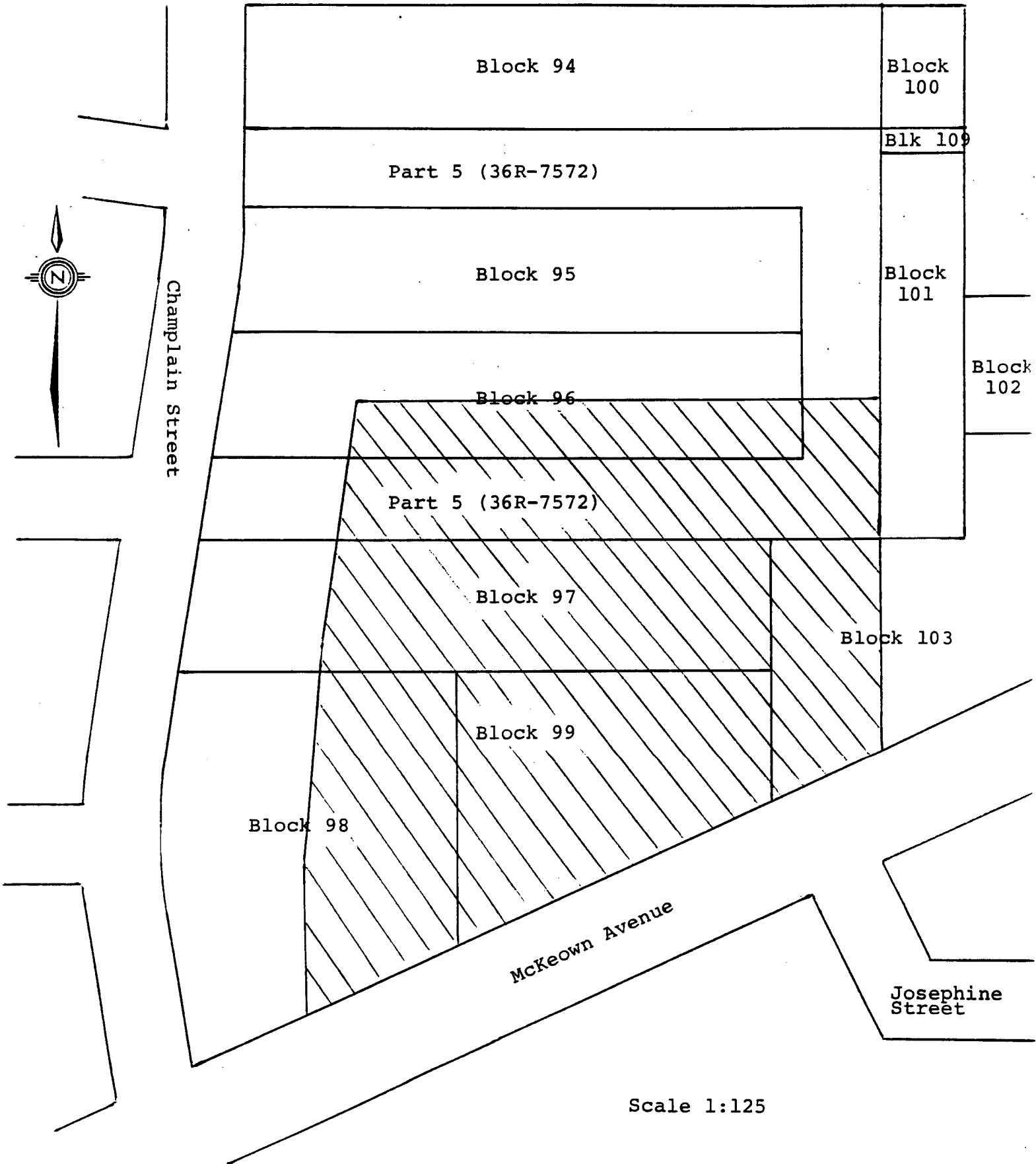
11.3.34.2 b) The special regulation for this "District Commercial Special Zone No. 34 (C.4 Sp.34)" is as follows:

- i) The minimum front yard setback shall be four and five-tenths (4.5) metres.

11.3.34 District Commercial Special Zone No. 34 (C.4 Sp.34)

11.3.34.3 The use of land or buildings in this "District Commercial Special Zone No. 34 (C4. Sp.34)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

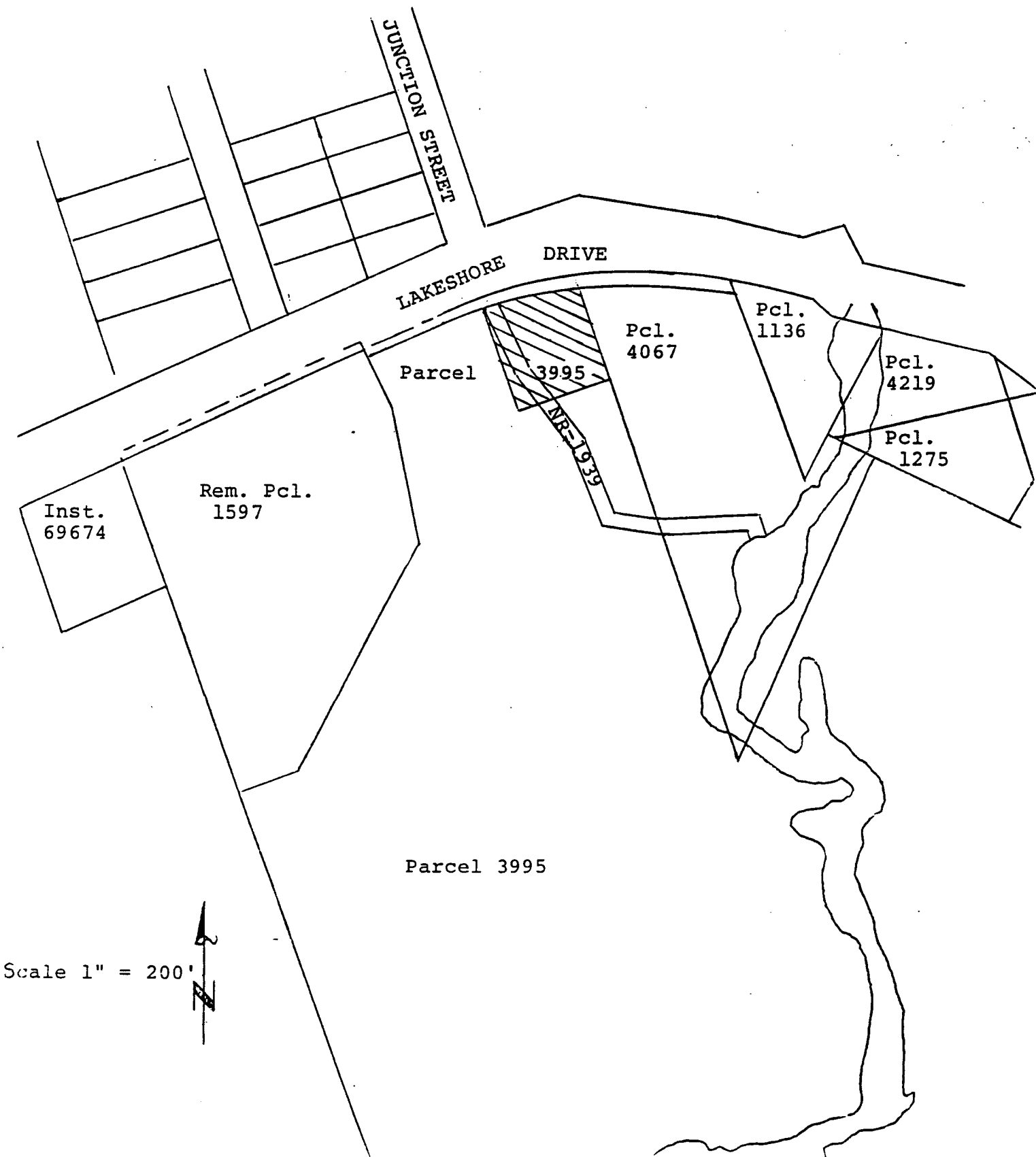
Schedule to "District Commercial Special Zone No. 34 (C4 Sp.34)"



11.3.35 **Neighbourhood Commercial Special Zone No. 35**
(C.5 Sp.35)

- 11.3.35.1 The property description of this "Neighbourhood Commercial Special Zone No. 35 (C.5 Sp.35)" is part of Parcel 3995 W&F along Lakeshore Drive in the City of North Bay as shown on the attached Schedules and Schedule "B-83".
- 11.3.35.2 a) No person shall use land, or use, erect, or construct any building or structure in this "Neighbourhood Commercial Special Zone No. 35 (C.5 Sp.35)", except for the following uses:
- fruit and vegetable market which would permit only the sale of fruit and vegetables and no other product.
- 11.3.35.3 The use of land or buildings in this "Neighbourhood Commercial Special Zone No. 35 (C.5 Sp.35)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

SCHEDULE TO "NEIGHBOURHOOD COMMERCIAL SPECIAL ZONE NO. 35 (C.5 Sp. 35)"



11.3.36 **Neighbourhood Commercial Special Zone No. 36**
(C.5 Sp. 36)

11.3.36.1 The property description of this "Neighbourhood Commercial Special Zone No. 36 (C.5 Sp.36)" is Lots 167, 168 and 259, Plan M-203 along Lakeshore Drive in the City of North Bay as shown on the attached Schedules and Schedule "B-80".

11.3.36.2 a) No person shall use land, or use, erect, or construct any building or structure in this "Neighbourhood Commercial Special Zone No. 36 (C.5 Sp.36)", except for the following uses:

- Convenience Stores
- Dry Cleaning Depots
- Local Retail Stores
- Service Establishments that are not obnoxious
- Dwelling units connected to and forming an integral part of the commercial building, provided that they do not exceed the floor area of the commercial portion of the use, and access to the dwelling units is separate from the access to the commercial portion of the building, and the dwelling units are located above or at the rear of business premises.

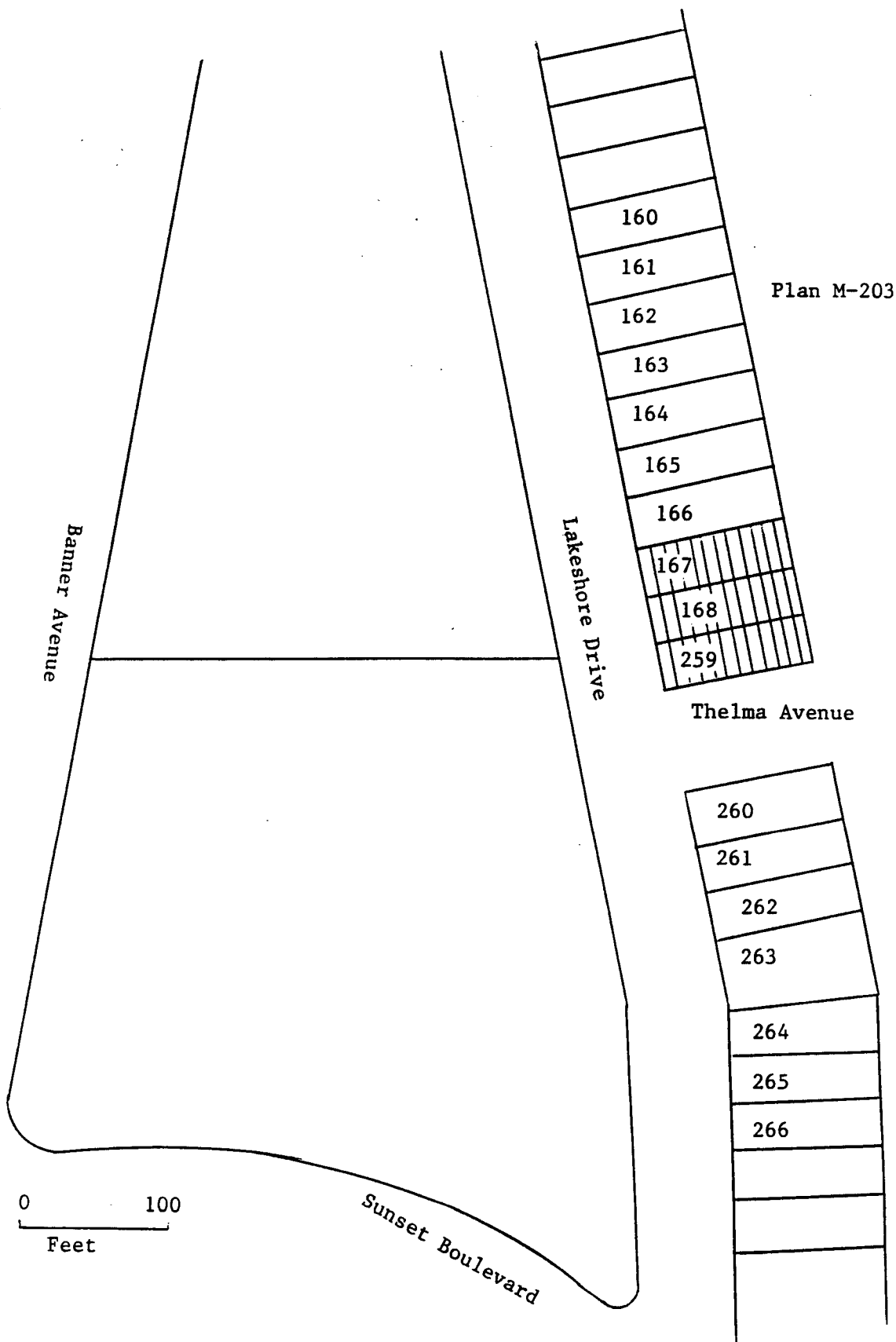
11.3.36.2 b) The regulations for this "Neighbourhood Commercial Special Zone No. 36 (C.5 Sp.36)" are as follows:

- i) The maximum lot coverage not to exceed thirty (30) percent of the total lot area.
- ii) The minimum southerly side yard setback shall be four and five-tenths (4.5) metres.
- iii) The minimum rear yard setback shall be four and five-tenths (4.5) metres.

11.3.36 **Neighbourhood Commercial Special Zone No. 36 (C.5 Sp. 36)**

11.3.36.3 The use of land or buildings in this "Neighbourhood Commercial Special Zone No. 36 (C.5 Sp.36)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

SCHEDULE TO "NEIGHBOURHOOD COMMERCIAL SPECIAL ZONE NO. 36 (C.5 Sp.36)"



11.3.37 Highway Commercial Special Zone No. 37 (C.6 Sp.37)

11.3.37.1 The property description of this "Highway Commercial Special Zone No. 37 (C.6 Sp.37)" is Lots 19 to 25, Plan M-210, that portion of the Corbett Street road allowance that abuts Lots 23 and 24, Plan M-210, and the westerly one-half of the laneway that abuts Lots 19 to 25, Plan M-210 along Lakeshore Drive in the City of North Bay as shown on the attached Schedules and Schedule "B-70".

11.3.37.2a) No person shall use land, or use, erect or construct any building or structure in this "Highway Commercial Special Zone No. 37 (C.6 Sp.37)", except for the following uses:

- animal hospitals;
- automobile sales showrooms;
- automobile service establishments, including car wash establishments;
- automobile service stations and gas bars;
- clubs and fraternal organizations;
- hotels, motels, restaurants and taverns;
- industrial equipment sales and service;
- new and/or used car lots;
- places of entertainment;
- places of worship;
- public or private garages;
- recreational vehicle sales and service;
- retail lumber and building supplies;
- service establishments that are not obnoxious;
- vegetable or fruit market.

11.3.37.2b) The regulations for this "Highway Commercial Special Zone No. 37 (C.6 Sp.37)" are as follows:

- i) The minimum front yard setback shall be seven and six-tenths (7.6) metres.

- ii) The minimum rear yard setback shall be three and zero-tenths (3.0) metres.

11.3.37.3 The use of land or buildings in this "Highway Commercial Special Zone No. 37 (C.6 Sp.37)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

11.3.38.3 The use of land or buildings in this "Neighbourhood Commercial Special Zone No. 38 (C.5 Sp.38)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

SCHEDULE TO "NEIGHBOURHOOD COMMERCIAL SPECIAL ZONE NO. 38 (C.5 SP.38)"



SCHEDULE TO A HIGHWAY COMMERCIAL SPECIAL ZONE NO 37 (c.6 Sp. 37)



SCALE

1 inch : 30 feet

PLAN M-210

11.3.38 **Neighbourhood Commercial Special Zone No. 38**
(C.5 Sp.38)

11.3.38.1 The property description of this "Neighbourhood Commercial Special Zone No. 38 (C.5 Sp.38)" is Parts 1 to 6, Plan 36R-3993 along John Street in the City of North Bay as shown on the attached Schedules "A", "B" and "C" and Schedule "B-51".

11.3.38.2 a) No person shall use land, or use, erect, or construct any building or structure in this "Neighbourhood Commercial Special Zone No. 38 (C.5 Sp.38)" except for the following uses:

- Warehouse Uses
- Wholesale Uses
- Accessory Commercial Uses to the Main Wholesale and Warehouse Uses
- Dwelling units connected to and forming an integral part of the commercial building provided that they do not exceed the floor area of the commercial portion of the use and access to the dwelling units is separate from the access to the commercial portion of the building, and the dwelling units are located above or at the rear of business premises.

11.3.38.2 b) The regulations for this "Neighbourhood Commercial Special Zone No. 38 (C.5 Sp.38)" are as follows:

- i) The maximum lot coverage not to exceed thirty-one (31) percent of the total lot area.
- ii) The minimum front yard setback shall be one and zero-tenths (1.0) metres.
- iii) The minimum easterly side yard setback shall be zero and three-tenths (0.3) metres.

11.3.39 **District Commercial Special Zone No. 39**
(C.4 Sp.39)

11.3.39.1 The property description of this "District Commercial Special Zone No. 39 (C.4 Sp.39)" is Instrument No. 61834 being Part of Lot 21, Concession "C" along Champlain Street in the City of North Bay as shown on the attached Schedules and Schedule "B-42".

11.3.39.2 a) No person shall use land, or use, erect, or construct any building or structure in this "District Commercial Special Zone No. 39 (C.4 Sp.39)", except for the following uses:

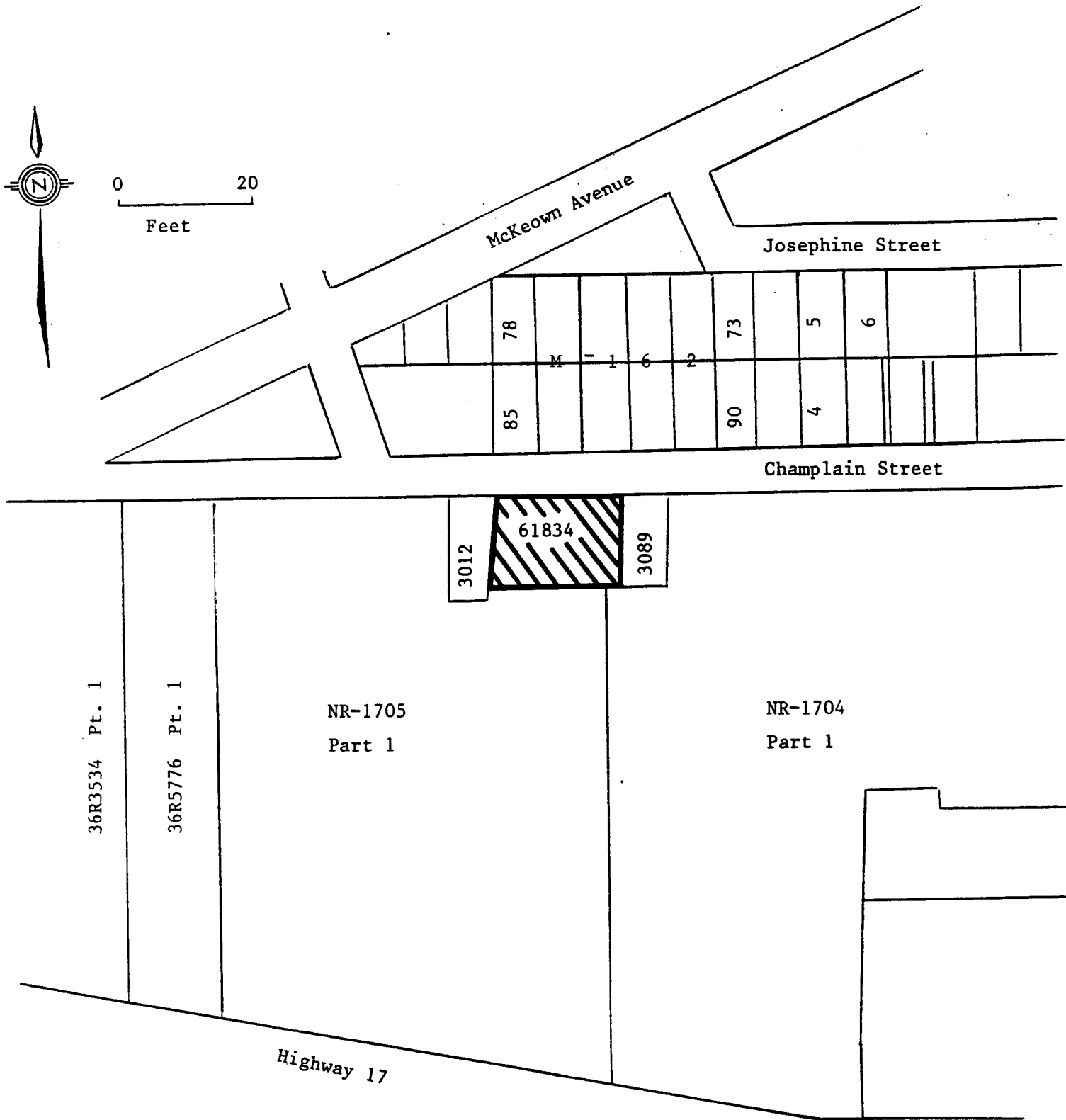
- Automobile Service Station or Gas Bar
- Banks
- Business Offices
- Financial Institutions
- Food Stores
- Local Retail Stores
- Public and Private Parking Areas
- Places of Entertainment
- Hotels or Motels
- Professional Offices
- Restaurants and Taverns
- Retail Stores
- Service Establishments that are not Obnoxious
- Dwelling units connected to and forming an integral part of the commercial building, provided that access to the dwelling units is separate from the access to the commercial portion of the building, and no dwelling units will be permitted on the ground floor
- Club and fraternal organizations

11.3.39.2 b) The regulations for this "District Commercial Special Zone No. 39 (C.4 Sp.39)" are as follows:

- i) The minimum front yard setback shall be six and four-tenths (6.4) metres.
- ii) The minimum rear yard setback shall be six and four-tenths (6.4) metres.

11.3.39.3 The use of land or buildings in this "District Commercial Special Zone No. 39 (C.4 Sp.39)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

SCHEDULE TO "DISTRICT COMMERCIAL SPECIAL ZONE NO. 39 (C4 Sp.39)"

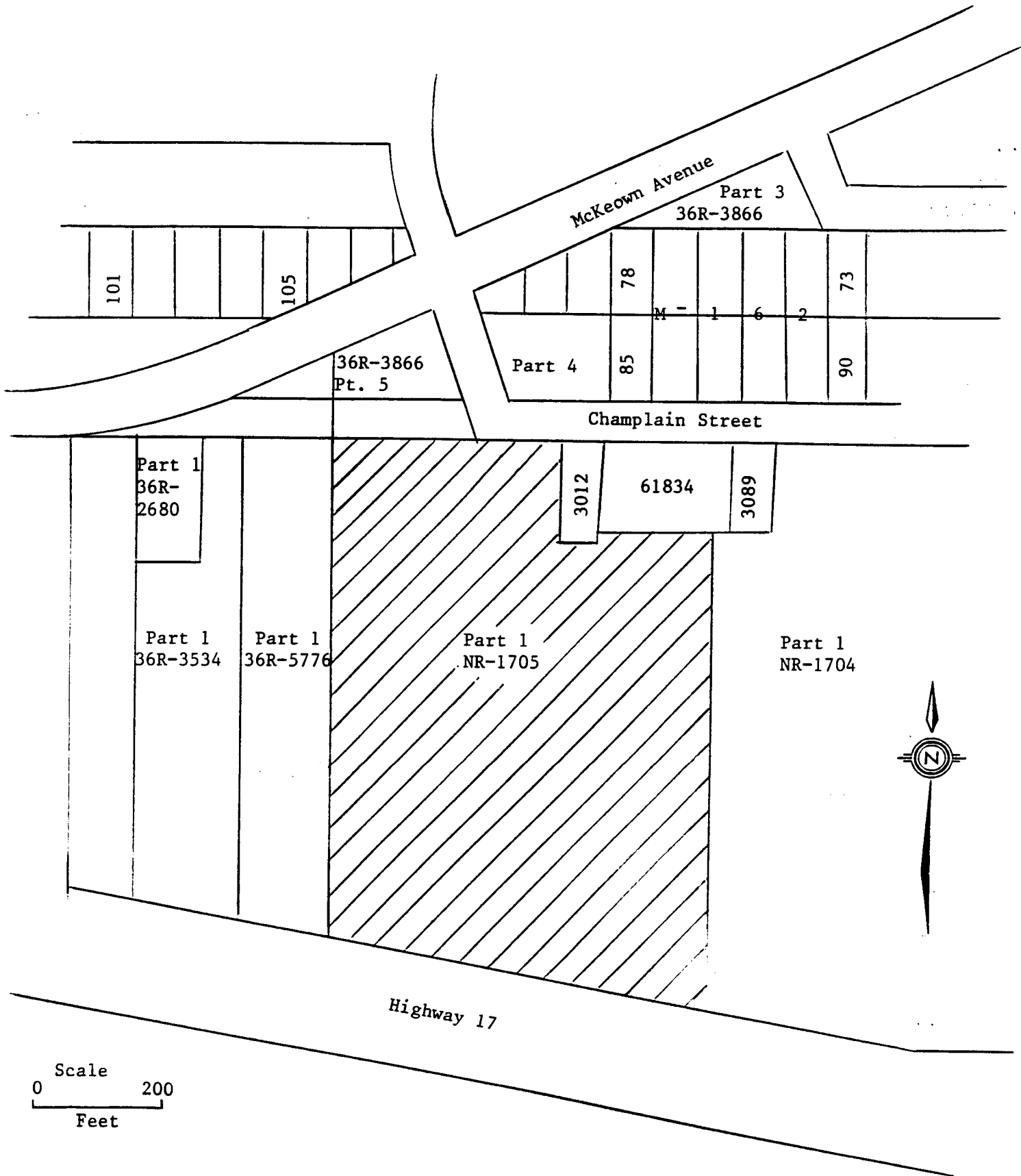


11.3.40 District Commercial Special Zone No. 40 (C.4 Sp.40)

- 11.3.40.1 The property description of this "District Commercial Special Zone No. 40 (C.4 Sp.40)" is Part 1, Plan NR-1705 along Champlain Street in the City of North Bay as shown on the attached Schedules and Schedule "B-42".
- 11.3.40.2a) No person shall use land, or use, erect, or construct any building or structure in this "District Commercial Special Zone No. 40 (C.4 Sp.40)", except for the following uses:
- automobile service station;
 - banks;
 - business offices;
 - financial institutions;
 - local retail stores;
 - public and private parking areas;
 - places of entertainment;
 - hotels, motels;
 - professional offices;
 - taverns;
 - retail stores;
 - service establishments that are not obnoxious;
 - dwelling units connected to and forming an integral part of the commercial building provided that access to the dwelling units is separate from the access to the commercial portion of the building, and no dwelling units will be permitted on the ground floor;
 - club and fraternal organizations.
- 11.3.40.2b) No person shall use land, or use, erect, or construct any building or structure in this "District Commercial Special Zone No. 40 (C.4 Sp.40)" for the following uses:
- freestanding gasoline service station or gas bar;
 - retail food store;
 - retail department store;
 - retail drug store;
 - restaurant.

- 11.3.40.2c) The regulations for this "District Commercial Special Zone No. 40 (C.4 Sp.40)" are as follows:
- i) The maximum lot coverage not to exceed twenty-seven (27) percent of the total lot area.
 - ii) The minimum rear yard setback shall be twenty-six and zero tenths (26.0) metres.
- 11.3.40.3 The use of land or buildings in this "District Commercial Special Zone No. 40 (C.4 Sp.40)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

SCHEDULE TO "DISTRICT COMMERCIAL SPECIAL ZONE NO. 40 (C.4 Sp.40)"



11.3.41 District Commercial Special Zone No. 41 (C.4 Sp.41)

11.3.41.1 The property description of this "District Commercial Special Zone No. 41 (C.4 Sp.41)" is part of Part 5, Plan 36R-3866 and part of the former McKeown Avenue Road allowance along McKeown Avenue in the City of North Bay, as shown on the attached Schedules and Schedules "B-32" and "B-42.

11.3.41.2a) No person shall use land, or use, erect, or construct any building or structure in this "District Commercial Special Zone No. 41 (C.4 Sp.41)", except for the following uses:

- automobile service station or gas bar;
- banks;
- business offices;
- financial institutions;
- food stores;
- local retail stores;
- public and private parking areas;
- places of entertainment;
- hotels, motels;
- professional offices;
- restaurants and taverns;
- retail stores;
- service establishments that are not obnoxious;
- dwelling units connected to and forming an integral part of the commercial building provided that access to the dwelling units is separate from the access to the commercial portion of the building, and no dwelling units will be permitted on the ground floor;
- club and fraternal organizations.

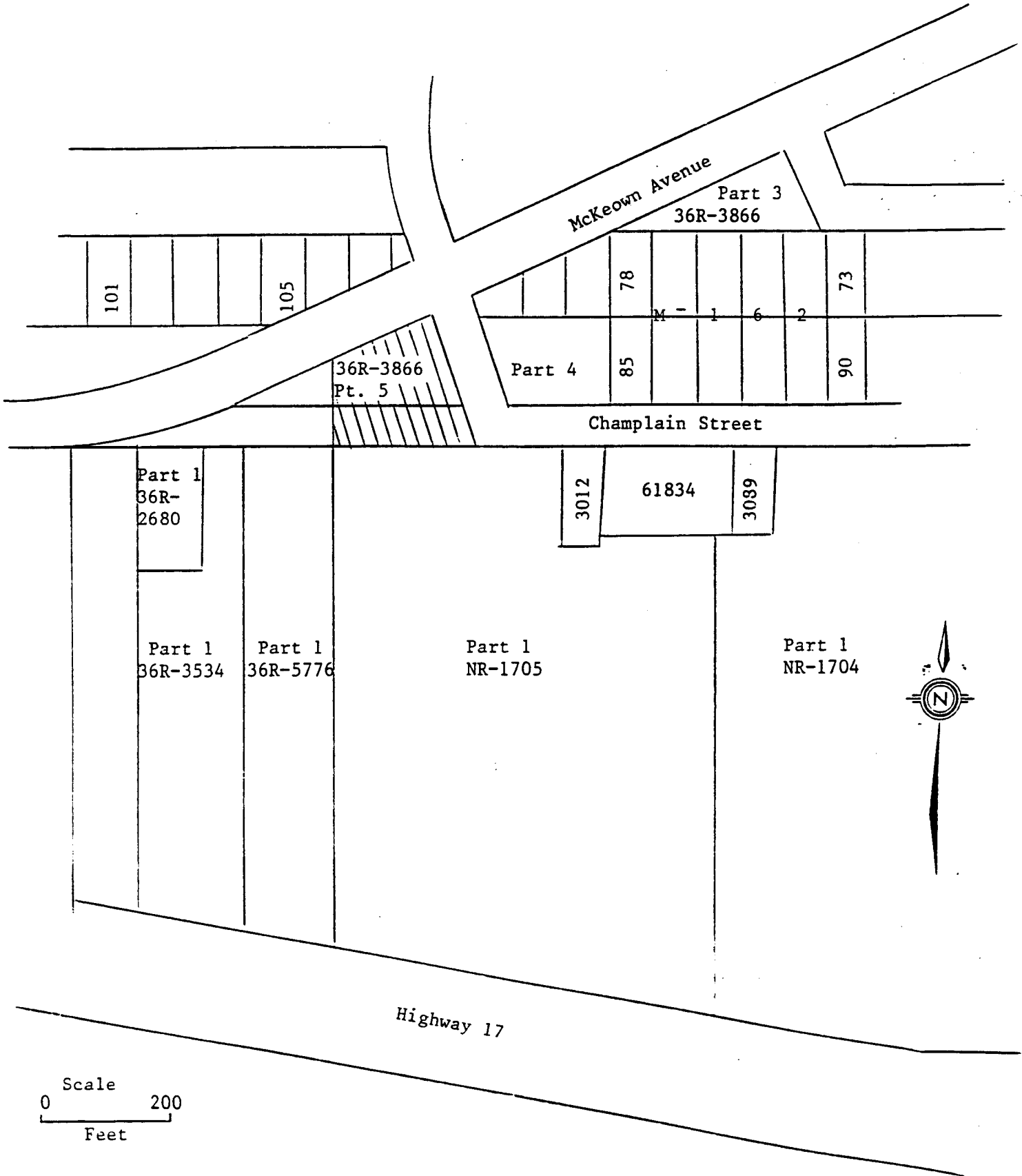
11.3.41.2b) The regulations for this "District Commercial Special Zone No. 41 (C.4 Sp.41)" are as follows:

- i) The maximum lot coverage not to exceed twenty-seven (27) percent of the total lot area.
- ii) The minimum front yard setback shall be twelve and zero-tenths (12.0) metres.

iii) The minimum easterly side yard setback shall be eighteen and three-tenths (18.3) metres.

11.3.41.3 The use of land or buildings in this "District Commercial Special Zone No. 41 (C.4 Sp.41)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

SCHEDULE TO "DISTRICT COMMERCIAL SPECIAL ZONE NO. 41 (C.4 Sp.41)"



11.3.42 **Neighbourhood Commercial Special Zone
No. 42 (C.5 Sp.42)**

11.3.42.1 The property description of this "Neighbourhood Commercial Special Zone No. 42 (C.5 Sp.42)" is part of Part 1, Plan 36R-7201 having a frontage of forty and two-tenths (40.2) metres on Lakeshore Drive and a flankage of forty-eight and five-tenths (48.5) metres along Riverbend Road in the City of North Bay as shown on the attached Schedules and Schedule "B-82".

11.3.42.2a) No person shall use land, or use, erect, or construct any building or structure in this "Neighbourhood Commercial Special Zone No. 42 (C.5 Sp.42)", except for the following uses:

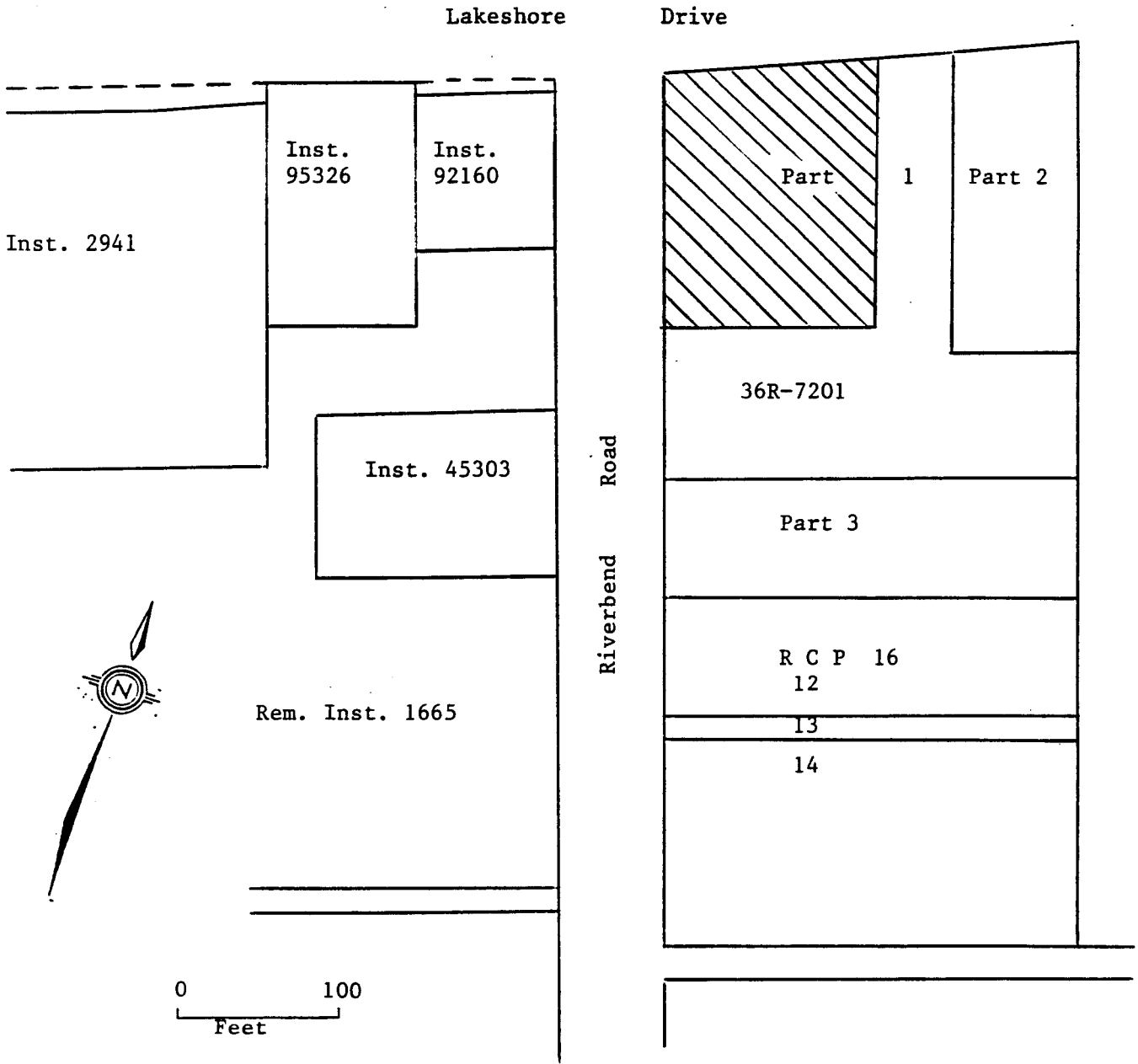
- professional offices;
- a dwelling unit, for the use of the owner or caretaker, connected to and forming an integral part of the commercial building provided that it does not exceed the floor area of the commercial portion of the use and access to the dwelling unit is separate from the access to the commercial portion of the building, and the dwelling unit is located above or at the rear of the business premises.

11.3.42.2b) The regulations for this "Neighbourhood Commercial Special Zone No. 42 (C.5 Sp.42)" are as follows:

- i) The maximum lot area not to exceed zero and two-tenths (0.2) hectares.
- ii) The minimum lot frontage shall be forty and two-tenths (40.2) metres.

11.3.42.3 The use of land or buildings in this "Neighbourhood Commercial Special Zone No. 42 (C.5 Sp.42)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

SCHEDULE TO "NEIGHBOURHOOD COMMERCIAL SPECIAL ZONE NO. 42 (C.5 Sp. 42)"



11.3.43 District Commercial Special Zone No. 43 (C.4 Sp.43)

11.3.43.1 The property description of this "District Commercial Zone No. 43 (C.4 Sp.43)" is Plan 36R-5645, Part of Parts 3 and 4 and all of Part 5, along Trout Lake Road in the City of North Bay as shown on the attached Schedules and Schedule "B-44".

11.3.43.2a) No person shall use land, or use, erect, or construct any building or structure in the "District Commercial Special Zone No. 43 (C.4 Sp.43)", except for the following uses:

- automobile service station or gas bar;
- banks;
- business offices;
- financial institutions;
- food stores;
- local retail stores;
- public and private parking areas;
- places of entertainment;
- hotels, motels;
- professional offices;
- restaurants and taverns;
- retail stores;
- service establishments that are not obnoxious;
- dwelling units connected to and forming an integral part of the commercial building provided that access to the dwelling units is separate from the access to the commercial portion of the building, and no dwelling units will be permitted on the ground floor;
- club and fraternal organizations.

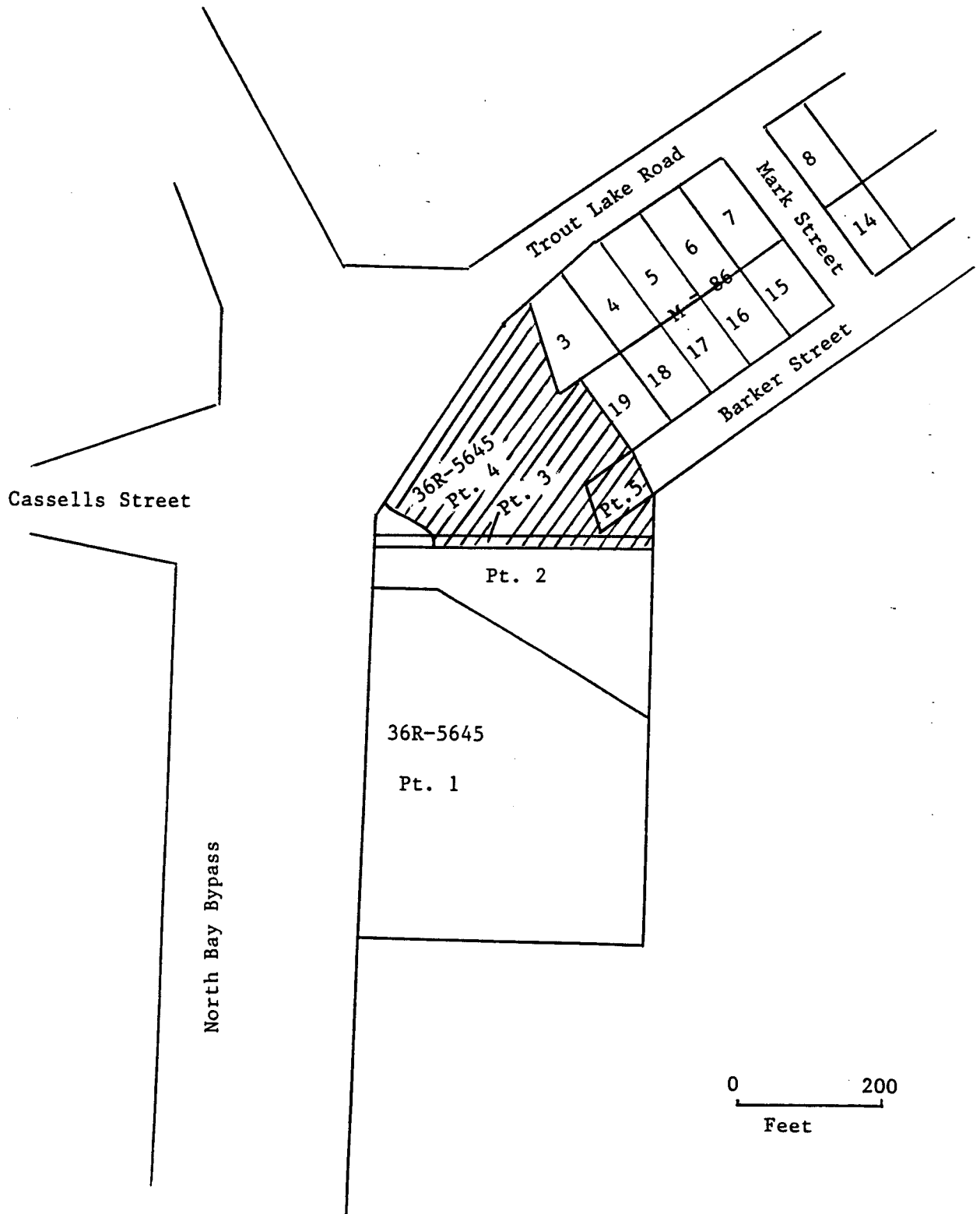
11.3.43.2b) The regulations for this "District Commercial Special Zone No. 43 (C.4 Sp.43)" are as follows:

- i) The maximum lot coverage not to exceed twenty-six (26) percent of the total lot area.
- ii) The minimum northerly side yard setback shall be six and zero-tenths (6.0) metres.

- iii) The minimum southerly side yard setback shall be nil.
- iv) No building or structure shall be erected, constructed, or placed within "District Commercial Special Zone No. 43 (C.4 Sp.43)" unless said building or structure is floodproofed to an elevation of not less than 205.85 MASL. Basements of buildings or structures shall be used only for the passive storage of storm water.

11.3.43.3 The use of land or buildings in this "District Commercial Special Zone No. 43 (C.4 Sp.43)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

SCHEDULE TO "DISTRICT COMMERCIAL SPECIAL ZONE NO. 43 (C.4 Sp.43)"



11.3.44 District Commercial Special Zone No. 44 (C.4 Sp.44)

11.3.44.1 The property description of this "District Commercial Special Zone No. 44 (C.4 Sp.44)" is Part of Parts 1 and 2, Plan 36R-5645 along the North Bay Bypass in the City of North Bay as shown on the attached Schedules and Schedules "B-44" and "B-52".

11.3.44.2a) No person shall use land, or use, erect, or construct any building or structure in the "District Commercial Special Zone No. 44 (C.4 Sp.44)", except for the following uses:

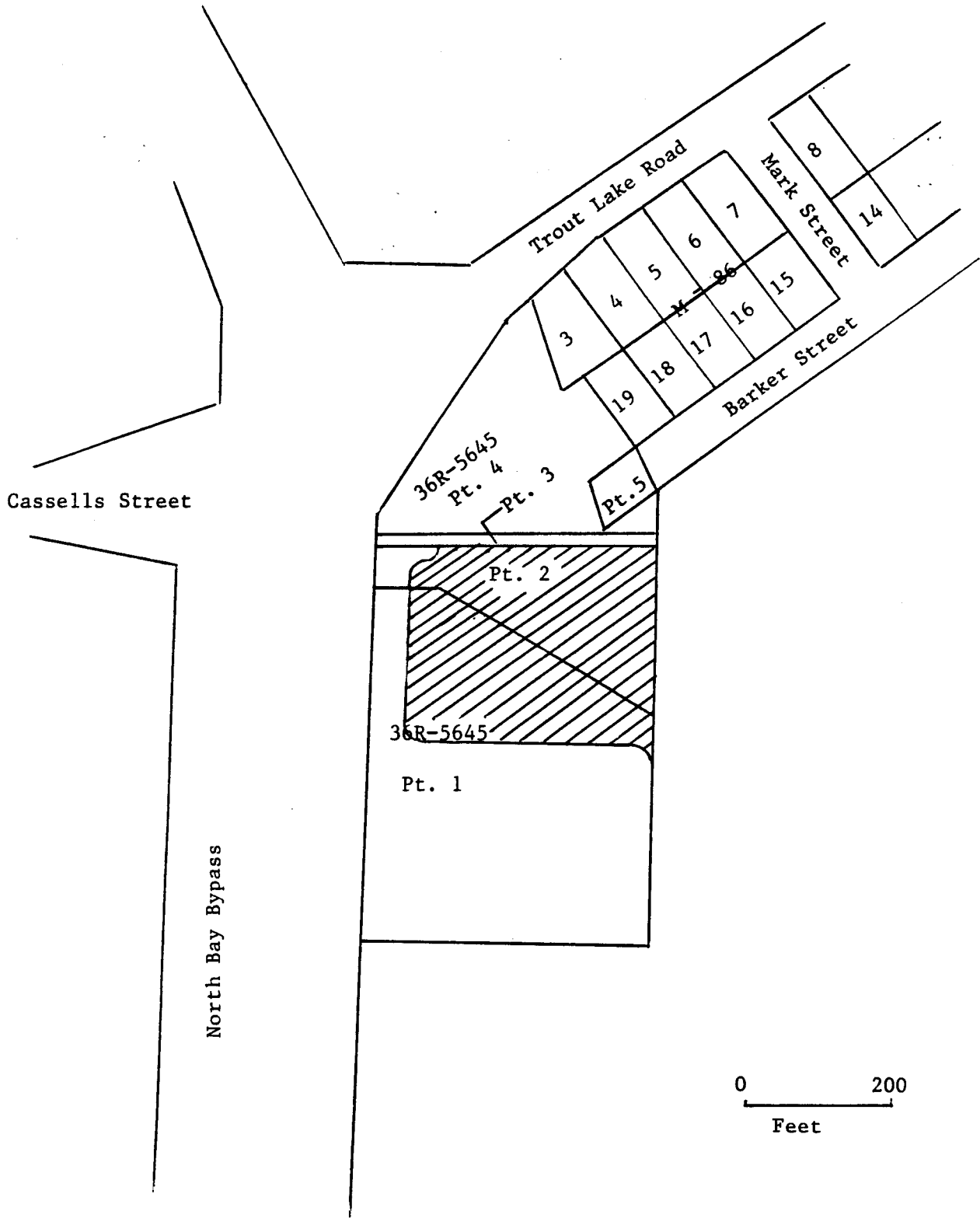
- automobile service station or gas bar;
- banks;
- business offices;
- financial institutions;
- food stores;
- local retail stores;
- public and private parking areas;
- places of entertainment;
- hotels, motels;
- professional offices;
- restaurants and taverns;
- retail stores;
- service establishments that are not obnoxious;
- dwelling units connected to and forming an integral part of the commercial building provided that access to the dwelling units is separate from the access to the commercial portion of the building, and no dwelling units will be permitted on the ground floor;
- club and fraternal organizations.

11.3.44.2b) The regulations for this "District Commercial Special Zone No. 44 (C.4 Sp.44)" are as follows:

- i) No building or structure shall be erected, constructed, or placed within "District Commercial Special Zone No. 44 (C.4 Sp.44)" unless said building or structure is floodproofed to an elevation of not less than 205.85 MASL.

- 11.3.44.2b) Basements of buildings or structures shall only be used for the passive storage of storm water.
- ii) The minimum rear yard setback shall be not less than fourteen and zero-tenths (14.0) metres.
- 11.3.44.3 The use of land or buildings in this "District Commercial Special Zone No. 44 (C.4 Sp.44)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

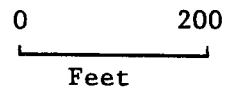
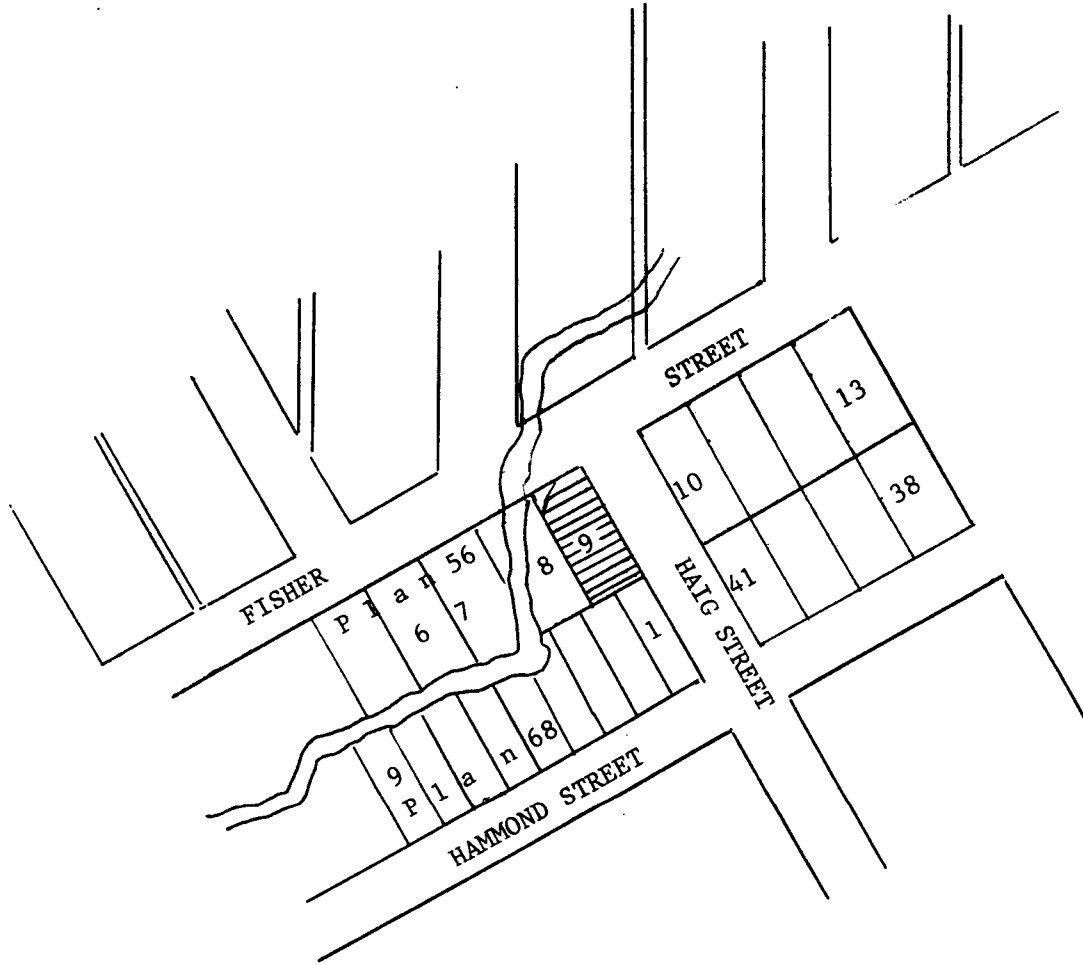
SCHEDULE TO "DISTRICT COMMERCIAL SPECIAL ZONE NO. 44
(C4 Sp. 44)"



11.3.45 **Neighbourhood Commercial Special Zone No. 45**
C.5 Sp.45

- 11.3.45.1 The property description of this "Neighbourhood Commercial Special Zone No. 45 (C.5 Sp.45)" is Plan 56, Lot 9 along Haig Street in the City of North Bay as shown on the attached Schedules and Schedule "B-51".
- 11.3.45.2a) No person shall use land, or use, erect, or construct any building or structure in this "Neighbourhood Commercial Special Zone No. 45 (C.5 Sp.45)", except for the following uses:
- child care centre;
 - convenience stores;
 - dry cleaning depots;
 - local retail stores;
 - service establishments that are not obnoxious;
 - dwelling units connected to and forming an integral part of the commercial building provided that they do not exceed the floor area of the commercial portion of the use, and access to the dwelling units is separate from the access to the commercial portion of the building, and the dwelling units are located above or at the rear of business premises.
- 11.3.45.2b) The regulations for this "Neighbourhood Commercial Special Zone No. 45 (C.5 Sp.45)" are as follows:
- i) The minimum easterly side yard setback shall be two and seven-tenths (2.7) metres.
 - ii) The minimum rear yard setback shall be ten and zero-tenths (10.0) metres.
- 11.3.45.3 The use of land or buildings in this "Neighbourhood Commercial Special Zone No. 45 (C.5 Sp.45)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

SCHEDULE TO "NEIGHBOURHOOD COMMERCIAL SPECIAL ZONE NO. 45 (C.5 Sp. 45)"



11.3.46 District Commercial Special Zone No. 46 (C.4 Sp.46)

11.3.46.1 The property description of this "District Commercial Special Zone No. 46 (C.4 Sp.46)" is Remainder of Parcel 4887 W&F along Trout Lake Road in the City of North Bay as shown on the attached Schedules and Schedule "B-45".

11.3.46.2a) No person shall use land, or use, erect, or construct any building or structure in this "District Commercial Special Zone No. 46 (C.4 Sp.46)", except for the following uses:

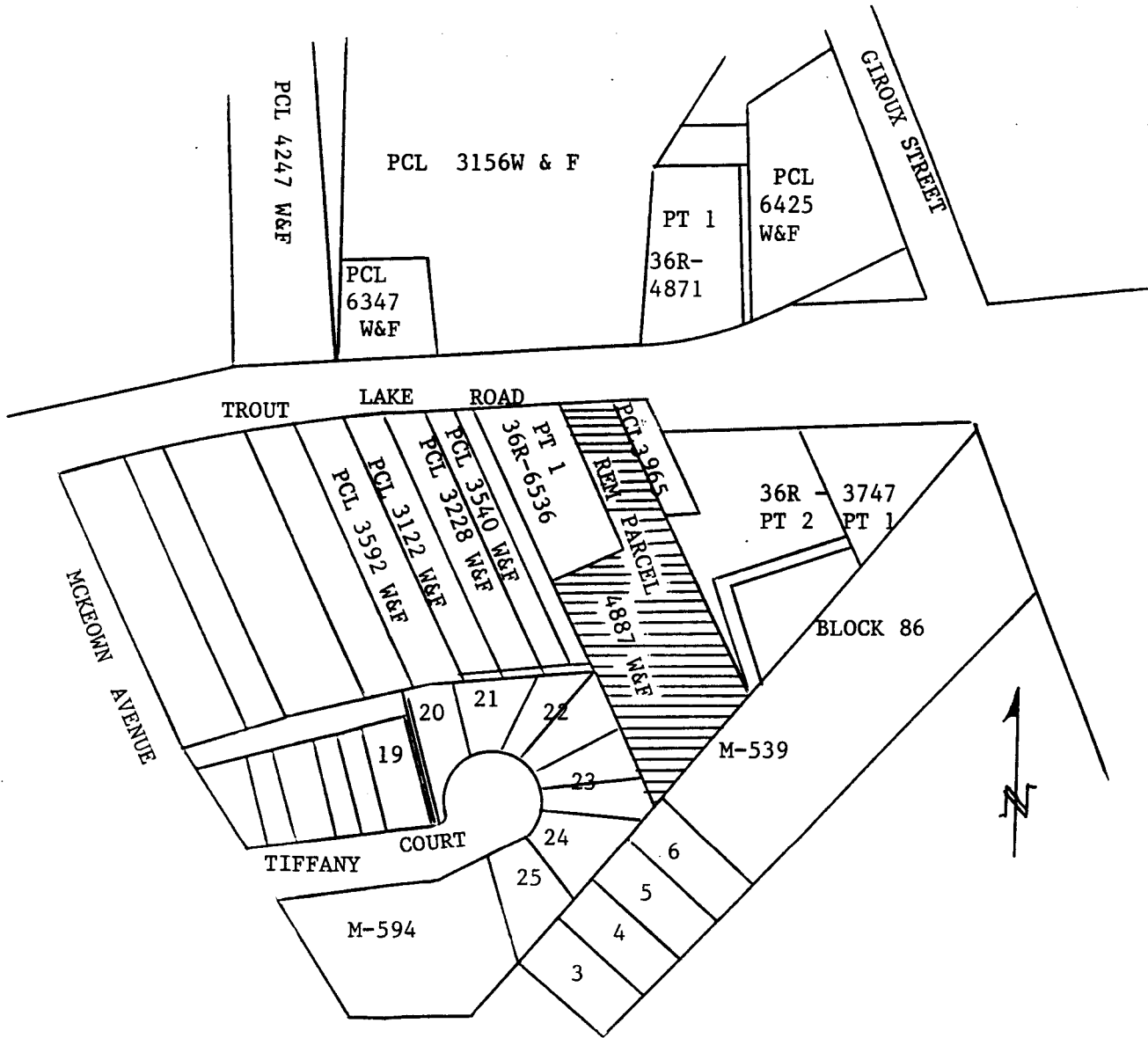
- automobile service station or gas bar;
- banks;
- business offices;
- financial institutions;
- food stores;
- local retail stores;
- public and private parking areas;
- places of entertainment;
- hotels, motels;
- professional offices;
- restaurants and taverns;
- retail stores;
- service establishments that are not obnoxious;
- dwelling units;
- club and fraternal organizations.

11.3.46.2b) The regulations for this "District Commercial Special Zone No. 46 (C.4 Sp.46)" are as follows:

- i) The minimum rear yard setback shall be eight and zero-tenths (8.0) metres.

The use of land or buildings in this "District Commercial Special Zone No. 46 (C.4 Sp.46)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

Schedule to "District Commercial Special Zone No. 46 (C4Sp.46)"



11.3.47 **Neighbourhood Commercial Special Zone No. 47**
(C.5 Sp.47)

11.3.47.1 The property description of this "Neighbourhood Commercial Special Zone No. 47 (C.5 Sp.47)" is Lots 221, 222, and Part Lot 220, Plan 78 along Algonquin Avenue in the City of North Bay as shown on the attached Schedules and Schedule "B-42".

11.3.47.2a) No person shall use land, or use, erect, or construct any building or structure in this "Neighbourhood Commercial Special Zone No. 47 (C.5 Sp.47)", except for the following uses:

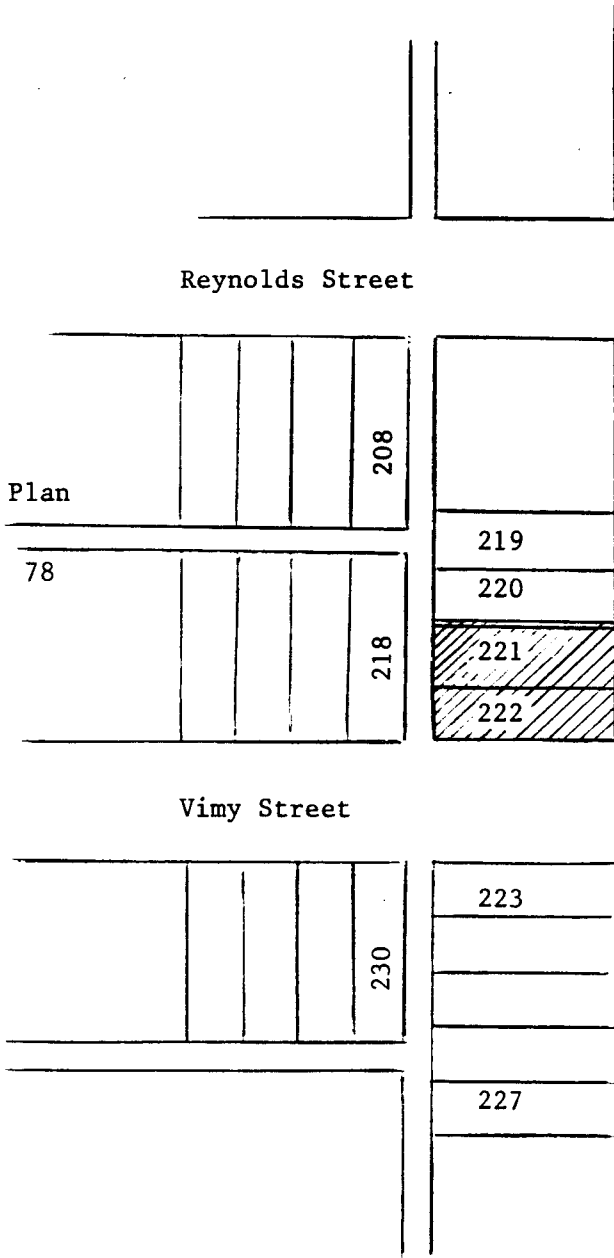
- professional offices;
- 3 dwelling units connected to and forming an integral part of the commercial building provided that access to the dwelling units is separate from the access to the commercial portion of the building, and the dwelling units are located above or at the rear of business premises.

11.3.47.2b) The regulations for this "Neighbourhood Commercial Special Zone No. 47 (C.5 Sp.47)" are as follows:

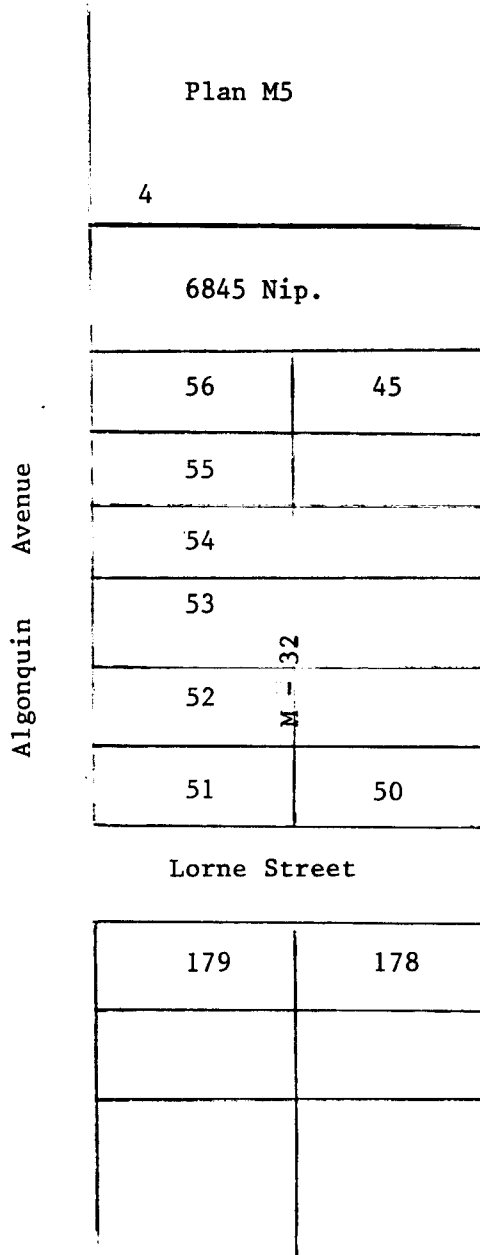
- i) The minimum front yard setback shall be seven and six-tenths (7.6) metres.
- ii) The minimum northerly side yard setback shall be zero and one-tenth (0.1) metres.
- iii) The minimum rear yard setback shall be six and four-tenths (6.4) metres.

11.3.47.3 The use of land or building in this "Neighbourhood Commercial Special Zone No. 47 (C.5 Sp.47)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

SCHEDULE TO "NEIGHBOURHOOD COMMERCIAL SPECIAL ZONE NO. 47 (C.5 Sp.47)"



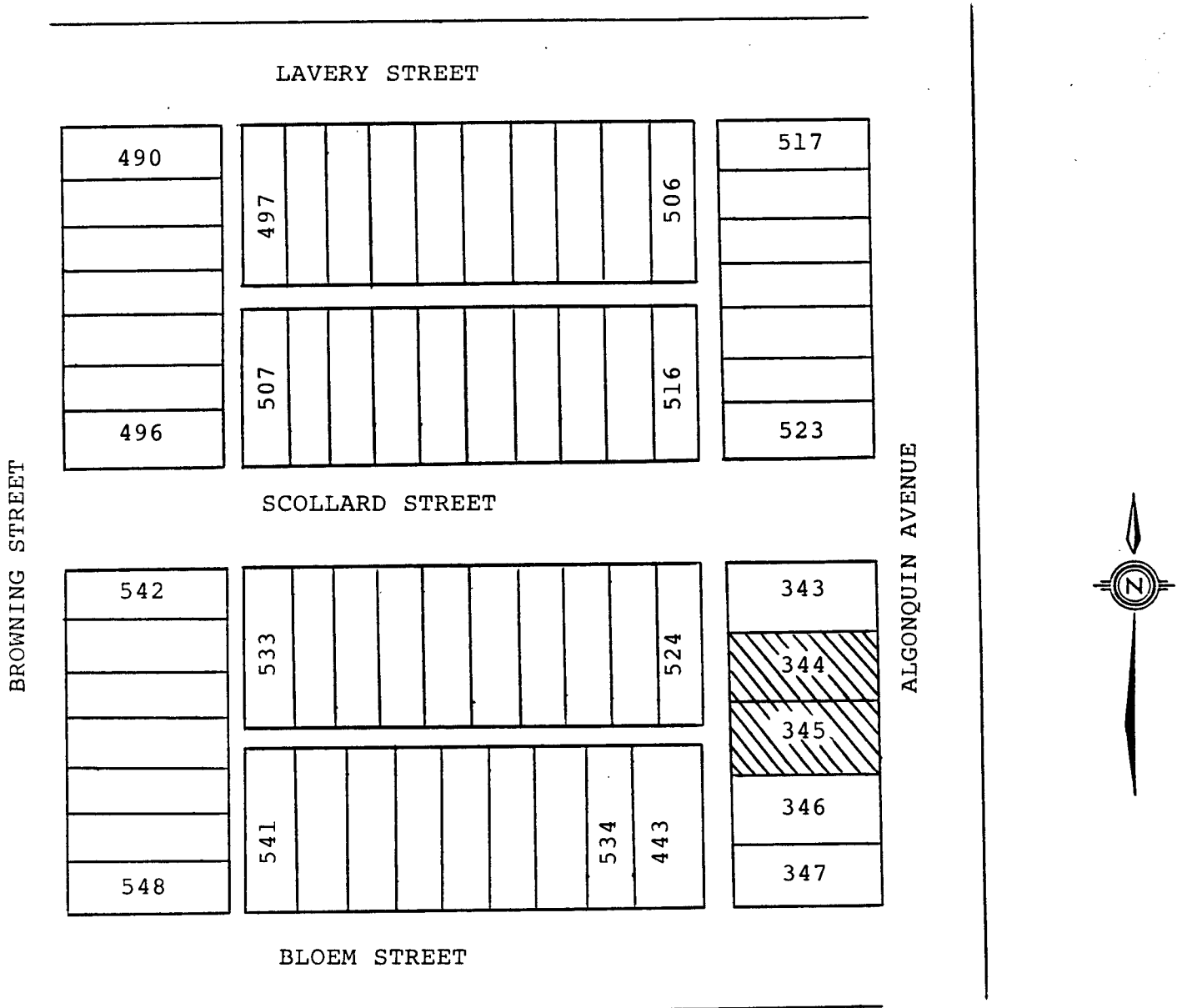
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11.3.48 Neighbourhood Commercial Special Zone No. 48 (C5 Sp.48)

- 11.3.48.1 The property description of this "Neighbourhood Commercial Special Zone No. 48 (C5 Sp.48)" is Lots 344 and 345, Plan 65 along Algonquin Avenue in the City of North Bay as shown on the attached Schedules and Schedule "B-42".
- 11.3.48.2 a) No person shall use land, or use, erect, or construct any building or structure in this "Neighbourhood Commercial Special Zone No. 48 (C5 Sp.48)" except for the following uses:
- a professional office;
 - an ancillary dwelling unit connected to and forming an integral part of the commercial building provided that the dwelling unit is for the use of the resident professional.
- 11.3.48.2 b) The regulations for this "Neighbourhood Commercial Special Zone No. 48 (C5 Sp.48)" are as follows:
- i) the southerly side yard setback shall be a minimum of one and five-tenths (1.5) metres;
 - ii) the rear setback shall be a minimum of zero and two-tenths (0.2) metres.
- 11.3.48.3 The use of land or building in this "Neighbourhood Commercial Special Zone No. 48 (C5 Sp.48)" zone shall conform to all other regulations of this By-law, except as hereby expressly varied.

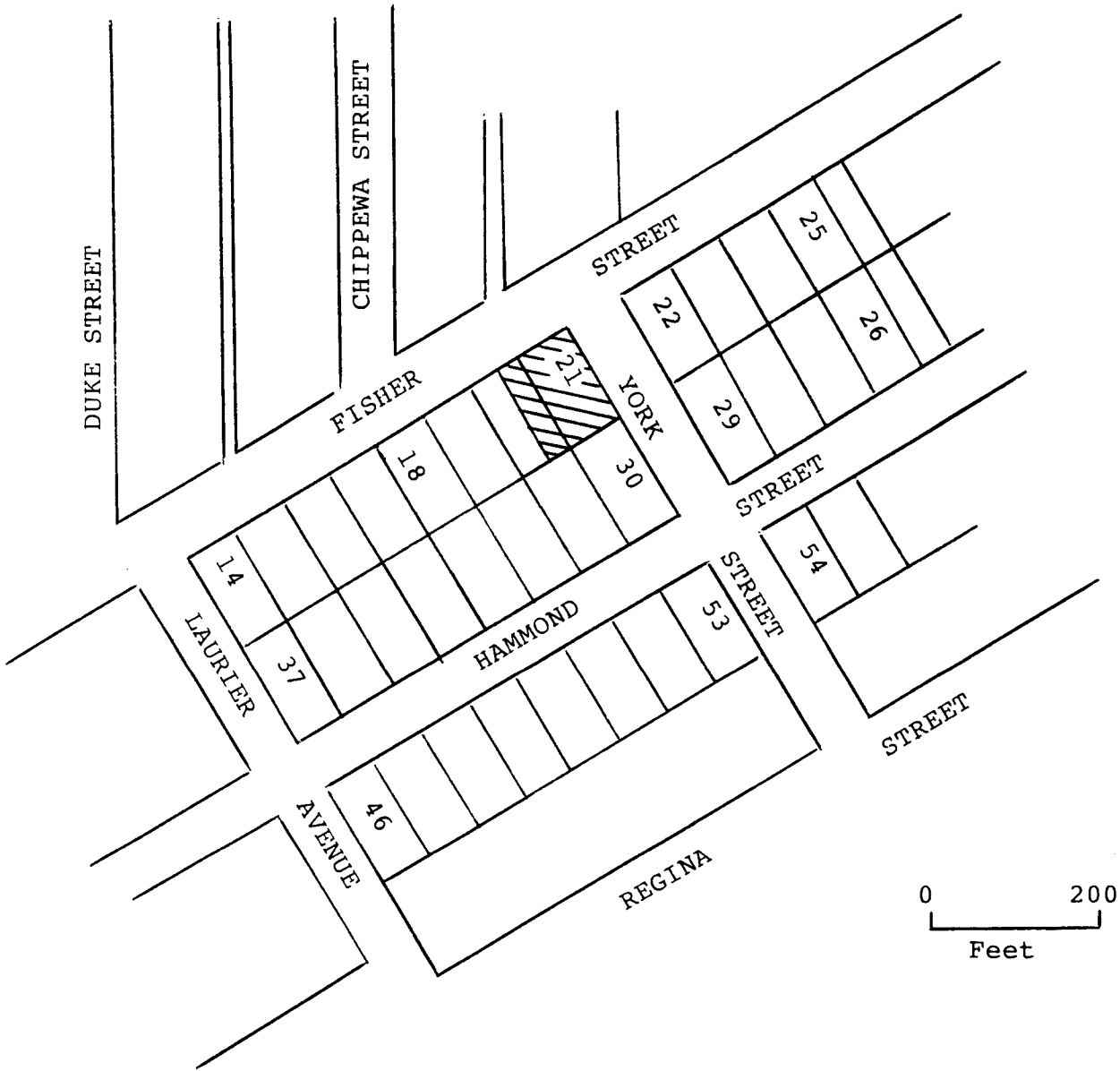
SCHEDULE TO "NEIGHBOURHOOD COMMERCIAL SPECIAL ZONE NO. 48 (C5 Sp.48)"



11.3.51 Neighbourhood Commercial Special Zone No. 51 (C5 Sp.51)

- 11.3.51.1 The property description of this "Neighbourhood Commercial Special Zone No. 51 (C5 Sp.51)" is Lot 21, Part of Lot 20, Plan 56 along Fisher Street in the City of North Bay as shown on the attached Schedules and Schedule "B-51".
- 11.3.51.2 a) No person shall use land, or use, erect, or construct any building or structure in this "Neighbourhood Commercial Special Zone No. 51 (C5 Sp.51)" except for the following uses:
- neighbourhood dairy;
 - convenience stores;
 - dry cleaning depots;
 - local retail stores;
 - service establishments that are not obnoxious;
 - dwelling units connected to and forming an integral part of the commercial building, provided that they do not exceed the floor area of the commercial portion of the use, and access to the dwelling units is separate from the access to the commercial portion of the building, and the dwelling units are located above or at the rear of business premises.
- 11.3.51.2 b) The regulations for this "Neighbourhood Commercial Special Zone No. 51 (C5 Sp.51)" are as follows:
- i) the minimum rear yard setback shall be six and seven-tenths (6.7) metres.
- 11.3.51.2 c) For the lands contained within "Neighbourhood Commercial Special Zone No. 51 (C5 Sp.51)", a Neighbourhood Dairy shall mean "A building used to sell dairy products by retail and in which processing of raw milk is undertaken indoors".
- 11.3.51.3 The use of land or building in this "Neighbourhood Commercial Special Zone No. 51 (C5 Sp.51)" zone shall conform to all other regulations of this By-law, except as hereby expressly varied.

SCHEDULE TO "NEIGHBOURHOOD COMMERCIAL SPECIAL ZONE NO. 51 (C5 Sp.51)"



INDUSTRIAL SPECIAL ZONES

11.4 INDUSTRIAL SPECIAL ZONES

11.4.1 Industrial Special Zone 1 (M.Sp.1)

11.4.1.1 The property descriptions of this Industrial Special 1 Zone are:

- a) Lot 20, Concession I, Part of Parcel 8901 W&F, Highway No. 11 North (see Schedule "C-7").
- b) Lot 21, Concession A, Parcel 4417, Highway No. 11 North (see Schedule "B-22").
- c) Lot 20, Concession III, Remainder of Parcel 2314 W&F, Parcel 6884 W&F, Highway No. 11 North, Parcel 5690 W&F (see Schedule "C-10").
- d) Lot 21, Concession I, Remainder of Parcel 8680 W&F, Highway No. 11 North (see Schedule "C-7").

11.4.1.2 The special requirements of this Industrial Special 1 Zone are as follows:

a) The Permitted Uses for this Zone are:

i) Industrial and Commercial

Manufacturing and Industrial operations, warehousing and storage uses, but not scrap yards. Commercial uses incidental and subordinate to the main industrial use where the floor area devoted to the said commercial use does not exceed ten (10) percent of the floor area to a maximum of two hundred and seventy-nine (279) metres. All permitted uses shall be conducted within an enclosed building or structure.

ii) Residential Use

One (1) apartment unit shall be permitted for a caretaker of an establishment provided that the said apartment unit is located within the main building of such establishment.

Regulations

i) Outside Storage

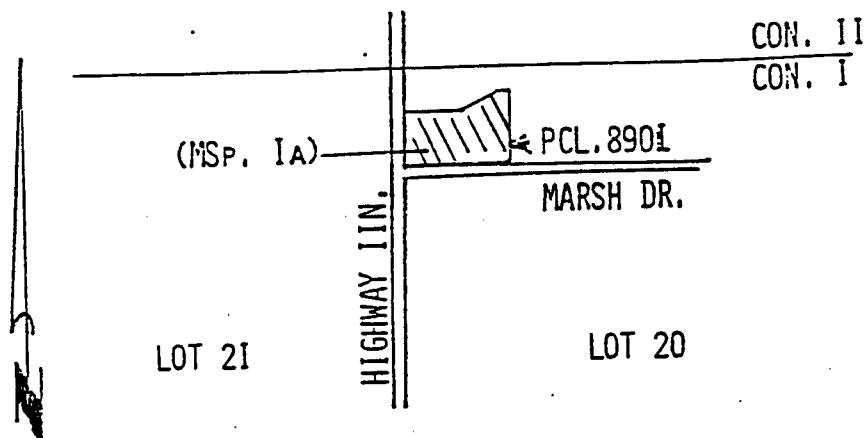
Where part of the use permitted under Section 11.4.1.2a) of this zone is carried on outside a building, that part of the operation shall not be conducted in the front yard and shall be enclosed by adequate screening in the form of landscaping or fencing to a height of not less than one and eight-tenths (1.8) metres and not greater than the height of the first storey of the main building on the property.

- ii) The setback from the front lot line shall be a minimum of fifteen (15) metres.
- iii) The setback from the side lot line shall be a minimum of four and five-tenths (4.5) metres.
- iv) The setback from the rear lot line shall be a minimum of fifteen (15) metres.
- v) The maximum lot coverage shall be fifty (50) percent.

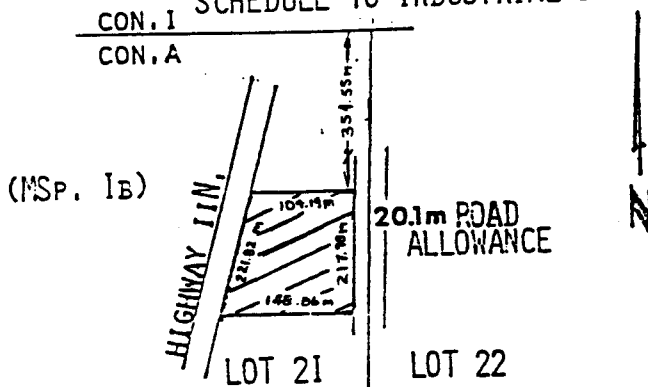
11.4.1.3

The use of land in this Industrial Special 1 Zone shall conform to all other regulations of this By-law, except as hereby expressly varied.

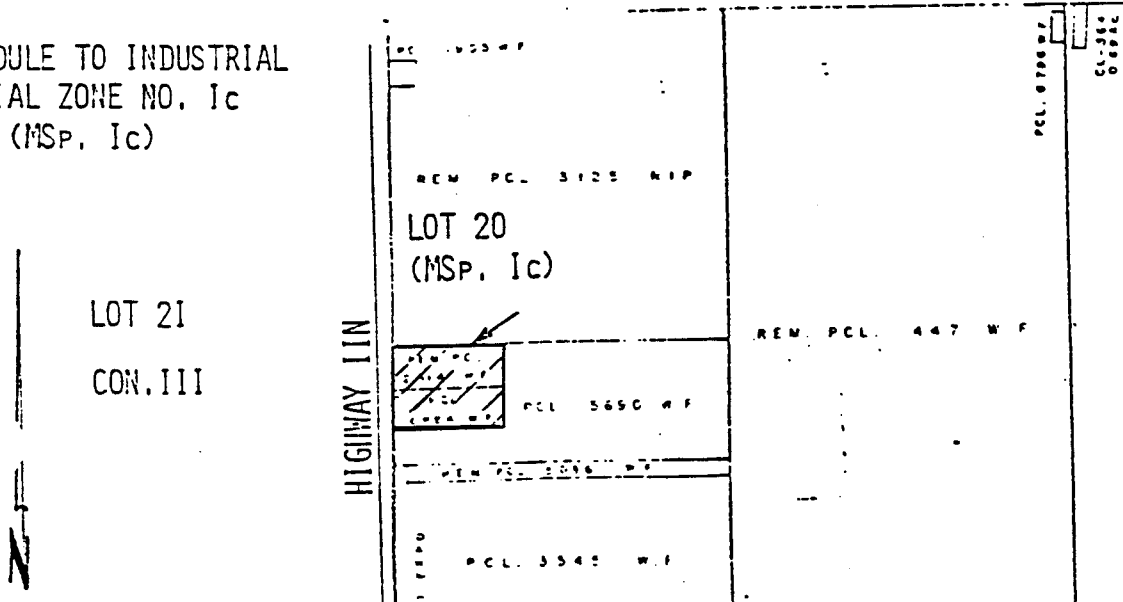
SCHEDULE TO INDUSTRIAL SPECIAL ZONE NO. 1A (MSP. 1A)



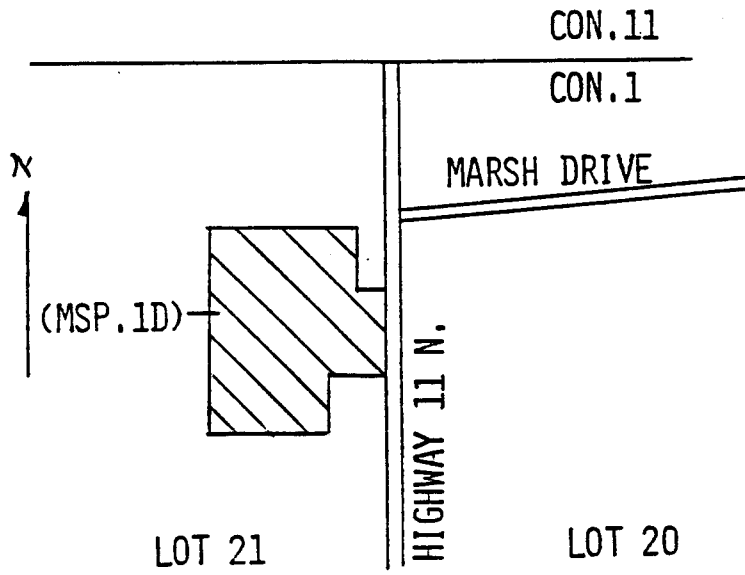
SCHEDULE TO INDUSTRIAL SPECIAL ZONE NO. 1B (MSP. 1B)



SCHEDULE TO INDUSTRIAL SPECIAL ZONE NO. 1c (MSP. 1c)



SCHEDULE TO INDUSTRIAL SPECIAL ZONE NO. 1D (MSP.1D)



11.4.2 Industrial Special Zone 2 (M.Sp.2)

11.4.2.1 The property description of this Industrial Special 2 Zone is:

Part of Lot 12, Concession B, as shown on the attached Site Plan and Schedule "C-6".

11.4.2.2 The special requirements for this Industrial Special 2 Zone are as follows:

a) The Permitted Uses in this Zone are:

i) Industrial and Commercial

Manufacturing and industrial operations, warehousing and storage uses, but not scrap yard or scrap storage. Commercial uses incidental and subordinate to the main industrial use where the floor area devoted to the said commercial area does not exceed fifty (50) percent of the floor area of the entire building. All permitted uses shall be conducted within an enclosed building or structure.

b) The regulations for this zone are:

i) Within the zone hereby established, only buildings, structures, and use of land existing at the date of passage of this By-law, namely the manufacturing and salvage of diamond drill bits and the conditioning of industrial diamonds, shall be permitted.

11.4.2.3 The use of land in this Industrial Special 2 Zone shall conform to all other regulations of this By-law, except as hereby expressly varied.

11.4.3 Industrial Special Zone 3 (M.Sp.3)

11.4.3.1 The property description for this Industrial Special 3 Zone is:

Lot 34, Concession 14, Parcel 535 W&F, (Lots 1-10, 6A, 7A, 8A, 9A and 10A); Birch's Road, as shown on the attached Site Plan and on Schedule "B-82".

11.4.3.2 The special requirements for the Industrial Special 3 Zone are as follows:

a) The Permitted Uses for this zone are:

i) Industrial

Bulk sales establishments, construction contractors and yards, heavy equipment storage, heavy equipment sales and service, transportation, communication and utilities yards or terminals, wholesale uses, warehouse uses, builders' supply yards, manufacturing, processing and assembly operations not requiring municipally-supplied services such as sewer and water.

ii) Residential

An apartment within the main building for an essential workman or caretaker.

iii) Offices

Administrative offices associated with and integral to the main industrial use.

11.4.3.2

a) i) Outdoor Storage

Will be permitted, but shall not be conducted in the front yard and shall be enclosed and adequately screened in the form of opaque landscaping or fencing to a height of not less than one and eight-tenths (1.8) metres, but not greater than the height of the first storey of the main building on the property.

ii) The minimum front yard shall be fifteen (15) metres.

iii) The minimum rear yard setback shall be twelve (12) metres except:

a) where the rear lot line abuts a residential or open space zone the setback from said rear lot line shall be a minimum of fifteen (15) metres, or

b) where a rear lot line abuts a railway the setback from the rear lot line shall be nil.

iv) The minimum side yard setback shall be four and five-tenths (4.5) metres except:

a) where the side lot line abuts a residential or open space zone the setback from said side lot line shall be a minimum of nine (9)metres, or

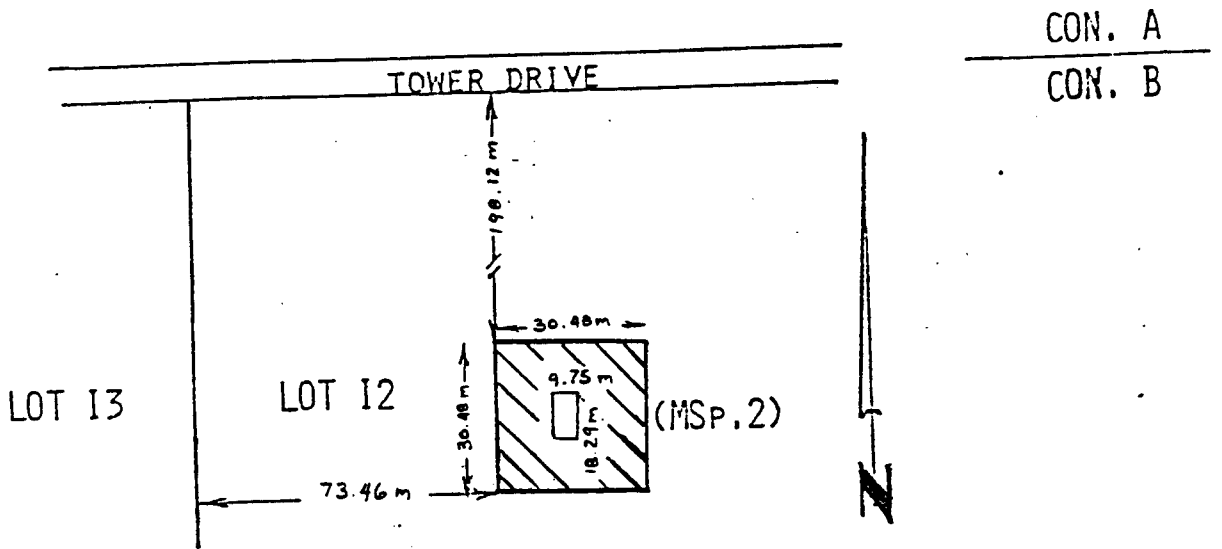
11.4.3.2

- iv) b) where a side lot line abuts a street, setback from said side lot line shall be a minimum of nine (9) metres, or
- c) where a side lot line abuts a railway, the setback from said side lot line shall be nil.
- v) In this Industrial Special 3 Zone, the setback may be nil from abutting lands owned by The Canadian Pacific Ltd.
- vi) The use of land in this Industrial Special 3 Zone shall be subject to a written agreement between the prospective industries and the City that:
 - a) urban services are not required for the proposed use, and
 - b) the City will not provide urban services to such land.

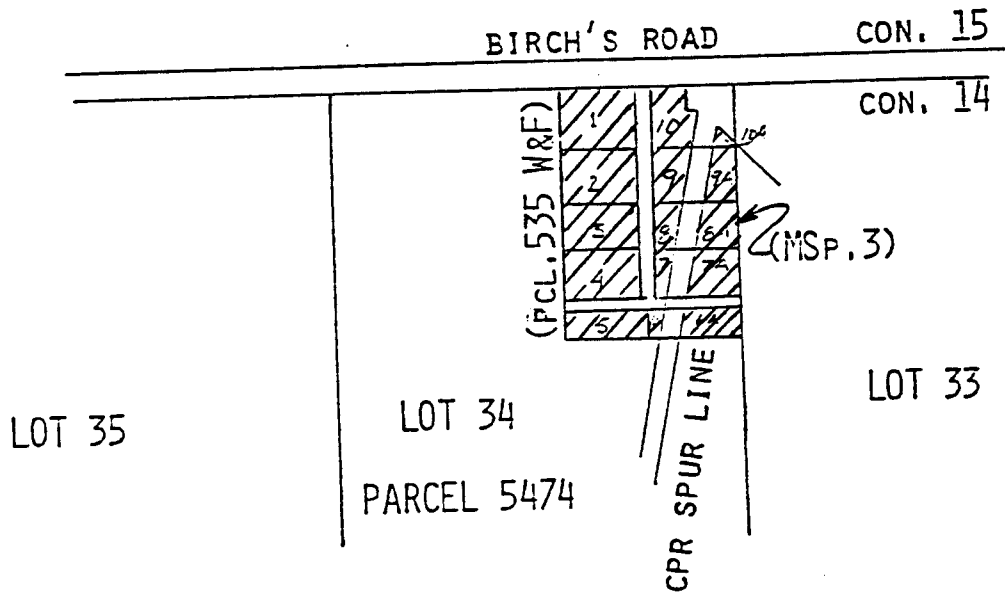
11.4.3.3

The use of land in this Industrial Special 3 Zone shall conform to all other regulations of this By-law, except as hereby expressly varied.

SCHEDULE TO INDUSTRIAL SPECIAL NO. 2 (MSP. 2)



SCHEDULE TO INDUSTRIAL SPECIAL NO. 3 (MSP. 3)



11.4.4 Industrial Special Zone 4 (M.Sp.4)

11.4.4.1 The property description for this Industrial Special 4 Zone (M. Sp.4) is:

All of Lots 26 and 28, Concession XV, Part of Lots 25, 26, 27, 28, 29, 30, 31, 32, Concession XIV, Part Lot 25, and all of Lots 26, 27, 28, 29 and Part of Lots 30, 31, 32, Concession XIII, all of Lots 25, 26, 27, 28, Concession XII, and Part of Lots 29, 30, 31, Concession XII, all of Lots 25, 26, 27 and 30, Concession XI, and Part of Lots 28, 29 and 31, Concession XI in the former Township of West Ferris, now in the City of North Bay.

11.4.4.2 The special requirements for the Industrial Special 4 Zone (M Sp. 4) is:

a) The Permitted Uses for this zone are:

i) Industrial

The heavy industrial, manufacturing and testing operations of E.T.I. Explosives Technologies International Ltd. and any associated or affiliated corporations or partnerships within the lands owned by E.T.I. Explosives Technologies International Ltd. including the heavy industrial, manufacturing and testing operation of Fabrene Inc. on the portions of the lands leased or transferred to Fabrene Inc.

ii) Residential

An apartment within the main building for an essential workman or caretaker.

11.4.4.2

a) iii) Offices

Administrative offices associated with and integral to the main Industrial Use.

iv) Outside Storage

Will be permitted, but shall not be conducted in the front yard and shall be enclosed and adequately screened in the form of opaque landscaping or fencing to a height of not less than one and eight-tenths (1.8) metres, but not greater than the height of the first storey of the main building on the property.

b) The regulations for this zone are:

i) The minimum front yard shall be fifteen (15) metres.

ii) The minimum rear yard setback shall be twelve (12) metres except:

a) where the rear lot line abuts a residential or open space zone, the setback from said rear lot line shall be a minimum of fifteen (15) metres, or

b) where a rear lot line abuts a railway, the setback from the rear lot line may be nil.

- 11.4.4.2 b) iii) The minimum side yard setback shall be four and five-tenths (4.5) metres except:
- a) where the side lot line abuts a residential or open space zone, the set-back from said side lot line shall be a minimum of nine (9) metres, or
 - b) where a side lot line abuts a street, setback from said side lot line shall be a minimum of nine (9) metres, or
 - c) where a side lot line abuts a railway, the setback from said lot line may be nil.
- 11.4.4.3 The use of land in this Industrial Special 4 Zone shall conform to all other regulations of this By-law, except as hereby expressly varied.

11.4.5 Industrial Special Zone 5 (M.Sp.5)

11.4.5.1 The property description for this Industrial Special 5 Zone (M Sp.5) is:

Part of the Southeast corner of Lot 13, Concession B in the former Township of Widdifield.

11.4.5.2 The special requirements for this Industrial Special 5 Zone (M Sp.5) are:

a) The Permitted Uses for this Zone are:

i) Industrial

The operation of a Contractor's yard, warehousing, and storage uses as shown on Schedule C-6 to this By-law.

ii) Residential

An apartment within the main building for an essential workman or caretaker.

iii) Offices

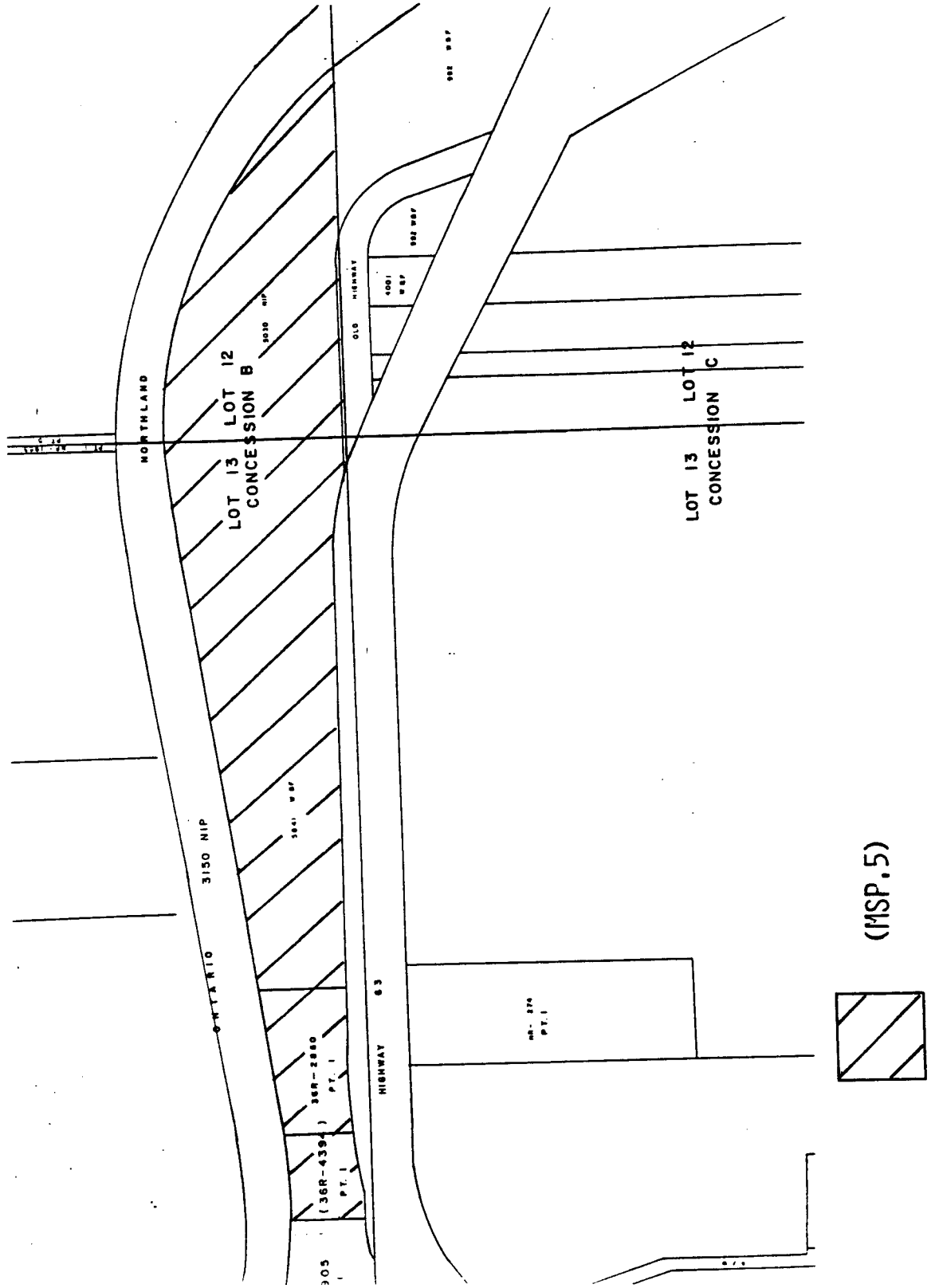
Administrative offices associated with and integral to the main Industrial Use.

iv) Outside Storage

Will be permitted, but shall not be conducted in the front yard and shall be enclosed and adequately screened in the form of opaque landscaping or fencing to a height of not less than one and eight-tenths (1.8) metres, but not greater than the height of the first storey of the main building on the property.

- 11.4.5.2 b) The regulations for this zone are:
- i) The minimum front yard shall be fifteen (15) metres.
 - ii) The minimum rear yard setback shall be twelve (12) metres except:
 - a) where the rear lot line abuts a residential or open space zone, the setback from said rear lot line shall be a minimum of fifteen (15) metres, or
 - b) where a rear lot line abuts a railway, the setback from the rear lot line may be nil.
 - iii) The minimum side yard setback shall be four and five-tenths (4.5) metres except:
 - a) where the side lot line abuts a residential or open space zone or rural zone, the setback from said side lot line shall be a minimum of nine (9) metres;
 - b) where a side lot line abuts a street, setback from said side lot line shall be a minimum of nine (9) metres, or

SCHEDULE TO INDUSTRIAL SPECIAL ZONE NO. 5 (MSP.5)



11.4.6 Industrial Special Zone 6 (M.Sp.6)

11.4.6.1 The property description for this Industrial Special 6 Zone (M Sp.6) is:

Part 2, NR-1035 and Parcel 5853 W&F being Part of the Southeast corner of Lot 21, Concession 2 in the former Township of Widdifield.

11.4.6.2 The special requirements for this Industrial Special 6 Zone (M Sp.6) are:

a) The Permitted Uses for this zone are:

i) Industrial

The operations of Trans Canada Pipelines Ltd. as shown on Schedule C-10 to this By-law.

ii) Residential

Existing detached residential dwelling units for essential workman or caretaker.

iii) Offices

Administrative offices associated with and integral to the main Industrial use.

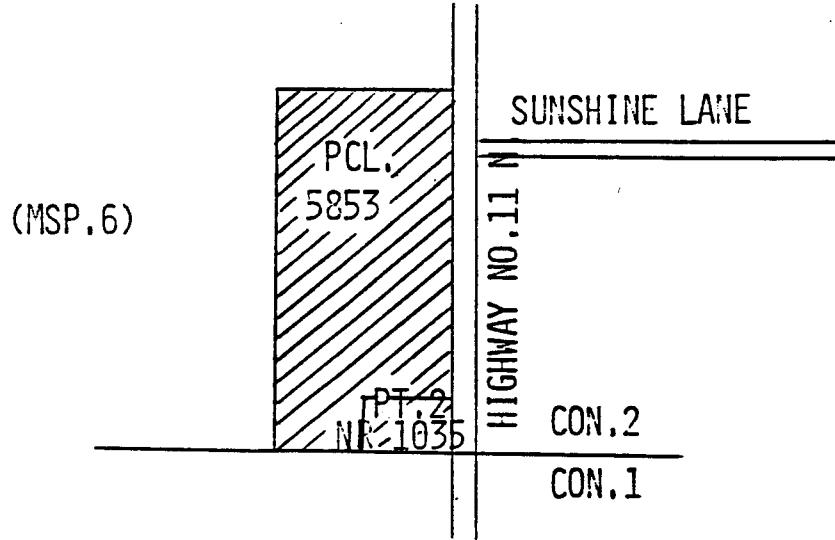
iv) Outside Storage

Will be permitted, but shall not be conducted in the front yard and shall be enclosed and adequately screened in the form of opaque landscaping or fencing to a height of not less than one and eight-tenths (1.8) metres, but not greater than the height of the first storey of the main building on the property.

- 11.4.6.2 b) The regulations for this zone are:
- i) The minimum front yard shall be fifteen (15) metres.
 - ii) The minimum rear yard setback shall be twelve (12) metres except:
 - a) where the rear lot line abuts a residential or open space zone the setback from said rear lot line shall be a minimum of fifteen (15) metres, or
 - b) where a rear lot line abuts a railway the setback from the rear lot line may be nil.
 - iii) The minimum side yard setback shall be four and five-tenths (4.5) metres except:
 - a) where the side lot line abuts a residential or open space zone, the setback from said side lot line shall be a minimum of nine (9) metres, or
 - b) where a side lot line abuts a street, setback from said side lot line shall be a minimum of nine (9) metres, or
 - c) where a side lot line abuts a railway, the setback from said lot line may be nil.

11.4.6.3 The use of land in this Industrial Special 6 Zone shall conform to all other regulations of this By-law, except as hereby expressly varied.

SCHEDULE TO INDUSTRIAL SPECIAL ZONE NO. 6 (MSP.6)



11.4.7 Industrial Special Zone 7 (M.5 Sp.7)

11.4.7.1 The property description for this "Industrial Special Zone 7 (M.5 Sp. 7)" is:

Parcels 9689 W&F, 5448 W&F, 6745 W&F, 6755 W&F, 5177 W&F and the easterly 250 feet of Parcel 5450 W&F, being Part of Lot 20, Concession 2 in the former Township of Widdifield.

11.4.7.2 The special requirements for this "Industrial Special Zone No. 7 (M.5 Sp.7)" are:

a) The Permitted Uses for this zone are:

i) Industrial

Warehouse uses;
Wholesale uses.

ii) Residential

An apartment within the main building for an essential workman or caretaker.

iii) Offices

Administrative offices associated with and integral to the main industrial use.

iv) Outside Storage

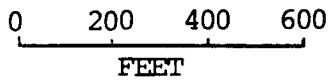
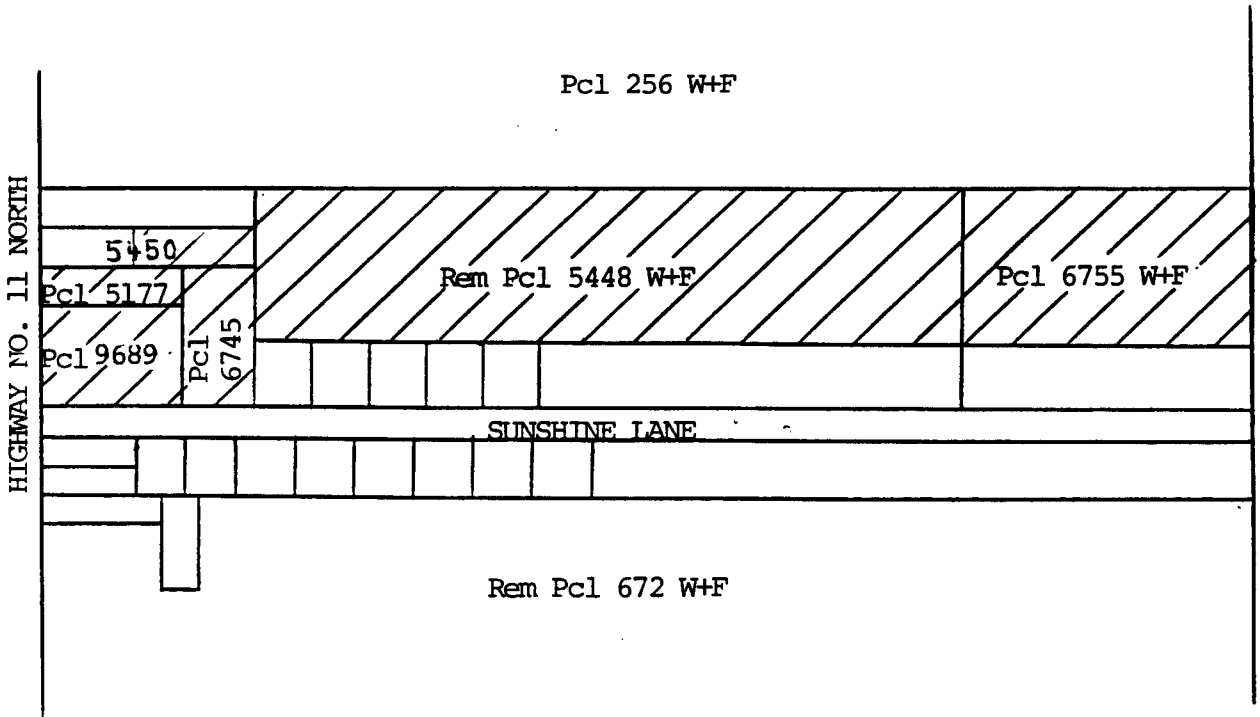
Will be permitted, but shall not be conducted in the front yard, and shall be enclosed and adequately screened in the form of opaque landscaping or fencing to a height of not less than one and eight-tenths (1.8) metres, but not greater than the height of the first storey of the main building on the property.

11.4.7.2 b) The regulations for this zone are:

- i) The minimum front yard shall be fifteen (15) metres.
- ii) The minimum rear yard setback shall be twelve (12) metres.
- iii) The minimum side yard setback shall be four and five-tenths (4.5) metres except:
 - a) where the side lot line abuts a street, the setback from said side lot line shall be a minimum of nine (9) metres

11.4.7.3 The use of land in this "Industrial Special Zone No. 7 (M.5 Sp.7)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

SCHEDULE TO INDUSTRIAL SPECIAL ZONE NO. 7 (M.5SP.7)



11.4 INDUSTRIAL SPECIAL ZONES (Cont'd)

"Industrial Special Zone No. 8 (M. Sp.8)" was rezoned to
"Residential Multiple Third Density Special Zone No. 20
(RM 3 Sp.20)" by way of By-law No. 1-87.

11.4.9 Industrial Special Zone 9 (M. Sp.9)

11.4.9.1 The property description of this Industrial Special 9 Zone is:

Plan 38, Lots 6, 7 and 8 and Part of Lot 5 as shown on the attached Site Plan and Schedule "B-41".

11.4.9.2 The special requirements for this Industrial Special 9 Zone are as follows:

a) The Permitted Uses in this Zone are:

i) Industrial

The use of land, building or structure designed for the manufacturing, assembling, processing, preparing, inspecting or ornamenting, finishing, treating, altering, repairing, warehousing, storing or adapting for sale any goods, substances or things, and includes food, beverages, tobacco, rubber, leather, textile, knitting, woodworking or similar industries where such operations do not involve the emission of air or water pollutants that exceed the standards set by the appropriate Provincial Regulatory Authority; construction contractor yards. All uses in a Light Industrial One (M.1) zone.

ii) Offices

Administrative offices associated with and integral to the main industrial use.

11.4.9.2

a) iii) Residential

An apartment within the main building for an essential workman or caretaker.

b) The regulations for this zone are:

i) The minimum front yard setback shall be fifteen (15) metres.

ii) The minimum rear yard setback shall be twelve (12) metres except:

a) where the rear lot line abuts a residential or open space zone, the setback from said rear lot line shall be a minimum of fifteen (15) metres, or

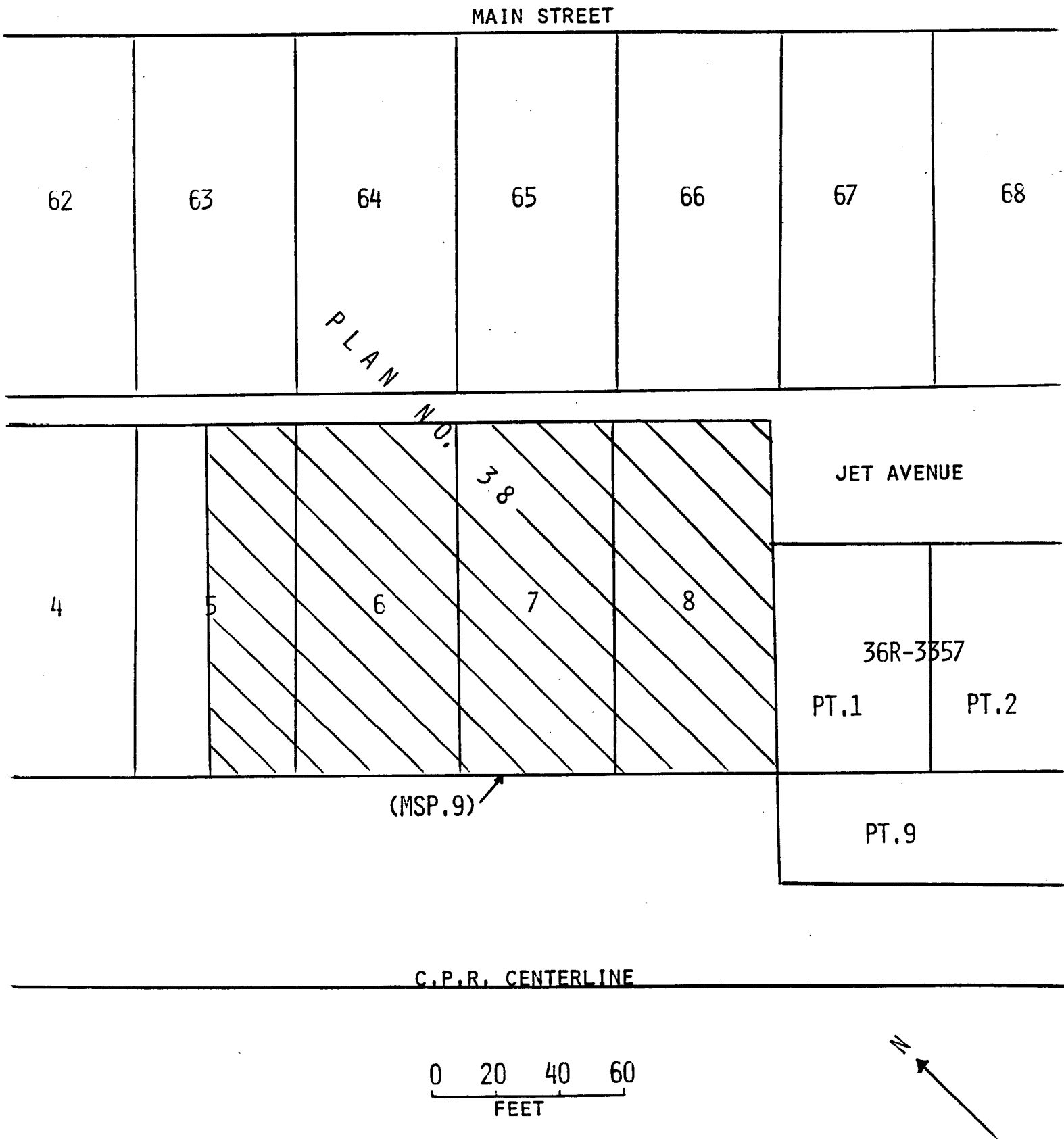
b) where the rear lot line abuts a railway, the setback from the rear lot line may be nil.

iii) The minimum side yard setback shall be four and five-tenths (4.5) metres except:

a) where the side lot line abuts a residential or open space zone, the setback from said side lot line shall be a minimum of nine (9) metres, or

b) where a side lot line abuts a street, setback from said side lot line shall be a minimum of nine (9) metres, or

SCHEDULE TO INDUSTRIAL SPECIAL ZONE NO. 9 (MSP.9)



11.4.10 Industrial Special Zone 10 (M. Sp.10)

11.4.10.1 The property descriptions of each Industrial Special Zone 10 are:

- a) Plan 38, Lots 17 through 25 and Part of Railway Street as shown on the attached Site Plan and Schedule "B-41" (M. Sp.10A).
- b) Plan 74, Lots 10, 11, 12 and Part of Lot 13, as well as Part of Railway Street as shown on the attached Site Plan and Schedule "B-50" (M. Sp.10B).
- c) Plan 36R-5834, Parts 7, 8, 9 and Part of Parts 3, 4, 5 as shown on the attached Site Plan and Schedule "B-50" (M. Sp.10C).

11.4.10.2 The special requirements for this Industrial Special 10 Zone are as follows:

a) The Permitted Uses in this zone are:

i) Industrial

The use of land, building or structure designed for the manufacturing, assembling, processing, preparing, inspecting or ornamenting, finishing, treating, altering, repairing, warehousing, storing or adapting for sale any goods, substances or things, and includes food, beverages, tobacco, rubber, leather, textile, knitting, woodworking, or similar industries where such operations do not involve the emission of air or water pollutants that exceed the standards set by the appropriate Provincial Regulatory Authority; All uses in a Light Industrial One (M.1) zone.

11.4.10.2

a)

ii) Offices

Administrative offices associated with and integral to the main industrial use.

iii) Residential

An apartment within the main building for an essential workman or caretaker.

iv) Outside Storage

Will be permitted, but shall not be conducted in the front yard and shall be enclosed and adequately screened in the form of opaque landscaping or fencing to a height of not less than one and eight-tenths (1.8) metres, but not greater than the height of the first storey of the main building on the property.

v) Clubs and Places of Recreation

The operations of a recreation/gymnastics club to be conducted within the existing industrial building.

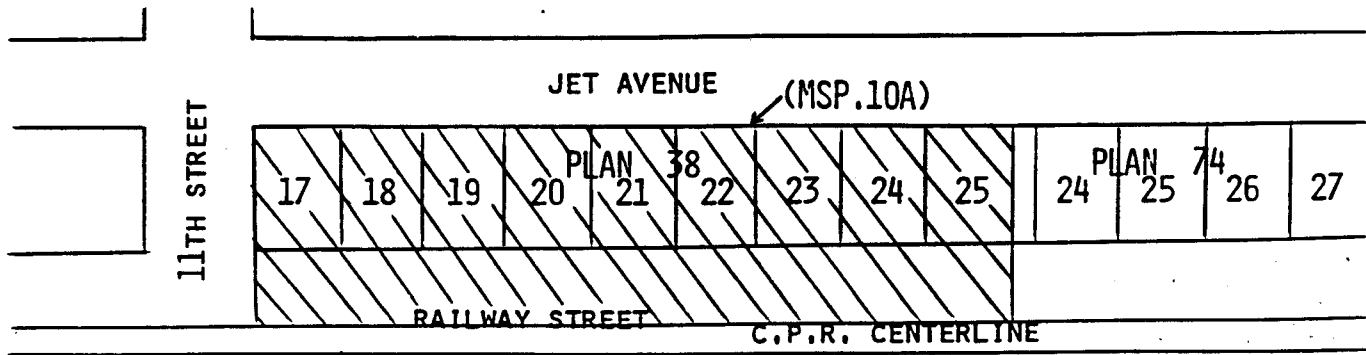
b) The regulations for this zone are:

i) The minimum front yard shall be seven and two-tenths (7.2) metres.

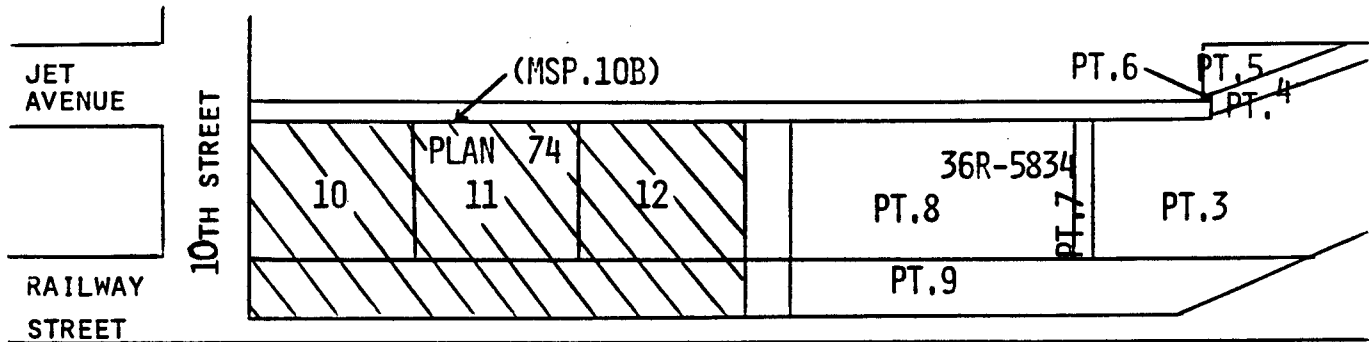
ii) The minimum rear yard setback shall be twelve (12) metres except:

a) where the rear lot line abuts a residential or open space zone, the setback from said rear lot line shall be a minimum of fifteen (15) metres, or

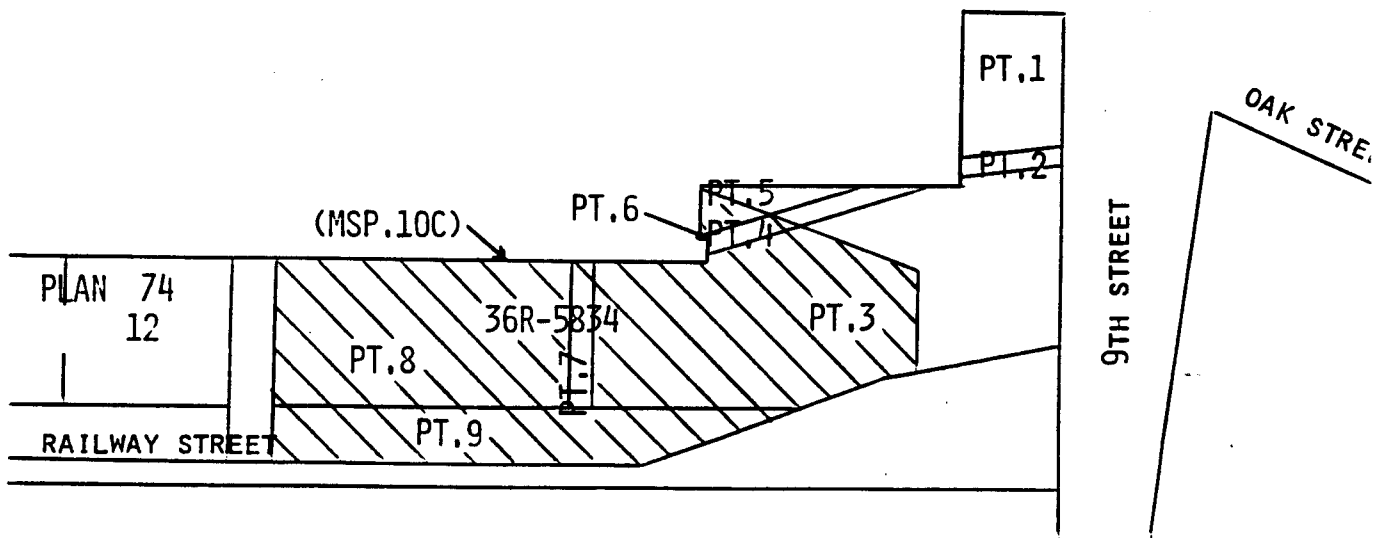
SCHEDULE TO INDUSTRIAL SPECIAL ZONE NO. 10A (MSP.10A)



SCHEDULE TO INDUSTRIAL SPECIAL ZONE NO. 10B (MSP.10B)



SCHEDULE TO INDUSTRIAL SPECIAL ZONE NO. 10c (MSP.10c)



11.4.11 Industrial Special Zone 11 (M. Sp.11)

11.4.11.1 The property description of this Industrial Special 11 Zone is:

Plan No. 75, Lots 68, 69 and 70 and Plan 36R-5463, Part 1 as shown on the attached Site Plan and Schedules "B-51" and "B-52".

11.4.11.2 The special requirements for this Industrial Special 11 Zone are as follows:

a) The Permitted Uses in this zone are:

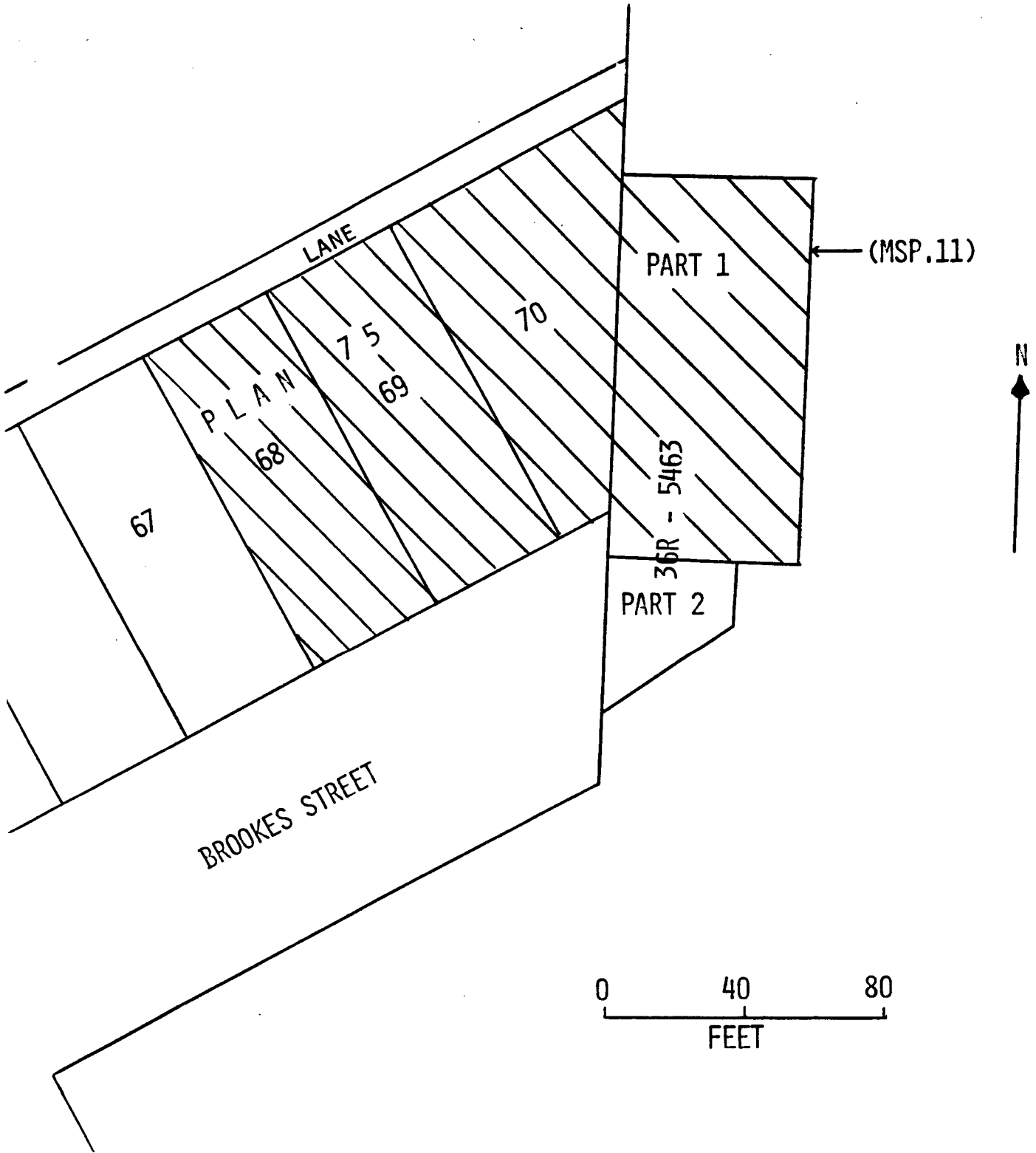
- clubs and fraternal organizations;
- accessory uses to the above.

b) The regulations for this zone are:

- i) The maximum lot coverage shall be twenty (20) percent.
- ii) The setback from the front lot line shall be a minimum of seven and six-tenths (7.6) metres.
- iii) The setback from the side lot line shall be a minimum of one and two-tenths (1.2) metres.
- iv) The setback from the rear lot line shall be a minimum of one and eight-tenths (1.8) metres.
- v) The parking requirements shall be one (1) parking space for every five (5) seats or three (3) metres of bench space of its maximum seating capacity; where there are no fixed seats, one (1) parking space for each nine (9) square metres of floor area devoted to public use.

11.4.11.3 The use of land in this Industrial
Special 11 Zone shall conform to all
other regulations of this By-law,
except as hereby expressly varied.

SCHEDULE TO INDUSTRIAL SPECIAL ZONE 11(MSP.11)



11.4.13 Industrial Special Zone 13 (M.Sp.13)

11.4.13.1 The property description of this Industrial Special 13 Zone is:

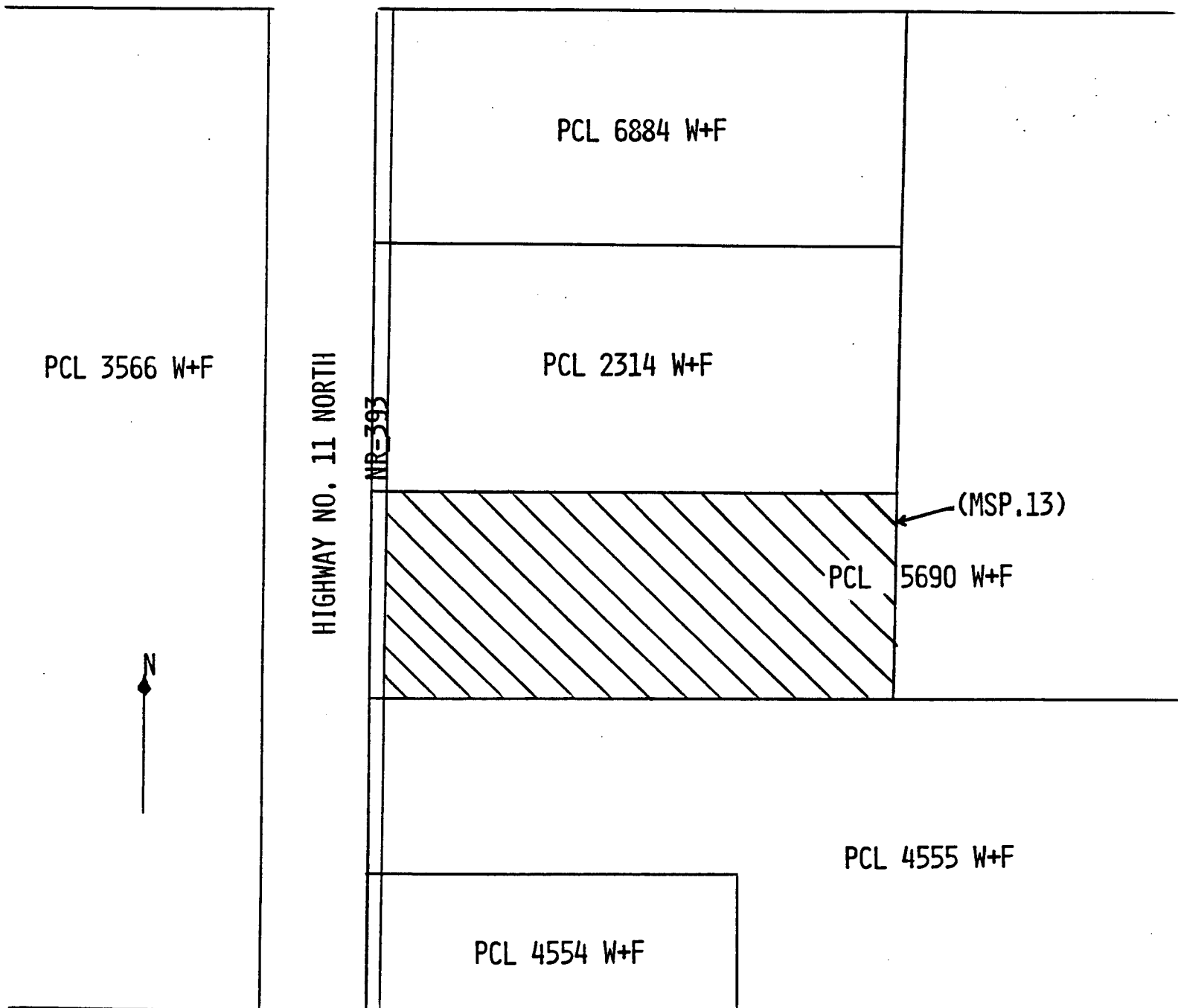
Part of Parcel 5690 W&F as shown on the attached Site Plan and Schedule "C-10".

11.4.13.2 The special requirements for this Industrial Special 13 Zone are as follows:

- a) - truck sales and service;
- accessory uses to the above.
- b) The regulations for this zone are:
 - i) The minimum lot area shall be eight-tenths (.8) hectares.
 - ii) The minimum lot frontage shall be seventy-six (76) metres.
 - iii) The minimum front yard setback shall be fifteen (15) metres.
 - iv) The minimum side yard setback shall be fifteen (15) metres.
 - v) The minimum rear yard setback shall be fifteen (15) metres.
 - vi) The maximum lot coverage shall be fifteen (15) percent.

11.4.13.3 The use of land in this Industrial Special 13 Zone shall conform to all other regulations of this By-law except as hereby expressly varied.

SCHEDULE TO INDUSTRIAL SPECIAL ZONE 13(MSP.13)



11.4.14 Industrial Special Zone 14 (M.5 Sp.14)

11.4.14.1 The property description for this "Industrial Special Zone No. 14 (M.5 Sp.14)" is:

Parcels 4829 W&F, 6566 W&F, being part of Lot 6, Concession 1 in the former Township of Widdifield.

11.4.14.2 The special requirements for this "Industrial Special Zone No. 14 (M.5 Sp.14)" are:

a) The Permitted Uses for this zone are:

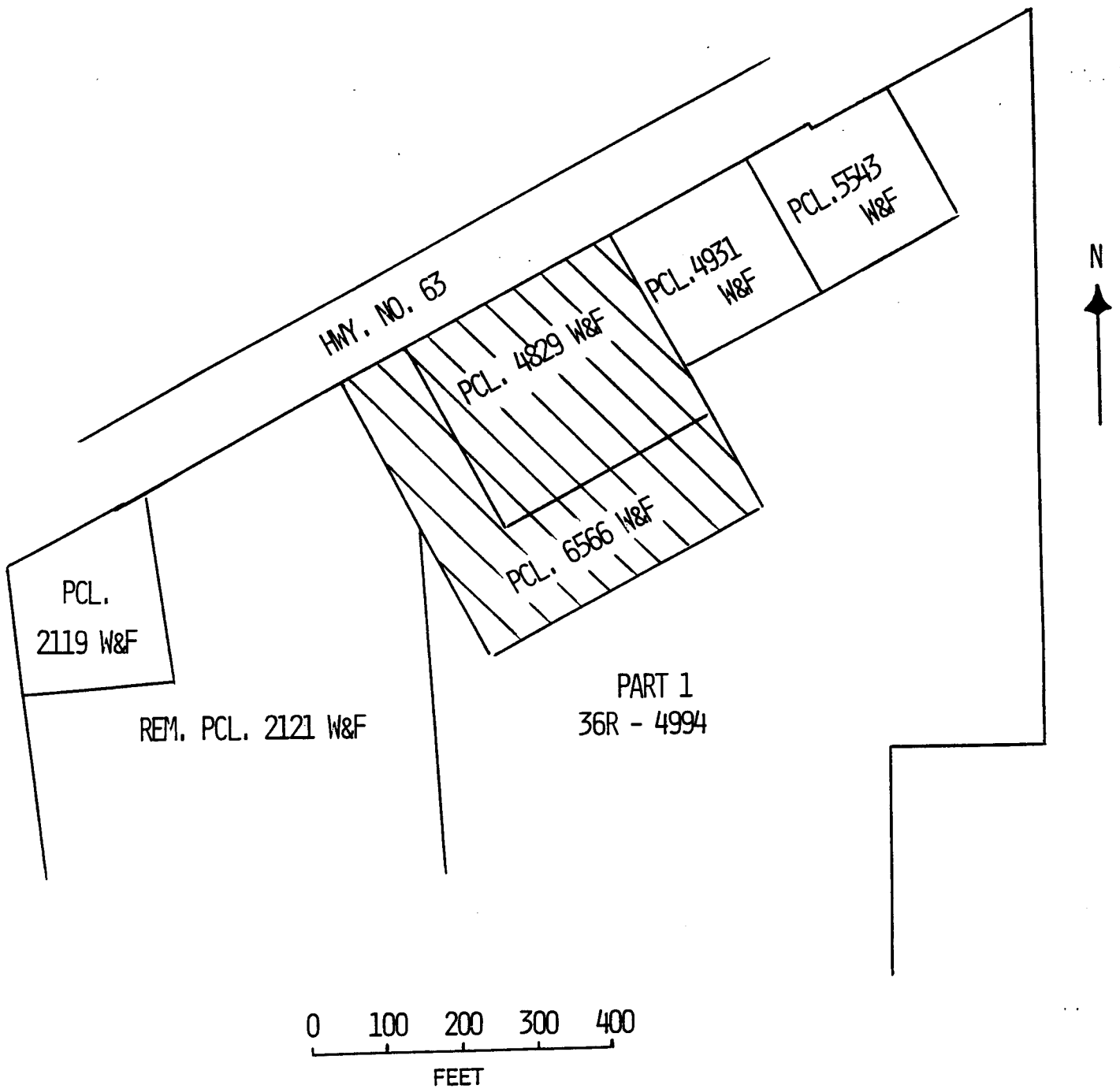
- woodworking shop and showroom;
- training centre;
- arts and crafts centre;
- accessory uses to the above including a single detached dwelling unit for the resident-owner, either as part of the main building or detached.

b) The regulations for this zone are:

- i) The maximum lot coverage shall be fifty percent (50%).
- ii) The minimum front yard setback shall be fifteen (15) metres.
- iii) The minimum side yard setback shall be four and five-tenths (4.5) metres.
- iv) The minimum rear yard setback shall be twelve (12) metres.

11.4.14.3 The use of land in this "Industrial Special Zone No. 14 (M.5 Sp.14)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

SCHEDULE TO "INDUSTRIAL SPECIAL ZONE NO. 14(M.5SP.14)"

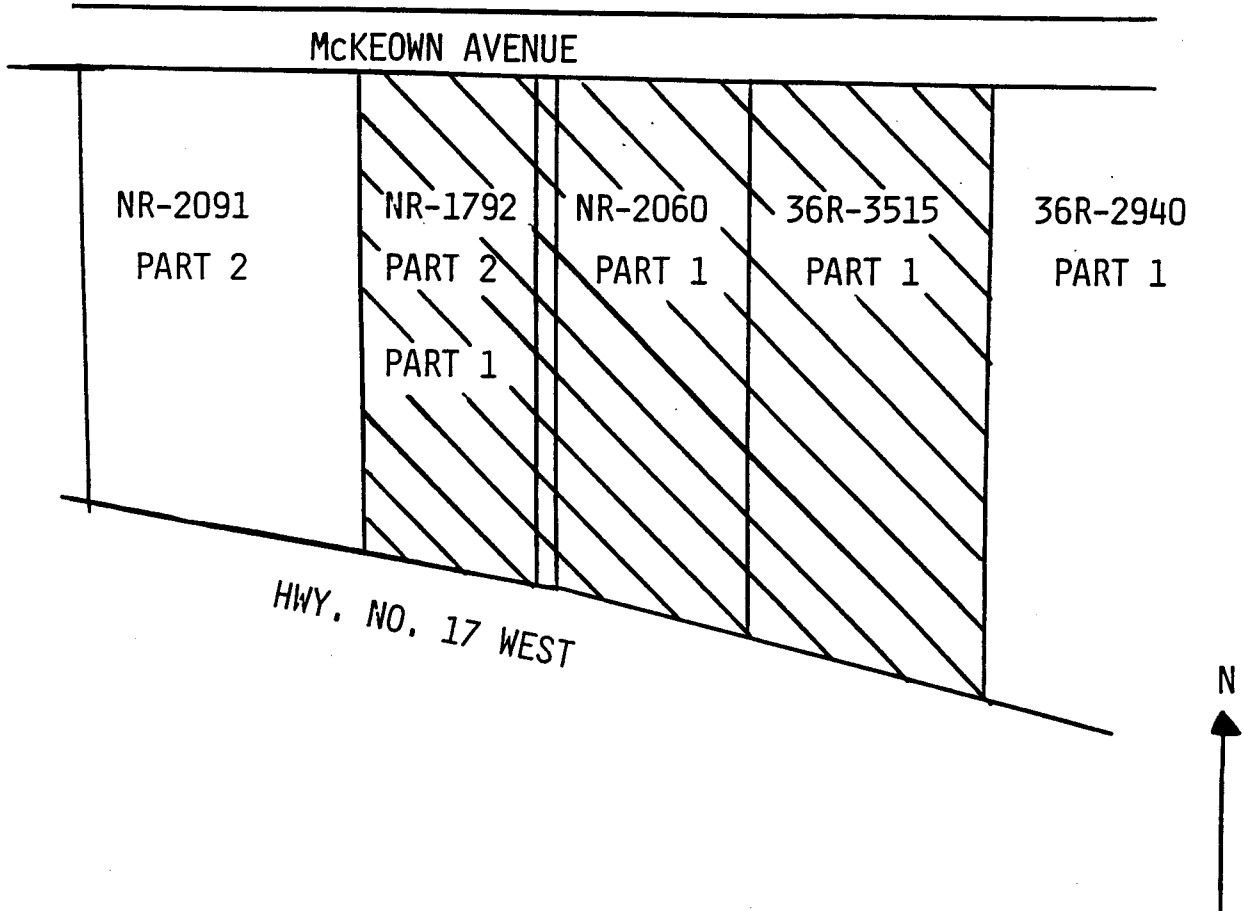


11.4.15 Industrial Commercial Special Zone No. 15 (MC Sp.15)

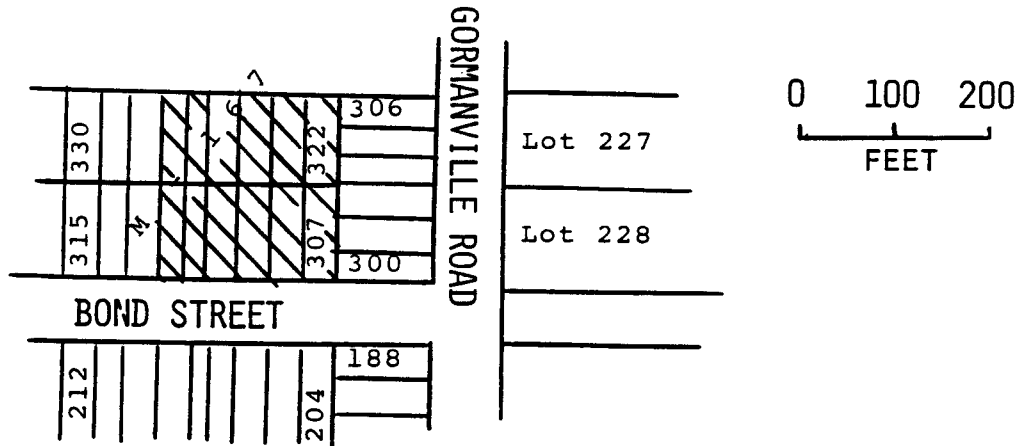
- 11.4.15.1 The property description for this Industrial Commercial Special Zone No. 15 (MC Sp.15) " are:
- a) Parts 1 and 2, Plan NR-1792, Part 1, Plan 36R-3515 and Part 1, Plan NR-2060 as shown on the attached Schedule and Schedule B-41.
 - b) Lots 307-312 and 322-327 inclusive, Plan M-167 as shown on the attached Schedule and Schedules B-40 and B-41.
- 11.4.15.2 a) No person shall use land or erect or construct any building or structure in this "Industrial Commercial Special Zone No. 15 (MC Sp.15)" except for the following uses:
- administrative offices;
 - storage and warehousing associated with the main use.
- b) The regulations for this "Industrial Commercial Special Zone No. 15 (MC Sp.15)" are as follows:
- i) The maximum lot coverage shall be forty (40) percent.
 - ii) The minimum front yard setback shall be fifteen (15) metres.
 - iii) The minimum side yard setback shall be one and five-tenths (1.5) metres.
 - iv) The minimum rear yard setback shall be seven and six-tenths (7.6) metres.
- 11.4.15.3 The use of land or buildings in this "Industrial Commercial Special Zone No. 15 (MC Sp.15)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

SCHEDULE TO "INDUSTRIAL COMMERCIAL SPECIAL ZONE NO. 15(MCSP.15)"

(MCSP.15A)



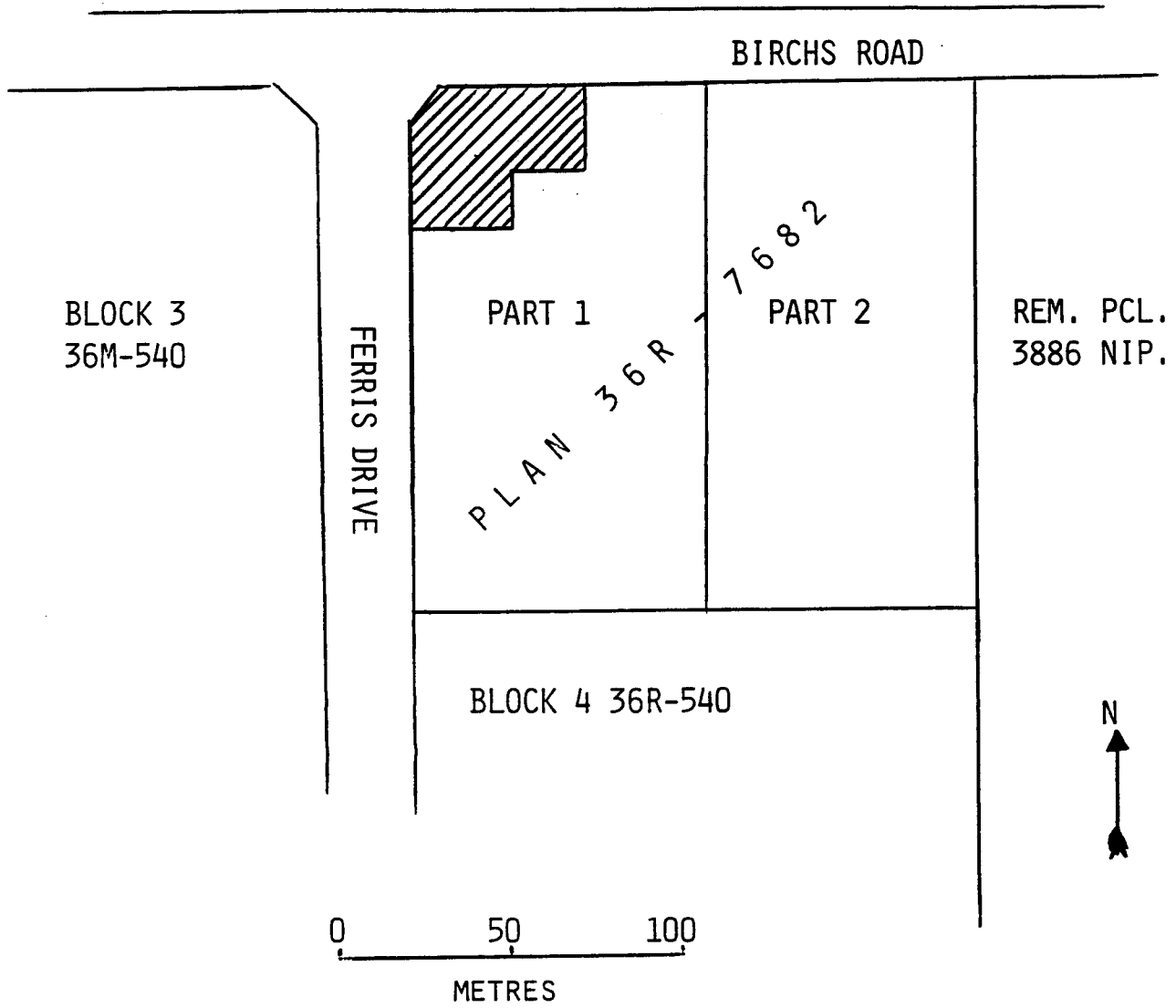
(MCSP. 15B)



11.4.16 Industrial Commercial Special Zone No. 16 (MC Sp.16)

- 11.4.16.1 The property description of this "Industrial Commercial Special Zone No. 16 (MC Sp.16)" is Part of Part 1, Plan 36R-7682 along Ferris Drive and Birchs Road in the City of North Bay as shown on the attached Schedule and Schedule "B-82".
- 11.4.16.2 a) No person shall use land, erect, or construct any building or structure in this "Industrial Commercial Special Zone No. 16 (MC Sp.16)" except for the following uses:
- restaurant not to exceed two thousand (2,000) square feet in gross floor space.
- b) The regulations for this "Industrial Commercial Special Zone No. 16 (MC Sp.16)" are as follows:
- i) The maximum gross floor area as a percent of lot area shall be ten (10) percent.
 - ii) The minimum front yard setback shall be eighteen and two-tenths (18.2) metres.
 - iii) The minimum northerly side yard setback shall be twenty-five and six-tenths (25.6) metres.
 - iv) The minimum southerly side yard setback shall be nil (0).
 - v) The minimum rear yard setback shall be nil (0).
- 11.4.16.3 The use of land or buildings in this "Industrial Commercial Special Zone No. 16 (MC Sp.16)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

SCHEDULE TO "INDUSTRIAL COMMERCIAL SPECIAL ZONE NO. 16(MCSP.16)"



11.4.17 Industrial Commercial Special Zone No. 17 (MC Sp.17)

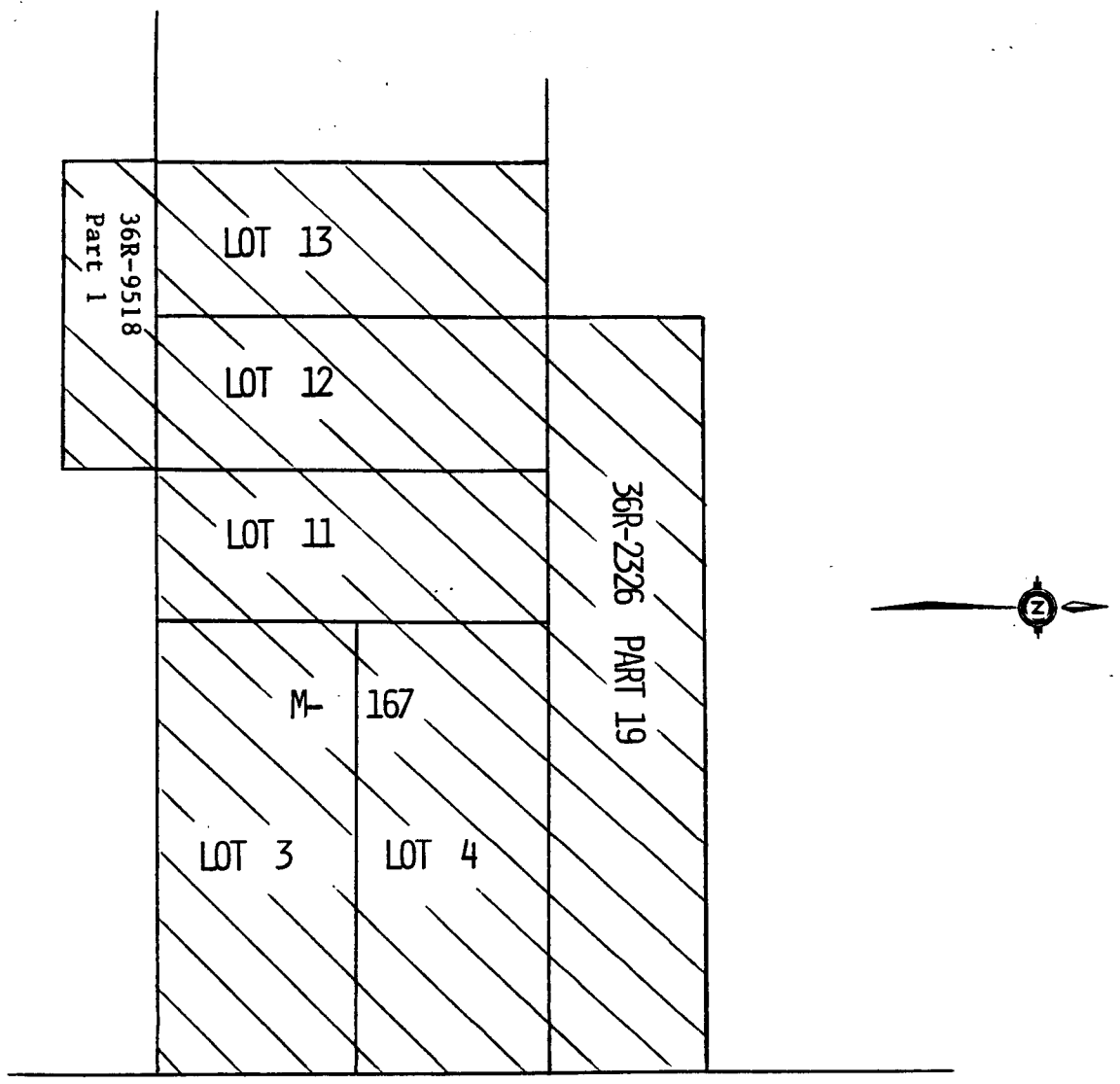
11.4.17.1 The property description of this "Industrial Commercial Special Zone No. 17 (MC Sp.17)" is Plan M-167, Lots 3, 4, 11, 12 and 13, Plan 36R-2326, Part 19, Plan 36R-9518, Part 1 along Gormanville Road in the City of North Bay as shown on the attached Schedules and Schedule "B-41".

11.4.17.2 No person shall use land, or use, erect, or construct any building or structure in this "Industrial Commercial Special Zone No. 17 (MC Sp.17)", except for the following uses:

- auto dealerships and service establishments;
- banks;
- hotels and motels;
- public garages;
- restaurants and taverns;
- service stations or gas bars;
- all those uses permitted in the Light Industrial One (M.1) zone;
- one (1) apartment unit shall be permitted for an essential workman or caretaker within the main building;
- outside storage associated with and accessory to the main industrial-commercial uses.

11.4.17.3 The use of land or buildings in this "Industrial Commercial Special Zone No. 17 (MC Sp.17)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

SCHEDULE TO "INDUSTRIAL COMMERCIAL SPECIAL ZONE NO. 17 (MC. SP.17)"



GORMANVILLE ROAD

0 20 40 60

FEET

11.4.18 **Light Industrial Class 2 Special Zone No. 18**
(M.2 Sp. 18)

11.4.18.1 The property description of this "Light Industrial Class 2 Special Zone No. 18 (M.2 Sp.18)" is all of Part 1, Plan 36R-3507, save and except that part zoned as Open Space 2, along Commerce Court as shown on the attached Schedule and Schedule "B-53".

11.4.18.2 a) No person shall use land, or use, erect, or construct any building or structure in this "Light Industrial Class 2 Special Zone No. 18 (M.2 Sp.18)" except for the following uses:

- professional offices;
- all uses permitted in a "Light Industrial Two (M.2)" zone, uses including the use of land, building or structure designed for the manufacturing, assembling, processing, preparing, inspecting or ornamenting, finishing, treating, altering, repairing, warehousing, storing or adapting for sale any goods, substances or things, and including food, beverages, tobacco, rubber, leather, textile, knitting, woodworking, or similar industries where such operations do not involve the emission of air or water pollutants that exceed the standards set by the appropriate Provincial Regulatory Authority;
- all uses permitted in a "Light Industrial One (M.1)" zone;
- administrative offices associated with and integral with the main use;
- one (1) apartment unit within the main building for an essential workman or caretaker.
- all permitted uses shall be conducted within an enclosed building or structure with no outside storage permitted.

11.4.18.2 b) The regulations for this "Light Industrial Class 2 Special Zone No. 18 (M.2 Sp.18)" are as follows:

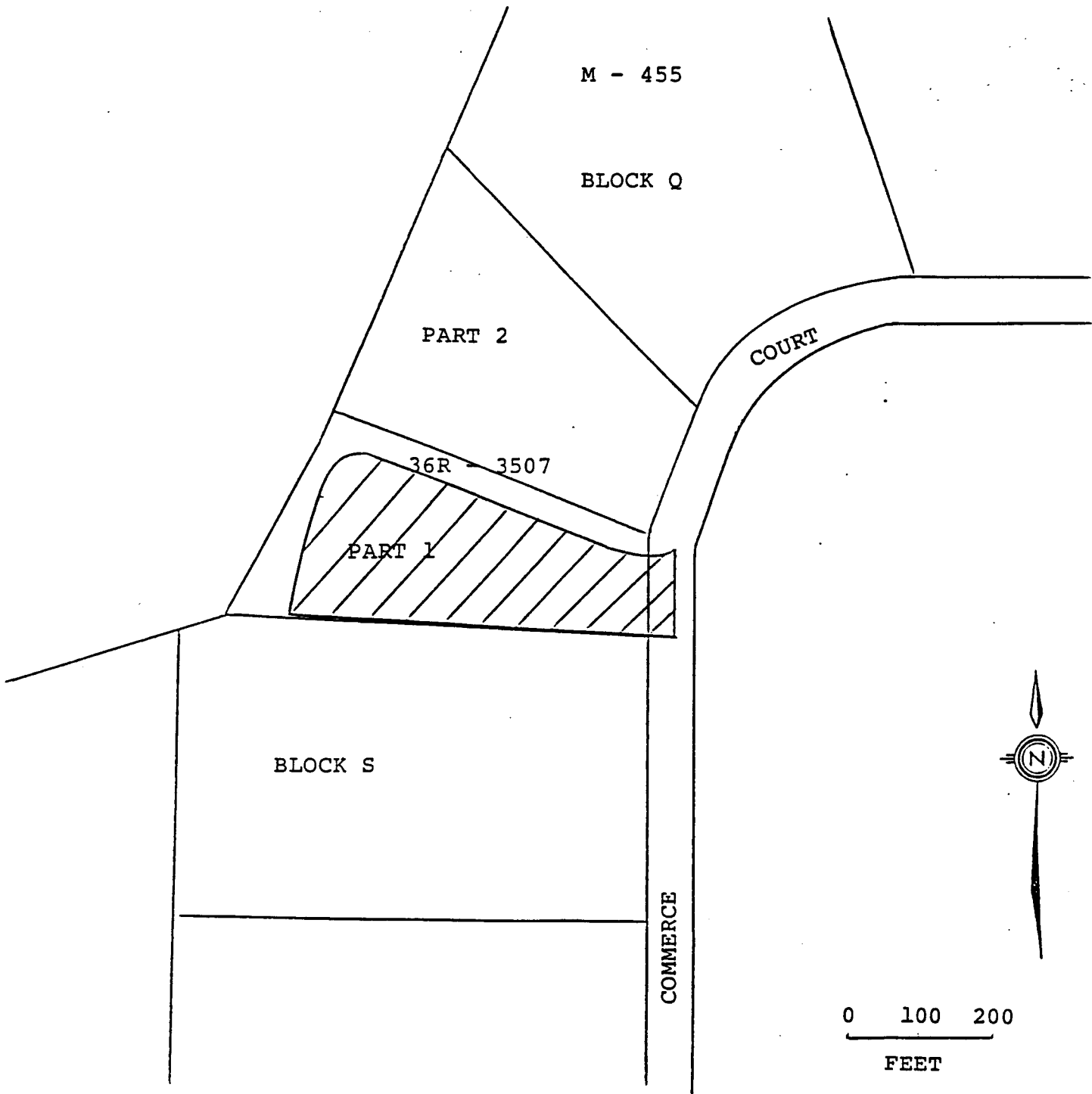
- i) Maximum lot coverage shall be fifty (50%) percent.
- ii) The setback from the front lot line shall be a minimum of fifteen (15) metres.
 - a) Except as required by Sub-clauses (b), (c) and (d), the setback from the side lot line shall be a minimum of four and five-tenths (4.5) metres.
 - b) Where a side lot line abuts a Residential or Open Space zone, the setback from the said side lot line shall be a minimum of nine (9) metres.
 - c) Where a side lot line abuts a street, the setback from the said side lot line shall be a minimum of nine (9) metres.
 - d) Where a side lot line abuts a railway, the setback from the said side lot line may be nil.
- iii) a) Except as required by Sub-clauses (b) and (c), the setback from the rear lot line shall be a minimum of twelve (12) metres.

11.4.18.2 iii) b) Where the rear lot line abuts a Residential or Open Space zone, the setback from the rear lot line shall be a minimum of fifteen (15) metres.

c) Where the rear lot line abuts a railway, the setback from the said rear lot line may be nil.

11.4.18.3 The use of land in this "Light Industrial Class 2 Special Zone No. 18 (M.2 Sp.18)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

SCHEDULE TO "LIGHT INDUSTRIAL CLASS 2 SPECIAL ZONE No. 18 (M.2 Sp. 18)"



11.4.19 Industrial Commercial Special Zone No. 19 (MC Sp.19)

11.4.19.1 The property description of this "Industrial Commercial Zone 19 (M.C. Sp.19)" is Part 1, Plan 36R-8279 along Booth Road and Lakeshore Drive in the City of North Bay as shown on the attached Schedule and Schedule "B-82".

11.4.19.2 a) No person shall use land, or use, erect, or construct any building or structure in this "Industrial Commercial Special Zone No. 19 (M.C. Sp.19)" except for the following uses:

- Industrial commercial building not to exceed three thousand five hundred and two (3,502) square metres in gross floor space;
- contractor's shops;
- building supply stores;
- home renovation stores;
- convenience stores;
- gas bars;
- all those uses permitted in the Light Industrial One (M.1) zone;
- administrative offices associated with and integral to the main industrial-commercial uses on the property;
- one (1) apartment unit within the main building for an essential workman or caretaker.

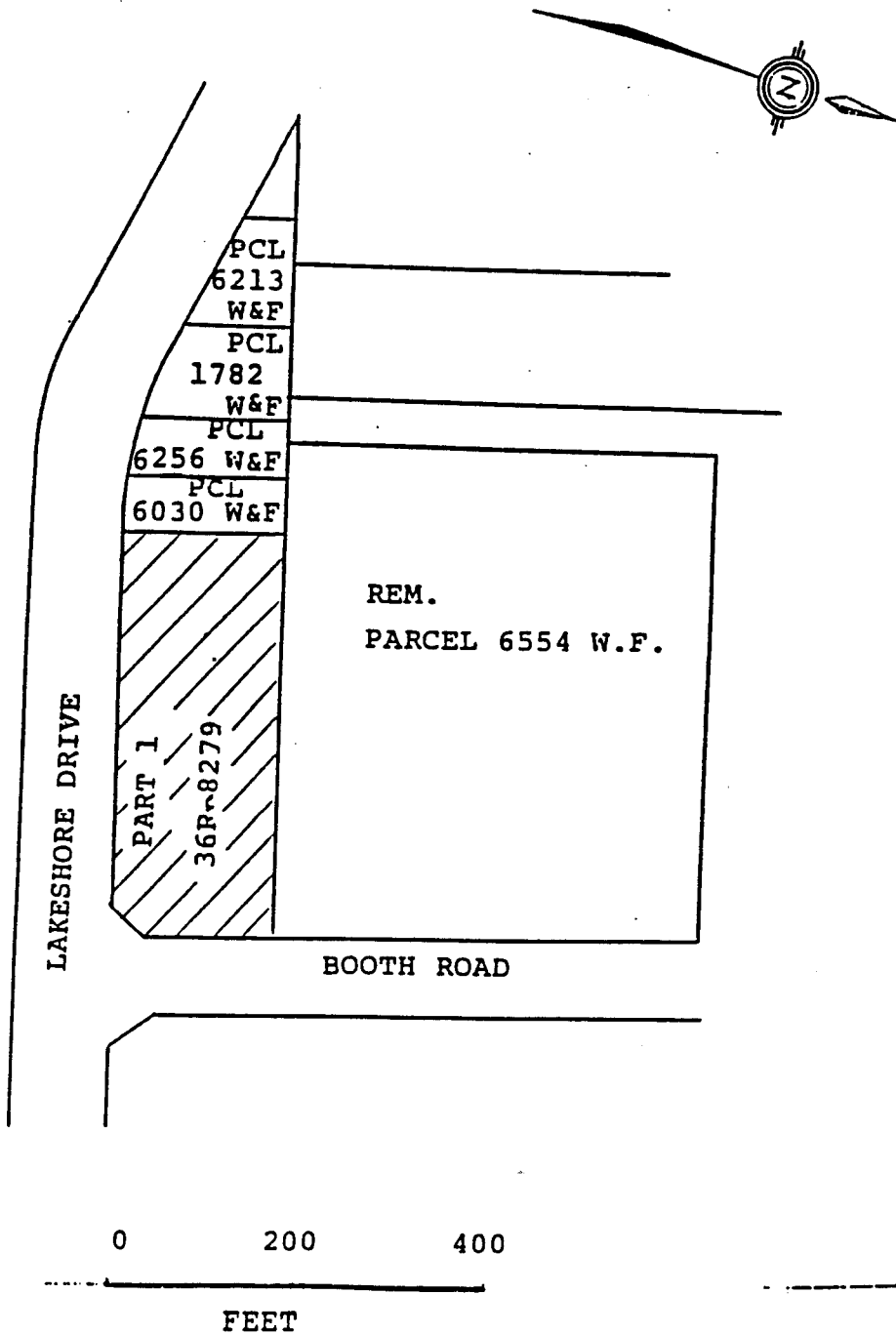
11.4.19.2 b) The regulations for this "Industrial Commercial Special Zone No. 19 (M.C. Sp.19)" are as follows:

- i) The maximum gross floor area as a percent of lot area shall be forty-eight and nine-tenths (48.9) percent.
- ii) The minimum front yard setback shall be fifteen (15.0) metres.
- iii) The minimum southerly side yard setback shall be fifteen (15.0) metres.
- iv) The minimum northerly side yard setback shall be seven and six-tenths (7.6) metres.

11.4.19.2 b) v) The minimum rear yard setback shall be twelve and three-tenths (12.3) metres.

11.4.19.3 The use of land or buildings in this "Industrial Commercial Special Zone No. 19 (M.C. Sp.19)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

Schedule to "Industrial Commercial Special Zone No. 19 (MC. Sp. 19)"



11.4.20 Industrial Commercial Special Zone No. 20 (MC Sp. 20)

11.4.20.1 The property description of this "Industrial Commercial Special Zone 20 (MC Sp.20)" is Part 9, Plan NR-515 along Cholette Street in the City of North Bay as shown on the attached Schedule and Schedule "B-52".

11.4.20.2 a) No person shall use land, or use, erect, or construct any building or structure in this "Industrial Commercial Special Zone No. 20 (MC Sp.20)" except for the following uses:

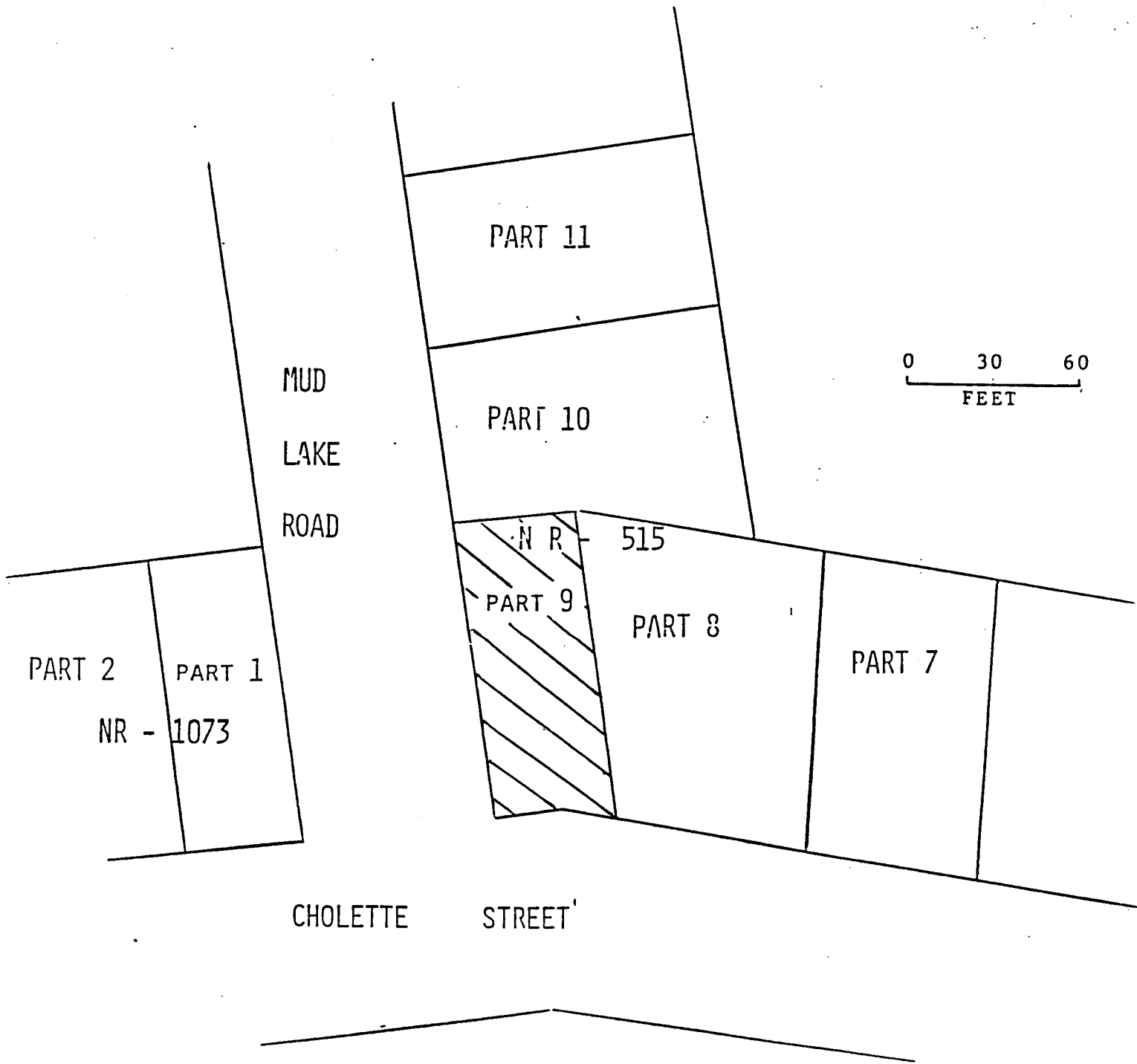
- a restaurant not to exceed 80 square metres of gross floor space.

b) The regulations for this "Industrial Commercial Special Zone No. 20 (MC Sp.20)" are as follows:

- i) The maximum gross floor area as a percent of lot area shall be thirty (30) percent.
- ii) The minimum front yard setback shall be seven and four-tenths (7.4) metres.
- iii) The minimum westerly side yard setback shall be nil (0) metres.
- iv) The minimum easterly side yard setback shall be five and one-tenth (5.1) metres.
- v) The minimum rear yard setback shall be eleven and one-tenth (11.1) metres.

11.4.20.3 The use of land or buildings in this "Industrial Commercial Special Zone No. 20 (MC Sp.20)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

SCHEDULE TO "INDUSTRIAL COMMERCIAL SPECIAL ZONE 20 (MC.SP.20)"



11.4.21 Industrial Commercial Special Zone No. 21 (MC Sp.21)

- 11.4.21.1 The property description of this "Industrial Commercial Special Zone No. 21 (MC Sp.21)" is Lots 313-316 and 328-331 inclusive, Plan M-167 along Bond Street in the City of North Bay as shown on the attached Schedule and Schedule "B-40".
- 11.4.21.2 a) No person shall use land, or use, erect or construct any building or structure in this "Industrial Commercial Special Zone No. 21 (MC Sp.21)" except for the following uses:
- an Administrative office building and enclosed storage and warehousing uses associated with the main office use.
- 11.4.21.2 b) The regulations for this "Industrial Commercial Special Zone No. 21 (MC Sp.21)" are as follows:
- i) The maximum gross floor area as a percent of the lot area shall be forty (40) percent.
 - ii) The minimum front yard setback shall be fifteen (15) metres.
 - iii) The minimum easterly side yard setback shall be two and five-tenths (2.5) metres.
 - iv) The minimum westerly side yard setback shall be twenty-two and six-tenths (22.6) metres.
 - v) The minimum rear yard setback shall be seven and six-tenths (7.6) metres.
- 11.4.21.3 The use of land or buildings in this "Industrial Commercial Special Zone No. 21 (MC Sp.21)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

11.4.22 Industrial Commercial Special Zone No. 22 (MC Sp.22)

11.4.22.1 The property description of this "Industrial Commercial Special Zone No. 22 (MC Sp.22)" is Parts 1, 2, and 3, Plan 36R-4274, Parts 14, 15, and 16, Plan 36R-4040, Part 1, Plan 36R-4738, Parts 1 and 2, Plan 36R-7317 along Drury Street in the City of North Bay as shown on the attached Schedules and Schedule "B-52".

11.4.22.2 a) No person shall use land, or use, erect, or construct any building or structure in this "Industrial Commercial Special Zone No. 22 (MC Sp.22)", except for one Industrial Commercial building not to exceed 435 square metres for the following uses:

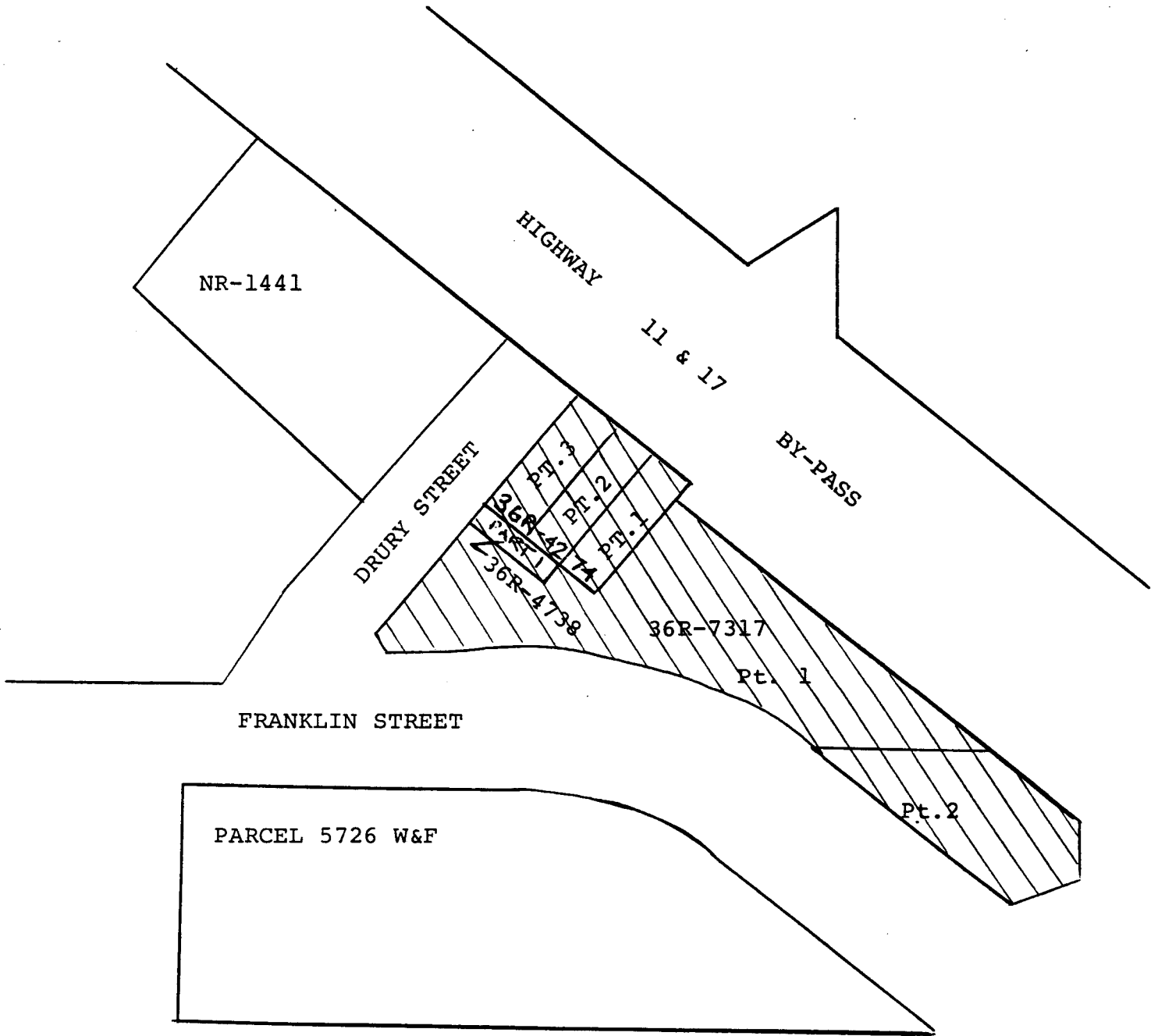
- auto dealerships and service establishments;
- banks;
- hotels and motels;
- public garages;
- restaurants and taverns;
- service stations or gas bars;
- all those uses permitted in the Light Industrial One (M.1) zone;
- one (1) apartment unit shall be permitted for an essential workman or caretaker within the main building.

11.4.22.2 b) The regulations for this "Industrial Commercial Special Zone No. 22 (MC Sp.22)" are as follows:

- i) The maximum lot coverage not to exceed twenty (20) percent of the total lot area.
- ii) The minimum lot frontage shall be sixty-five and zero-tenths (65.0) metres.
- iii) The minimum front yard setback shall be twelve and one-tenth (12.1) metres.

- 11.4.22.2 b) iv) The minimum easterly side yard setback shall be thirteen and seven-tenths (13.7) metres.
- v) The minimum westerly side yard setback shall be six and zero-tenths (6.0) metres.
- vi) The minimum rear yard setback shall be thirteen and seven-tenths (13.7) metres.
- 11.4.22.3 The use of land or buildings in this "Industrial Commercial Special Zone No. 22 (MC Sp.22)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

SCHEDULE TO "INDUSTRIAL COMMERCIAL SPECIAL ZONE
NO. 22 (M.C. SP. 22)"



0 100
Feet

11.4.23 Industrial Commercial Special Zone No. 23 (MC Sp.23)

11.4.23.1 The property description of this "Industrial Commercial Special Zone No. 23 (MC Sp.23)" is Part of Lot 25, Plan 56 and Lots 27 to 30 inclusive, Plan 76, along Fisher Street in the City of North Bay as shown on the attached Schedules and Schedule "B-51".

11.4.23.2 a) No person shall use land, or use, erect or construct any building or structure in this "Industrial Commercial Special Zone No. 23 (MC Sp.23)" except for the following uses:

- warehousing, storage and retail sales of flooring and textile products;
- home renovation and improvement shops;
- auto dealerships and service establishments;
- banks;
- hotels and motels;
- public garages;
- restaurants and taverns;
- service stations or gas bars;
- all those uses permitted in the Light Industrial One (M.1) zone;
- one (1) apartment unit shall be permitted for an essential workman or caretaker within the main building;
- service establishments that are not obnoxious. Such service establishments shall exclude convenience stores, dry cleaning depots, and local retail stores.

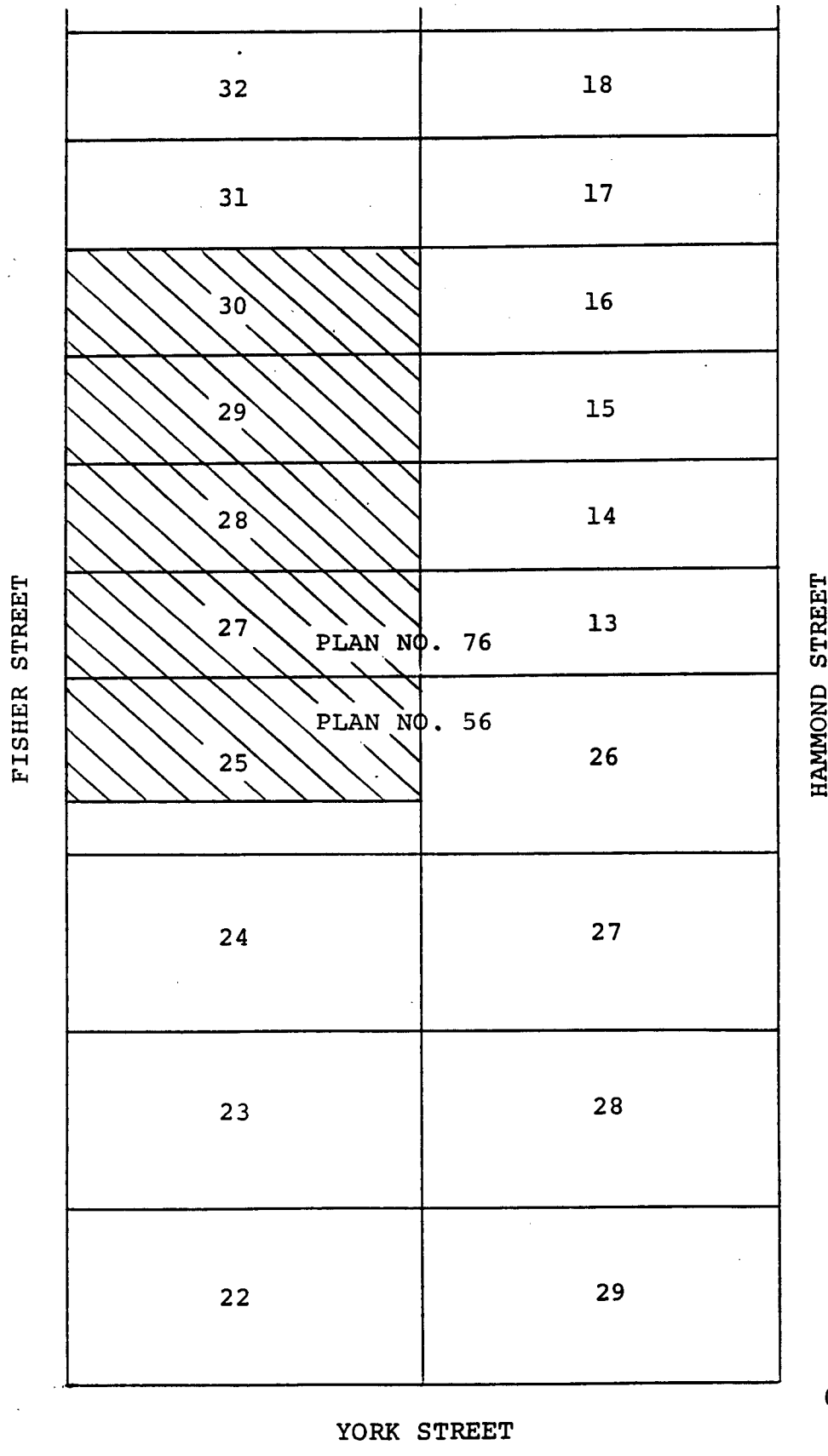
11.4.23.2 b) The regulations for this "Industrial Commercial Special Zone No. 23 (MC Sp.23)" are as follows:

- i) The maximum lot coverage not to exceed forty-five (45) percent of the total lot area.
- ii) The minimum lot frontage shall be sixty-two and four-tenths (62.4) metres.

- 11.4.23.2 b) iii) The minimum front yard setback shall be nine and zero-tenths (9.0) metres.
- iv) The minimum westerly side yard setback shall be two and five-tenths (2.5) metres.
- v) The minimum easterly side yard setback shall be nineteen and seven-tenths (19.7) metres.
- vi) The minimum rear yard setback shall be nil.

11.4.23.3 The use of land or buildings in this "Industrial Commercial Special Zone No. 23 (MC Sp.23)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

Schedule to "Industrial Commercial Special Zone No. 23 (MC Sp.23)"



11.4.24 Industrial Commercial Special Zone No. 24 (MC Sp.24)

11.4.24.1 The property description of this "Industrial Commercial Special Zone No. 24 (MC Sp.24)" is Lots 317 to 321 and Lots 332 to 336, Plan M-167 and Part 6, Plan NR-2326 along Bond Street in the City of North Bay as shown on the attached Schedules and Schedule "B-40".

11.4.24.2 a) No person shall use land, or use, erect, or construct any building or structure in this "Industrial Commercial Special Zone No. 24 (MC Sp.24)" except for the following uses:

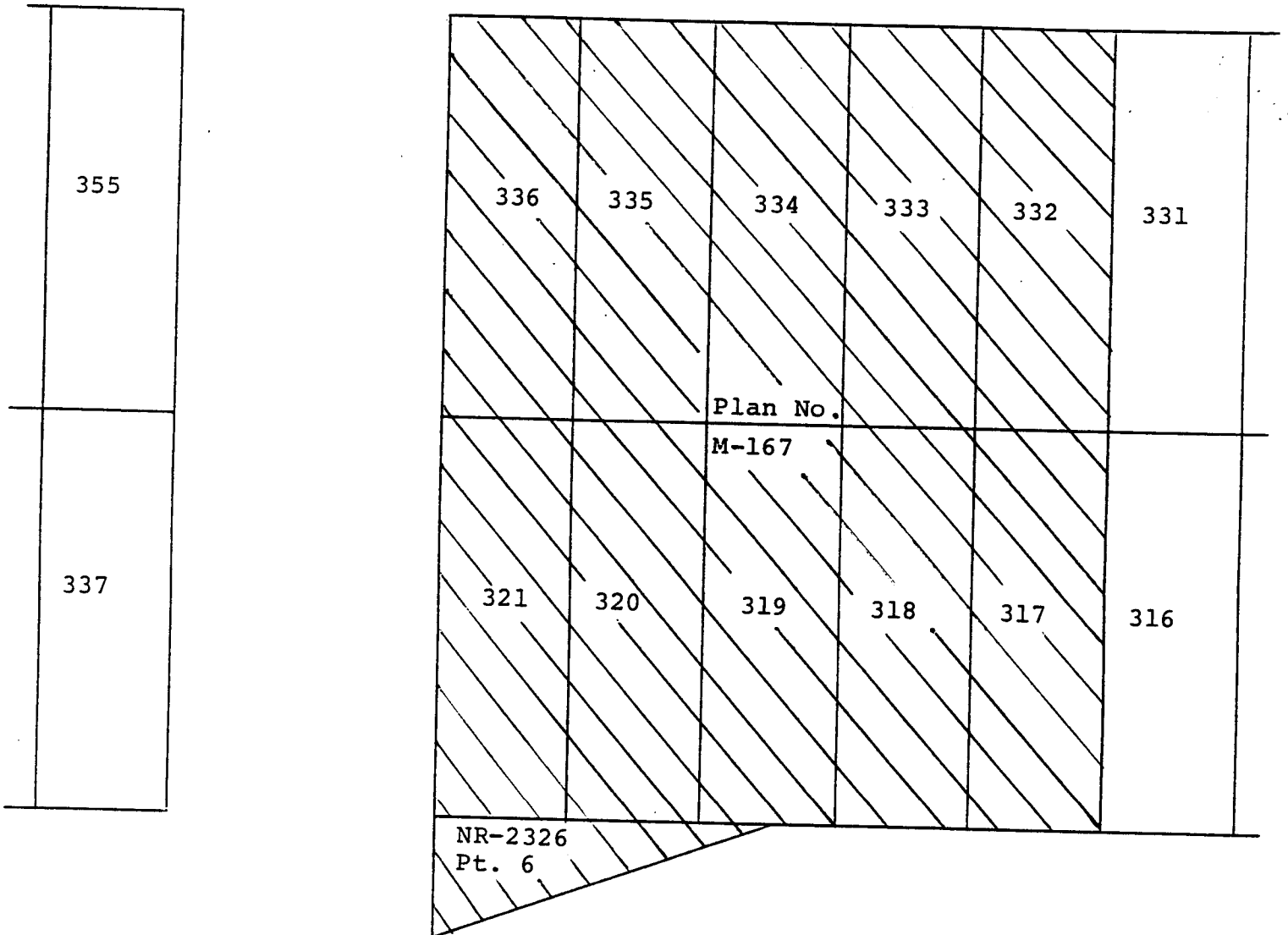
- a data processing centre with second floor administrative offices ancillary to the main data processing use.

11.4.24.2 b) The regulations for this "Industrial Commercial Special Zone No. 24 (MC Sp.24)" are as follows:

- i) The maximum lot coverage not to exceed twenty (20) percent of the total lot area.
- ii) The minimum lot frontage shall be fifty-one and seven-tenths (51.7) metres.
- iii) The minimum front yard setback shall be twenty-seven and zero-tenths (27.0) metres.
- iv) The minimum easterly side yard setback shall be fourteen and zero-tenths (14.0) metres.
- v) The minimum westerly side yard setback shall be fourteen and zero-tenths (14.0) metres.
- vi) The minimum rear yard setback shall be eleven and eight-tenths (11.8) metres.

11.4.24.3 The use of land or buildings in this "Industrial Commercial Special Zone No. 24 (MC Sp.24)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

Schedule to "Industrial Commercial Special Zone No. 24 (MC Sp.24)"



BOND STREET



40 Feet

11.4.25 Industrial Commercial Special Zone No. 25 (MC Sp.25)

11.4.25.1 The property description of this "Industrial Commercial Special Zone No. 25 (MC Sp.25)" is Lot 26 and Part of Lots 41, 42 and 43, Plan 76 and Lots 479, 480, 481, 482, 483 and Part Lots 476, 477, and 478, Plan M-189 along Hammond Street and Fisher Street in the City of North Bay as shown on the attached Schedules and Schedules "B-51" and "B-52".

11.4.25.2 a) No person shall use land, or use, erect, or construct any building or structure in this "Industrial Commercial Special Zone No. 25 (MC Sp.25)" except for the following uses:

- warehousing, storage and retail sales of flooring and textile products;
- home renovation and improvement shops;
- auto dealerships and service establishments;
- service establishments that are not obnoxious;
- banks;
- hotels and motels;
- public garages;
- service stations and gas bars;
- all those uses permitted in the "Light Industrial One (M1)" zone;
- one (1) apartment unit shall be permitted for an essential workman or caretaker within the main building.

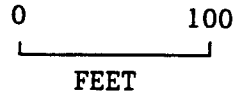
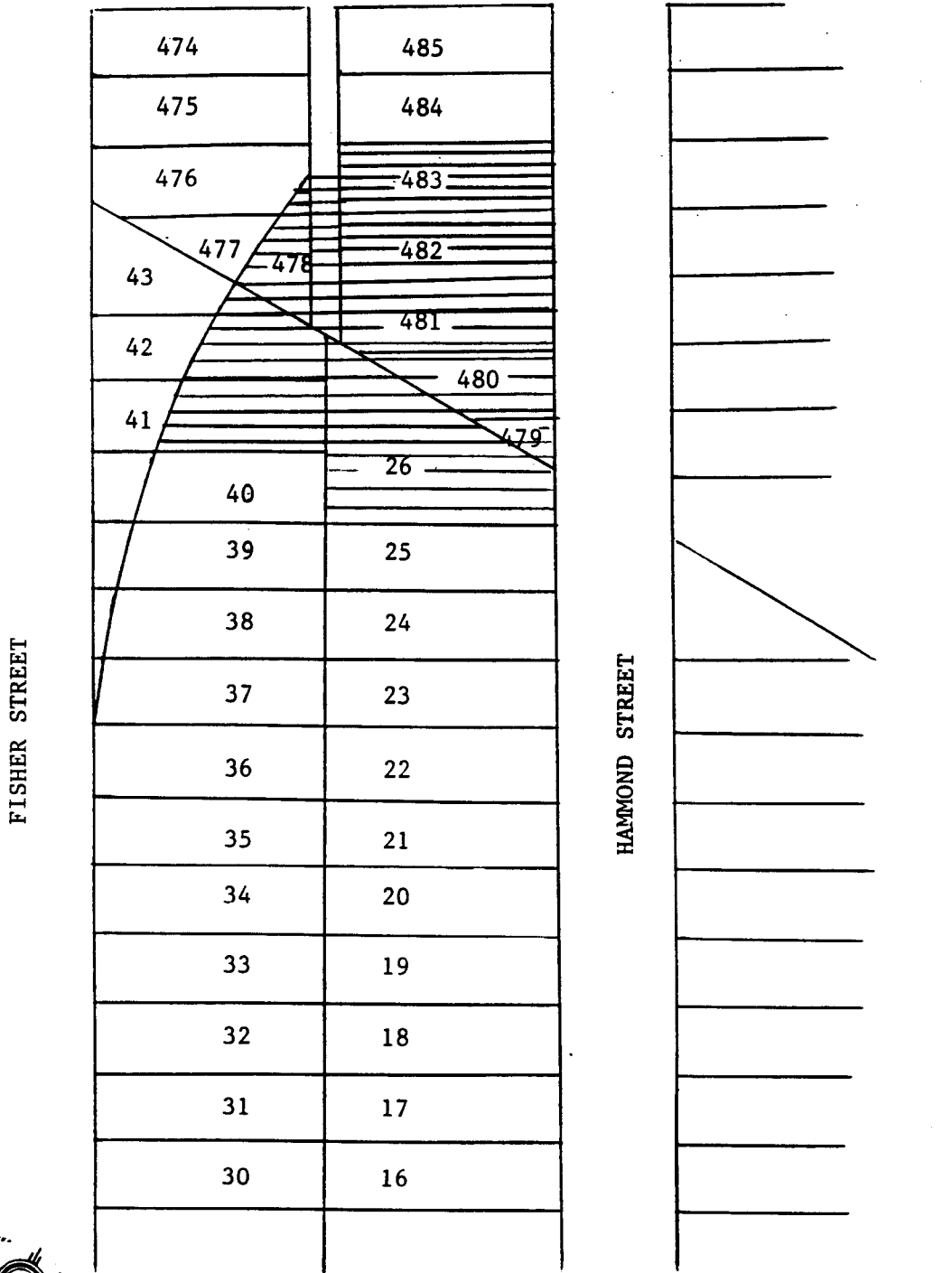
11.4.25.2 b) The regulations for this "Industrial Commercial Special Zone No. 25 (MC Sp.25)" are as follows:

- i) the minimum front yard setback shall be nil;
- ii) the minimum easterly side yard setback shall be nil;
- iii) the minimum westerly side yard setback shall be nil;
- iv) the minimum rear yard setback shall be nil.

11.4.25.3 The use of land or buildings in this "Industrial Commercial Special Zone No. 25 (MC Sp.25)" shall conform to all other regulations of this by-law except as hereby expressly varied.

SCHEDULE TO "INDUSTRIAL COMMERCIAL SPECIAL ZONE NO. 25 (MC Sp.25)"

McGAUGHEY AVENUE



11.4.26 Industrial Commercial Special Zone No. 26 (MC Sp.26)

11.4.26.1 The property description of this "Industrial Commercial Special Zone No. 26 (MC Sp.26)" is Parcel 3729 W&F along Franklin Street in the City of North Bay as shown on the attached Schedules and Schedule "B-52".

11.4.26.2 a) No person shall use land, or use, erect or construct any building or structure in this "Industrial Commercial Special Zone No. 26 (MC Sp.26)", except for the following uses:

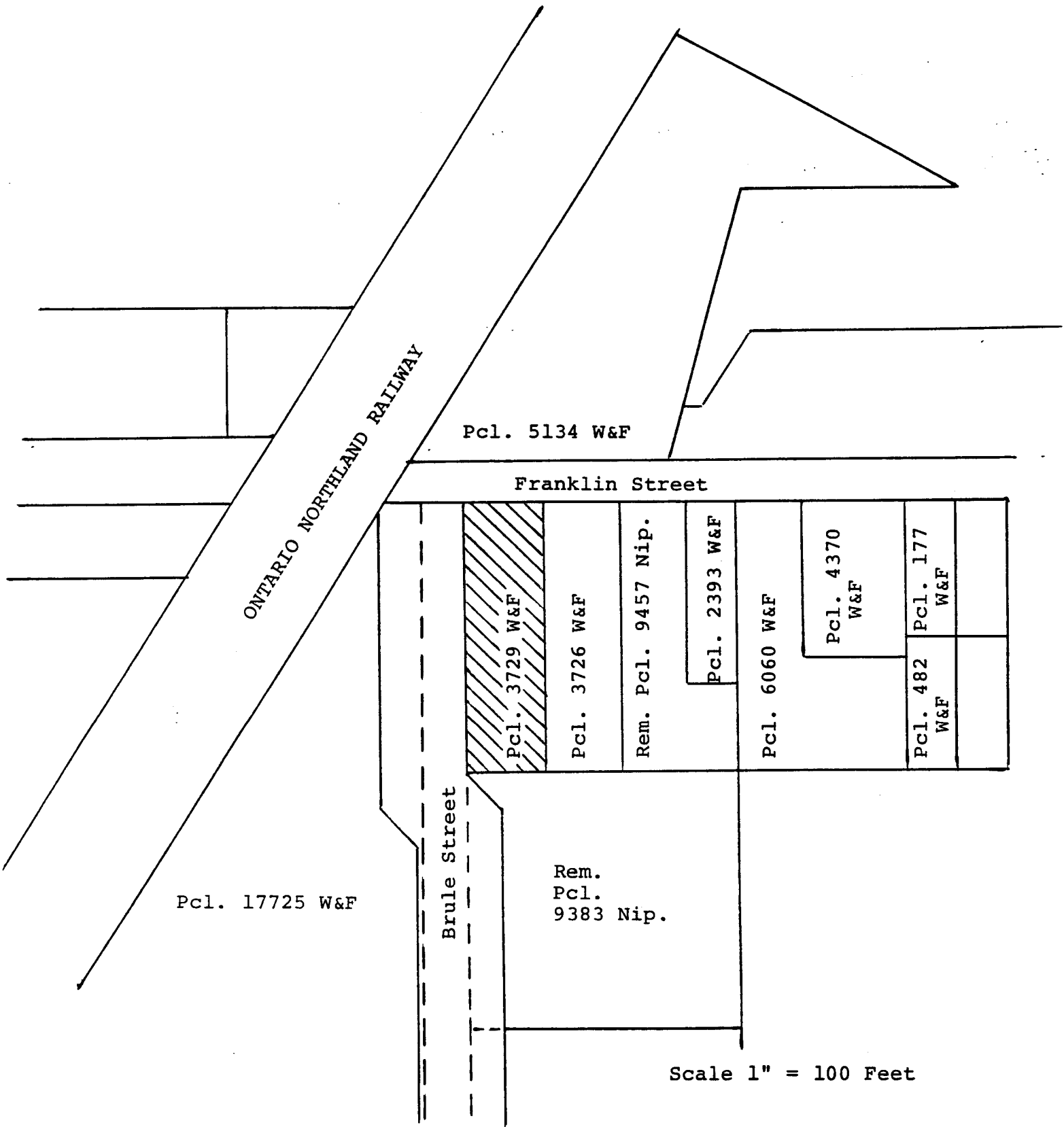
- auto dealerships and service establishments;
- banks;
- hotels and motels;
- public garages;
- restaurants and taverns;
- service stations or gas bars;
- administrative offices associated with and integral to the main industrial commercial use;
- all those uses permitted in the Light Industrial One (M.1) zone;
- one (1) apartment unit shall be permitted for an essential workman or caretaker within the main building.

11.4.26.2 b) The regulations for this "Industrial Commercial Special Zone No. 26 (MC Sp.26)" zone are as follows:

- i) The minimum front yard setback shall be seven and six-tenths (7.6) metres.
- ii) The minimum easterly side yard setback shall be four and zero-tenths (4.0) metres.
- iii) The minimum westerly side yard setback shall be three and five-tenths (3.5) metres.

11.4.26.3 The use of land or buildings in this "Industrial Commercial Special Zone No. 26 (MC Sp.26)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

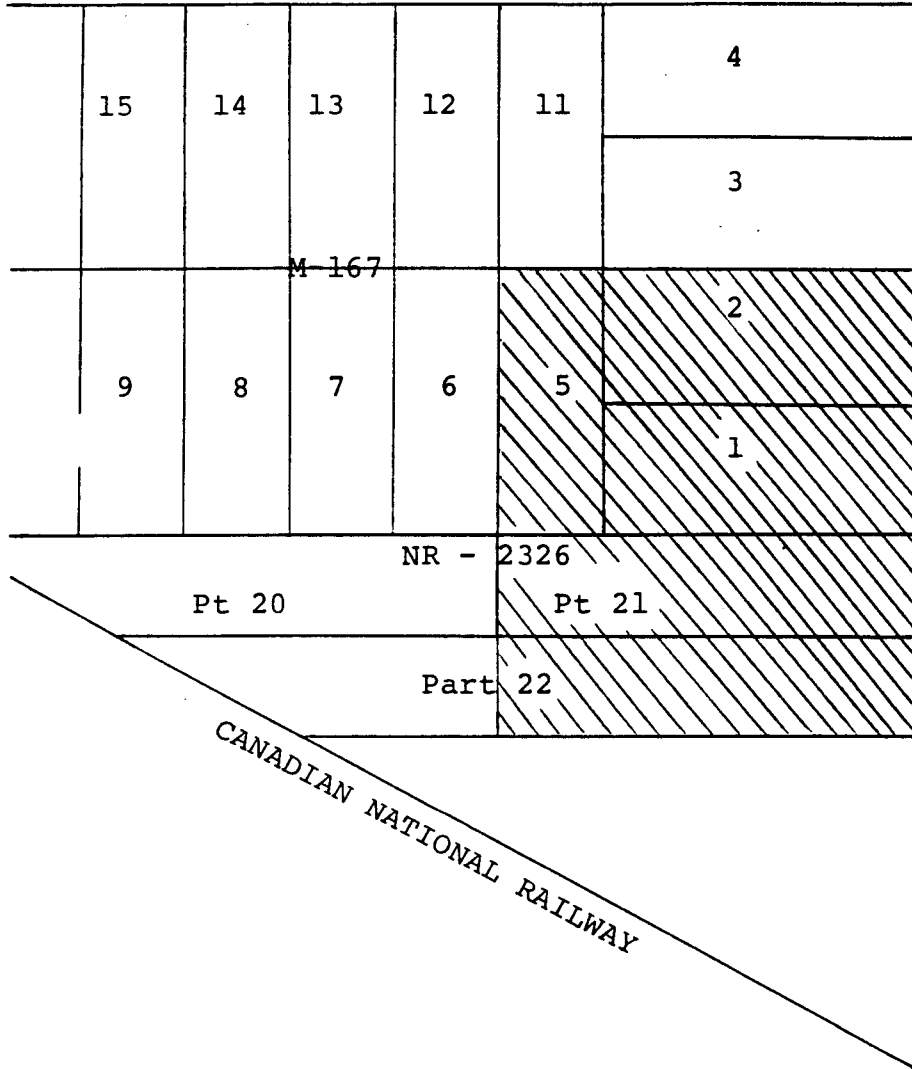
SCHEDULE TO "INDUSTRIAL COMMERCIAL SPECIAL ZONE NO. 26 (MC. SP.26)"



11.4.27 Industrial Commercial Special Zone No. 27 (MC Sp.27)

- 11.4.27.1 The property description of this "Industrial Commercial Special Zone No. 27 (MC Sp.27)" is Lot 1, 2 and 5, Plan M-167, Part 21 and the easterly 39.26 metres of Part 22, Plan NR-2326 along Gormanville Road in the City of North Bay as shown on the attached Schedules and Schedule "B-41".
- 11.4.27.2 a) No person shall use land, or use, erect, or construct any building or structure in this "Industrial Commercial Special Zone No. 27 (MC Sp.27)" except for the following uses:
- neighbourhood convenience store;
 - all those uses permitted in the Light Industrial One (M.1) zone;
- 11.4.27.2 b) The regulations for this "Industrial Commercial Special Zone No. 27 (MC Sp.27)" are as follows:
- i) The minimum front yard setback shall be ten and five-tenths (10.5) metres.
 - ii) The minimum northerly side yard setback shall be zero and three-tenths (0.3) metres.
- 11.4.27.3 The use of land or buildings in this "Industrial Commercial Special Zone No. 27 (MC Sp.27)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

SCHEDULE TO "INDUSTRIAL COMMERCIAL SPECIAL ZONE NO. 27 (MC SP. 27)"



GORMANVILLE ROAD

JANE STREET

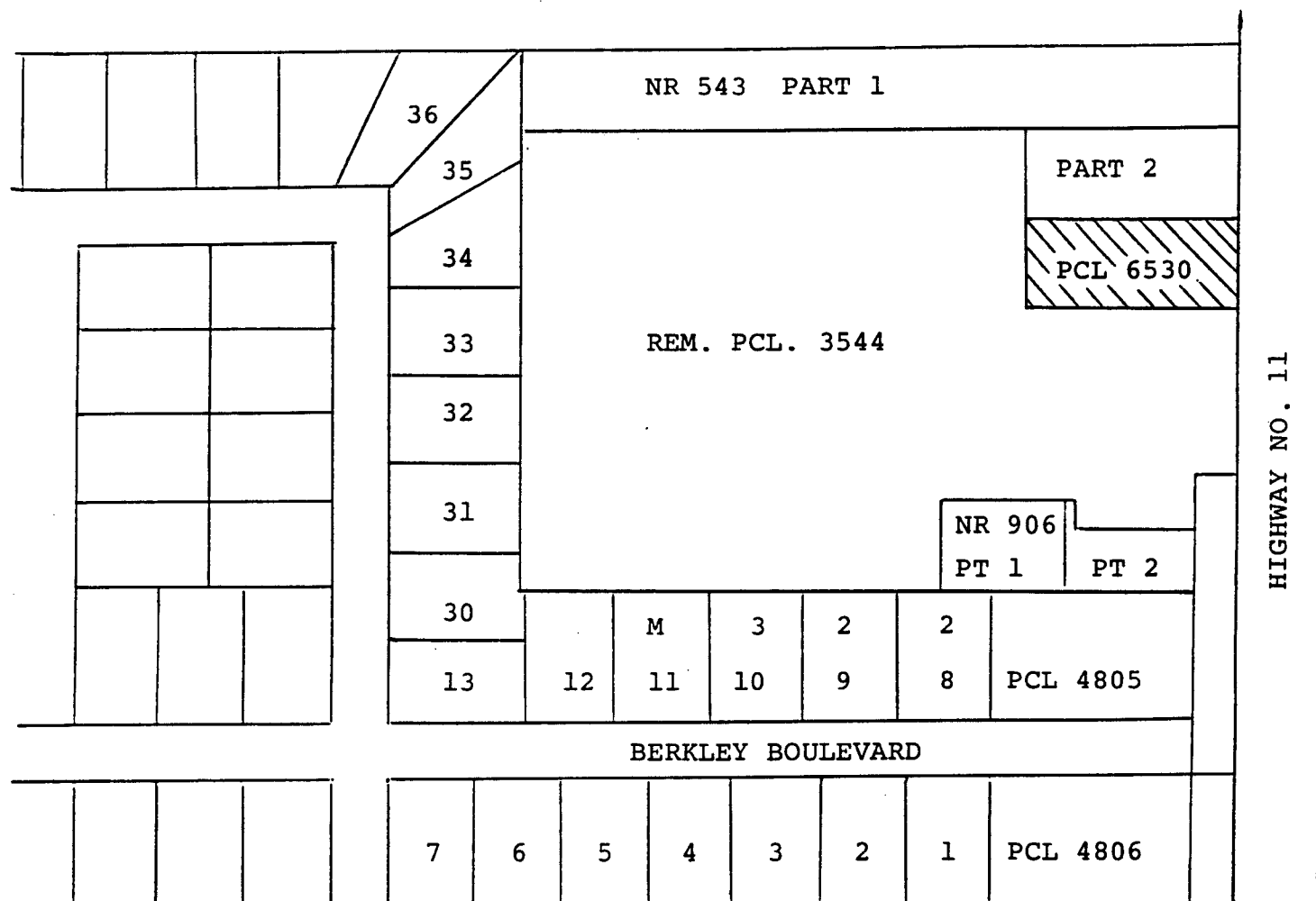


Scale 1" - 60 Feet

11.4.28 Restricted Industrial Special Zone No. 28 (M.5 Sp.28)

- 11.4.28.1 The property description of this "Restricted Industrial Special Zone No. 28 (M.5 Sp.28)" is Parcel 6530, Part of Lot 21, Concession 3 along Highway 11 North in the City of North Bay as shown on the attached Schedules and Schedule "C-10".
- 11.4.28.2 a) No person shall use land, or use, erect or construct any building or structure in this "Restricted Industrial Special Zone No. 28 (M.5 Sp.28)", except for the following uses:
- motor vehicle towing service;
 - motor vehicle storage facility;
 - single detached dwelling.
- 11.4.28.3 The use of land or buildings in this "Restricted Industrial Special Zone No. 28 (M.5 Sp.28)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

Schedule to Restricted Industrial Special Zone
No. 28 (M5 Sp. 28)

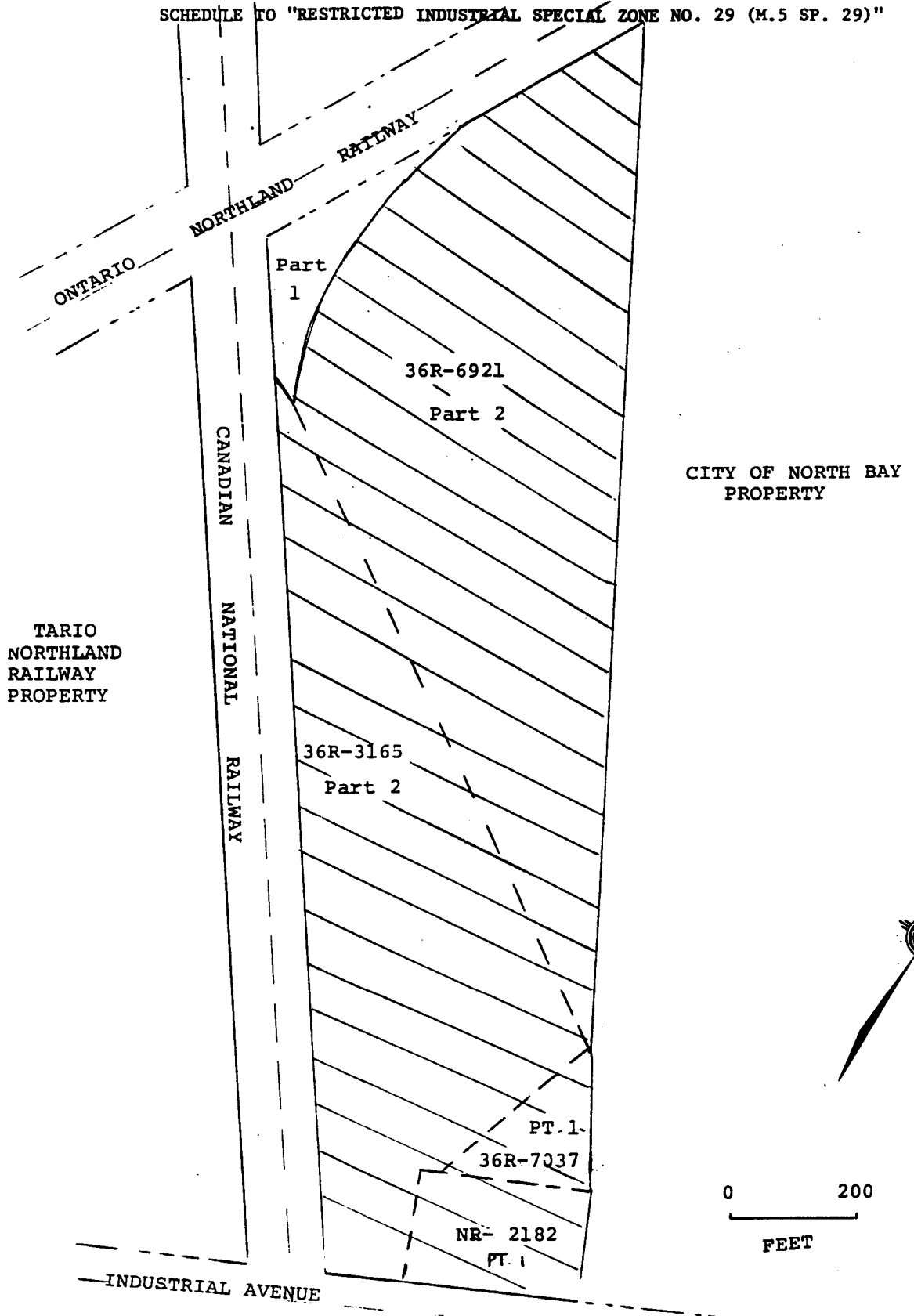


SCALE 1" = 200 FEET

11.4.29 Restricted Industrial Special Zone No. 29 (M.5 Sp.29)

- 11.4.29.1 The property description of this "Restricted Industrial Special Zone No. 29 (M.5 Sp.29)" is Part 1, Plan NR-2182, Part 1, Plan 36R-3165, Part 2, Plan 36R-6921, Parts 1 & 2, Plan 36R-7037 along Industrial Avenue in the City of North Bay as shown on the attached Schedules and Schedules "B-51" and "B-61".
- 11.4.29.2 a) No person shall use land, or use, erect, or construct any building or structure in this "Restricted Industrial Special Zone No. 29 (M.5 Sp.29)", except for the following uses:
- bulk sales establishments;
 - construction contractor yards;
 - heavy equipment storage;
 - transportation and communications and utility yards and terminals;
 - warehouse uses;
 - wholesale scrap yards;
 - foundry and smelter operations;
 - any use permitted in a Light Industrial (M.3) zone;
 - one apartment unit for a caretaker or essential workman.
- 11.4.29.2 b) The regulations for this "Restricted Industrial Special Zone No. 29 (M.5 Sp.29)" are as follows:
- i) The minimum front yard setback shall be eight and five-tenths (8.5) metres.
- 11.4.29.3 The use of land or buildings in this "Restricted Industrial Special Zone No. 29 (M.5 Sp.29)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

SCHEDULE TO "RESTRICTED INDUSTRIAL SPECIAL ZONE NO. 29 (M.5 SP. 29)"



TARIO
NORTHLAND
RAILWAY
PROPERTY

CITY OF NORTH BAY
PROPERTY

CANADIAN
NATIONAL
RAILWAY

Part
1

36R-6921

Part 2

36R-3165

Part 2

PT. 1-

36R-7037

NR- 2182

PT. 1

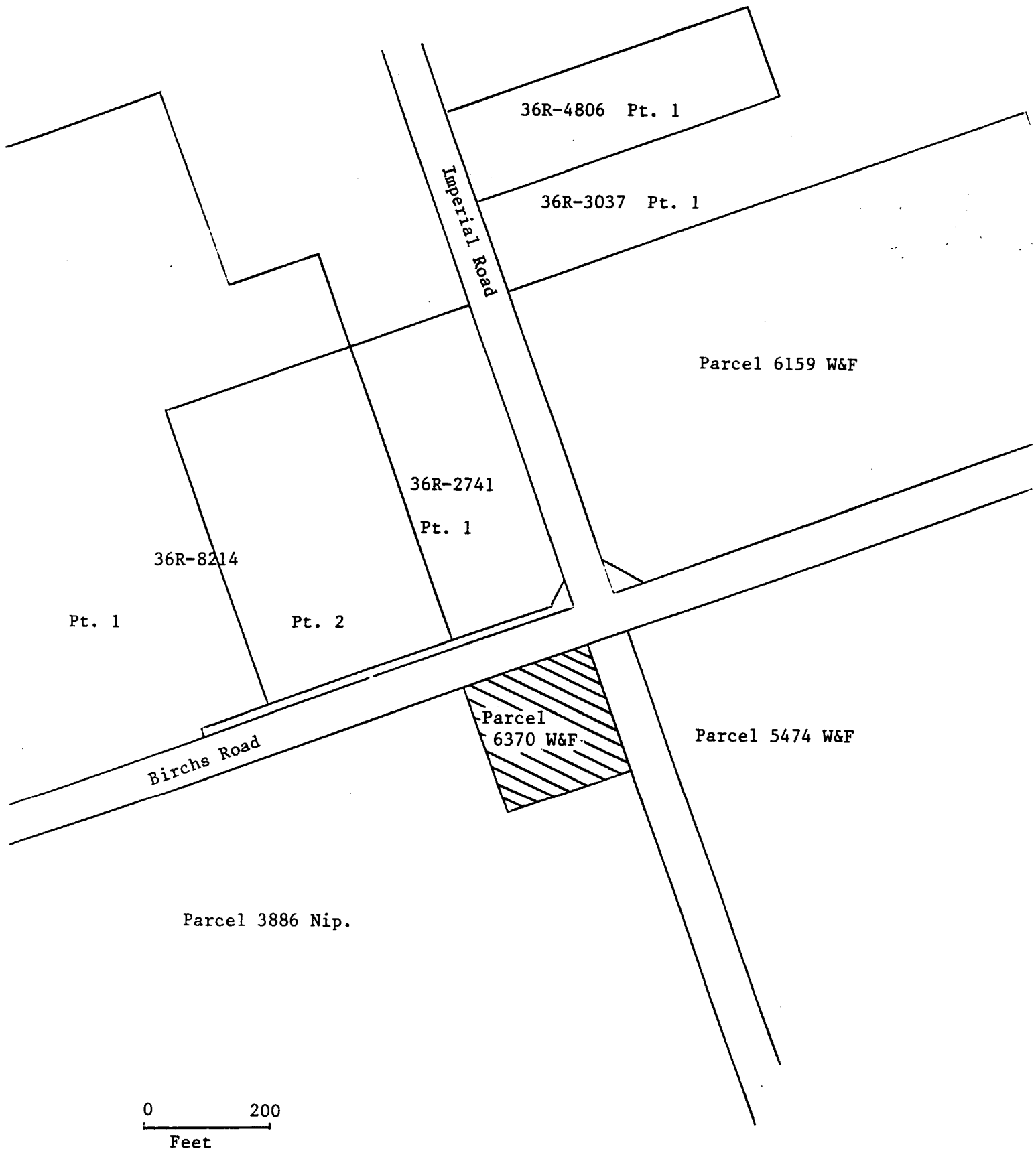
INDUSTRIAL AVENUE

0 200
FEET

11.4.30 Restricted Industrial Special Zone No. 30 (M.5 Sp.30)

- 11.4.30.1 The property description of this "Restricted Industrial Special Zone No. 30 (M.5 Sp.30)" is Parcel 6370, Part Lot 35, Concession 14 along Birchs Road in the City of North Bay as shown on the attached Schedules and Schedule "B-82".
- 11.4.30.2a) No person shall use land, or use, erect, or construct any building or structure in this "Restricted Industrial Special Zone No. 30 (M.5 Sp.30)", except for the following uses:
- bulk sales establishments;
 - construction contractor yards;
 - heavy equipment storage;
 - transportation and communications and utility yards and terminals;
 - warehouse uses;
 - wholesale uses;
 - scrap yards;
 - a single detached dwelling for the owner, caretaker, or essential workman;
 - any use permitted in a "Light Industrial Three (M.3)" zone, save and except the one (1) apartment unit within the main building for an essential workman or caretaker, and further said use shall not immediately require full Municipal services and shall be subject to an agreement between the prospective industry and the City.
- 11.4.30.2b) The regulations for this "Restricted Industrial Special Zone No. 30 (M.5 Sp.30)" are as follows:
- i) The minimum front yard setback shall be eleven and five-tenths (11.5) metres.
- 11.4.30.3 The use of land or buildings in this "Restricted Industrial Special Zone No. 30 (M.5 Sp.30)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

SCHEDULE TO "RESTRICTED INDUSTRIAL SPECIAL ZONE NO. 30 (M.5 Sp.30)"



11.4.31 Industrial Commercial Special Zone No. 31 (MC Sp.31)

11.4.31.1 The property description of this "Industrial Commercial Special Zone No. 31 (MC Sp.31)" is Plan 36R-3676, Part 1 along Wallace Road in the City of North Bay as shown on the attached Schedules and Schedule "B-53".

11.4.31.2a) No person shall use land, or use, erect, or construct any building or structure in this "Industrial Commercial Special Zone No. 31 (MC Sp.31)", except for the following uses:

- computer, electronic or data processing business;
- corporate administrative offices;
- research and development facilities;
- laboratory;
- scientific, technological or communications establishments;
- architecture, engineering, surveying, planning or design offices;
- all those uses permitted in the "Light Industrial One (M.1)" zone;
- accessory office and business establishments;
- accessory daycare facilities;
- accessory convenience stores;
- accessory restaurants.

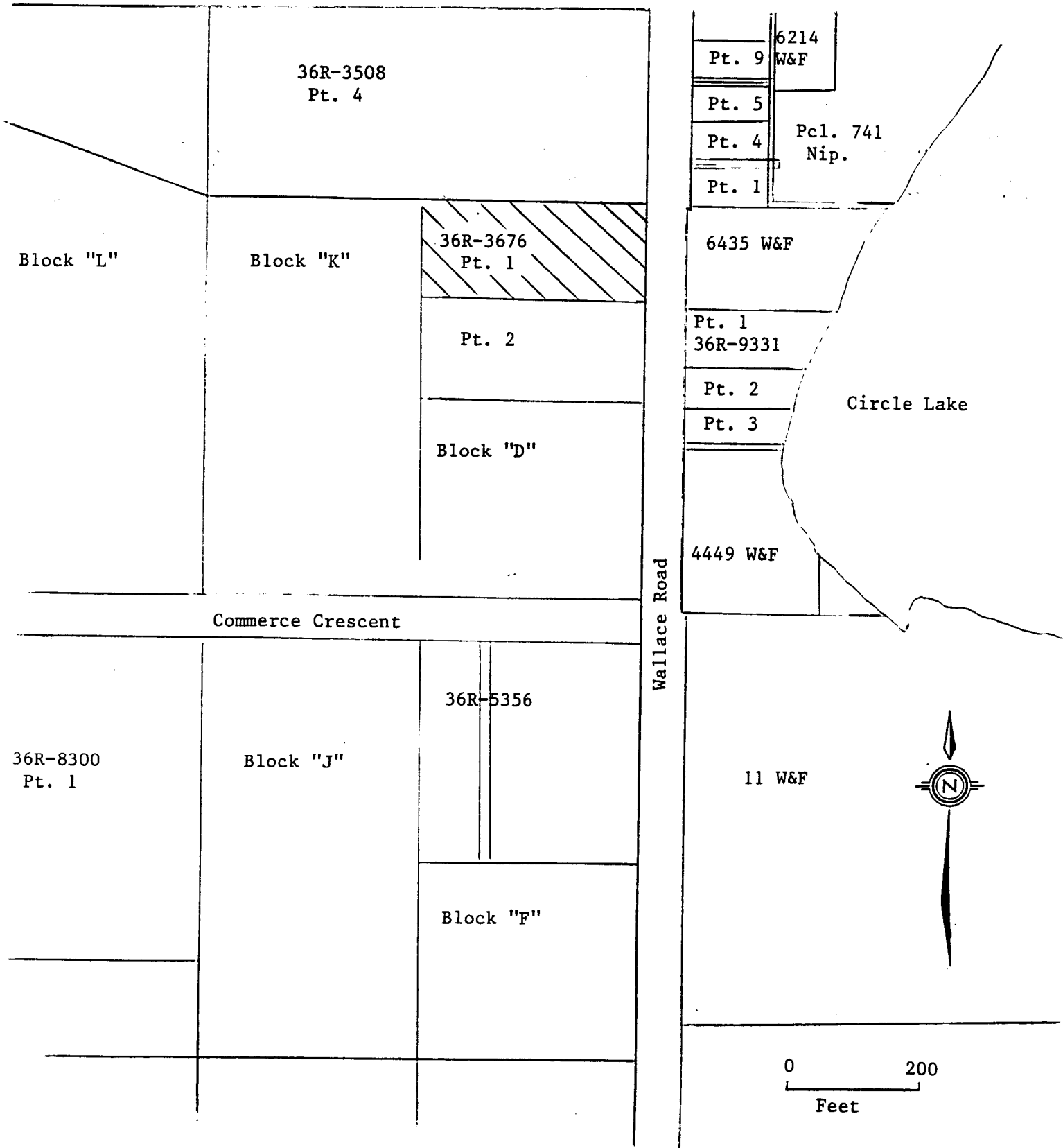
11.4.31.2b) The regulations for this "Industrial Commercial Special Zone No. 31 (MC Sp.31)" are as follows:

- i) The maximum lot coverage not to exceed fifty (50) percent of the total lot area.
- ii) The minimum lot area shall be not less than four thousand and forty-seven (4,047) square metres.
- iii) The minimum southerly side yard setback shall be three and five-tenths (3.5) metres.
- iv) The minimum northerly side yard setback shall be four and five-tenths (4.5) metres.

11.4.31.2b) v) The minimum rear yard setback shall be twelve (12) metres.

11.4.31.3 The use of land or buildings in this "Industrial Commercial Special Zone No. 31 (MC Sp.31)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

SCHEDULE TO "INDUSTRIAL COMMERCIAL SPECIAL ZONE NO. 31 (MC SP.31)"



11.4.32 **Industrial Business Park Special Zone No. 32**
(MBP Sp.32)

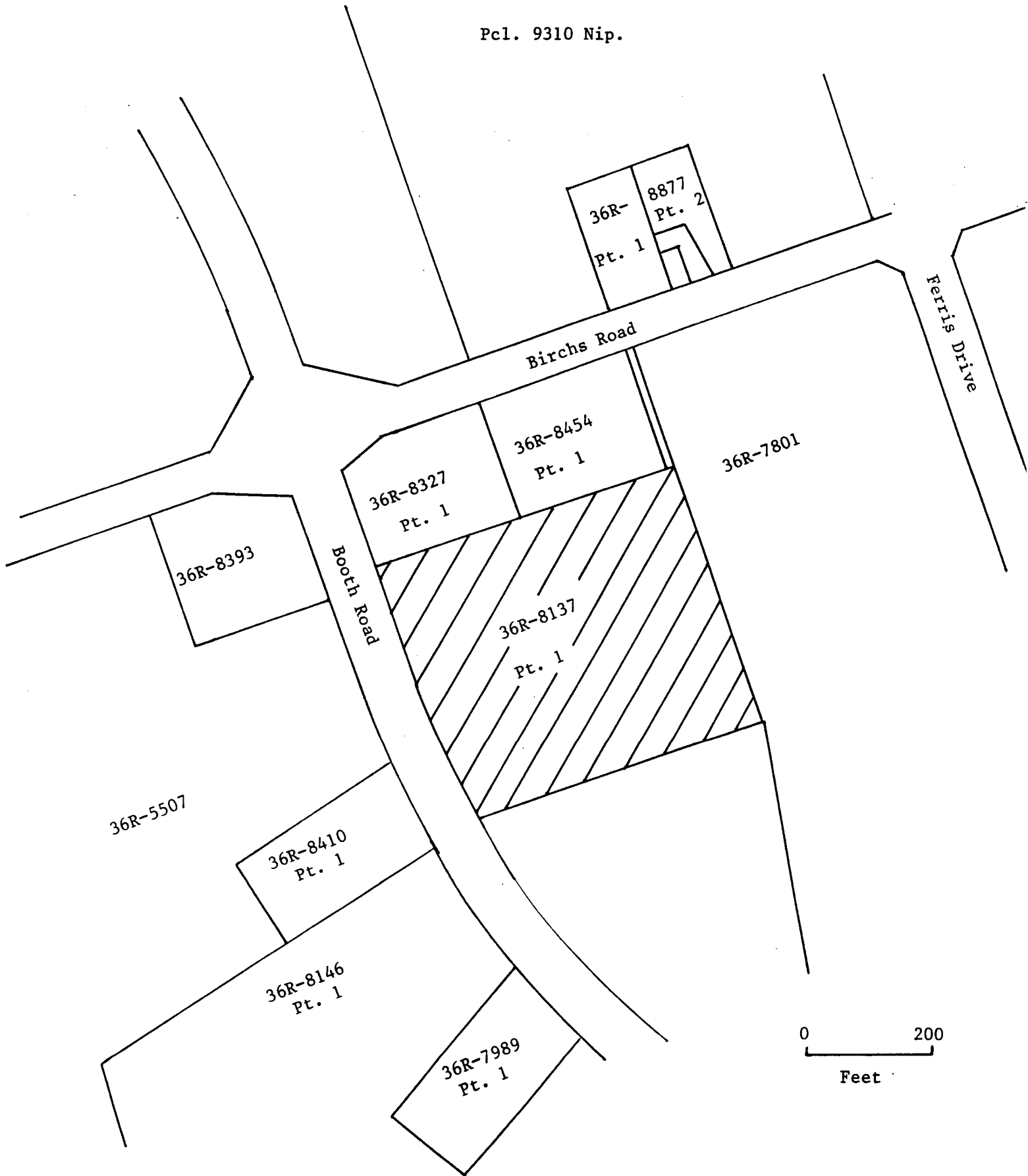
11.4.32.1 The property description of this "Industrial Business Park Special Zone No. 32 (MBP Sp.32)" is Plan 36R-8137, Part 1, being Part of Lot 37, Concession 14 along Booth Road in the City of North Bay as shown on the attached Schedules and Schedule "B-81".

11.4.32.2 No person shall use land, or use, erect or construct any building or structure in this "Industrial Business Park Special Zone No. 32 (MBP Sp.32)", except for the following uses:

- computer, electronic or data processing business;
- corporate administrative offices;
- research and development facilities;
- laboratory;
- scientific, technological or communications establishments;
- architecture, engineering, surveying, planning or design offices;
- all those uses permitted in the "Light Industrial Three (M.3)" zone, excluding outside storage;
- accessory office and business establishments;
- accessory daycare facilities;
- accessory convenience stores;
- accessory restaurants;
- all permitted uses shall be conducted within an enclosed building or structure with no outside storage permitted.

11.4.32.3 The use of land or buildings in this "Industrial Business Park Special Zone No. 32 (MBP Sp.32)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

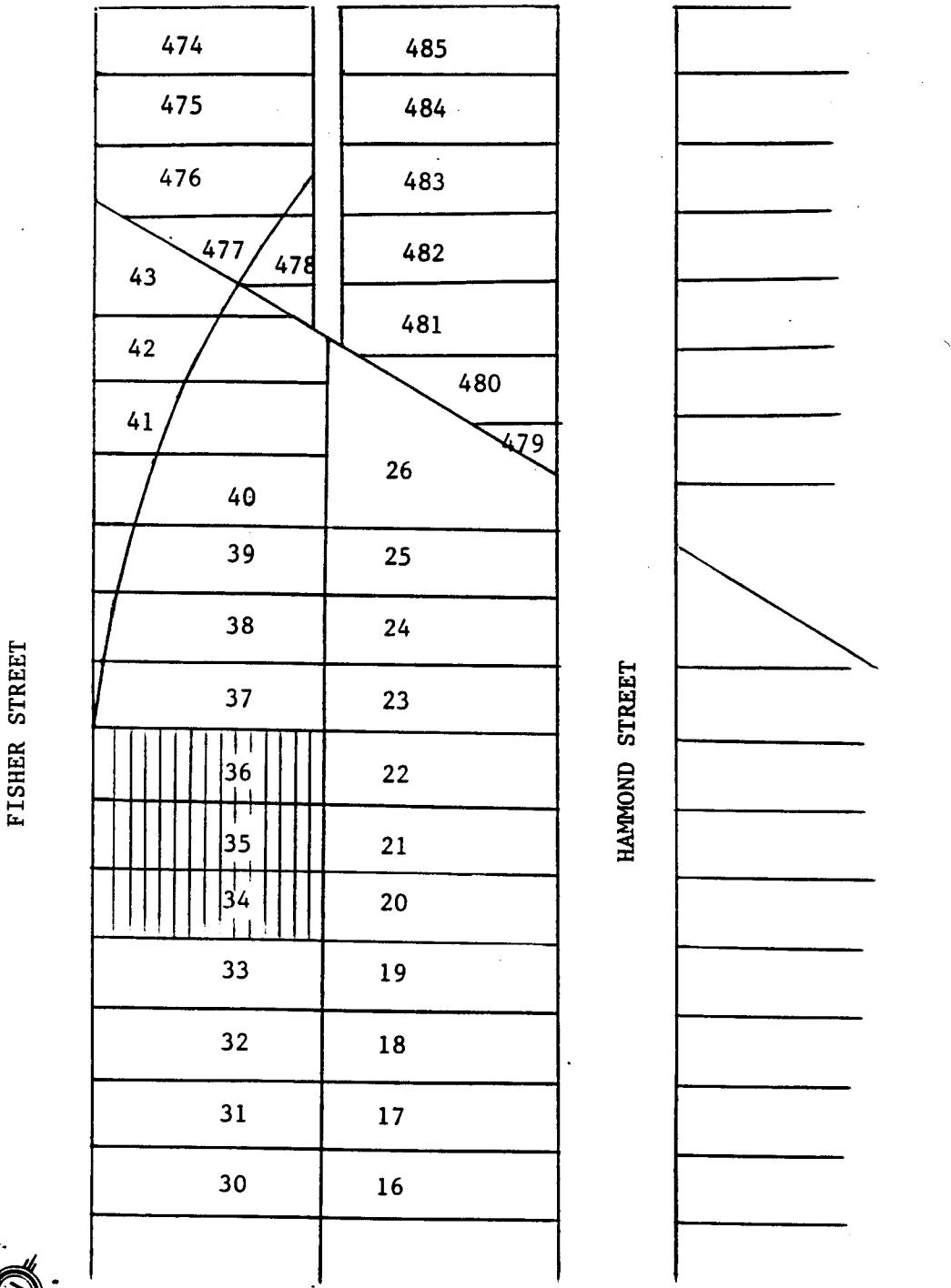
SCHEDULE TO INDUSTRIAL BUSINESS PARK SPECIAL ZONE NO. 32 (MBP Sp.32)



11.4.34 Industrial Commercial Special Zone No. 34 (MC Sp.34)

- 11.4.34.1 The property description of this "Industrial Commercial Special Zone No. 34 (MC Sp.34)" is Lots 34 and 35 and Part of Lot 36, Plan 76 along Fisher Street in the City of North Bay, shown as hatched on the attached Schedules and Schedule "B-51".
- 11.4.34.2a) No person shall use land, or use, erect, or construct any building or structure in this "Industrial Commercial Special Zone No. 34 (MC Sp.34)", except for the following uses:
- warehousing, storage and retail sales of flooring and textile products;
 - home renovations and improvement shops;
 - auto dealerships and service establishments;
 - service establishments that are not obnoxious;
 - banks;
 - hotels and motels;
 - public garages;
 - restaurant and taverns;
 - service stations and gas bars;
 - all those uses permitted in the "Light Industrial One (M.1)" zone;
 - one (1) apartment unit shall be permitted for an essential workman or caretaker within the main building.
- 11.4.34.2b) The regulations for this "Industrial Commercial Special Zone No. 34 (MC Sp.34)" are as follows:
- i) The minimum easterly side yard setback shall be nil.
 - ii) The minimum rear yard setback shall be four and two-tenths (4.2) metres.
- 11.4.34.3 The use of land or buildings in this "Industrial Commercial Special Zone No. 34 (MC Sp.34)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

SCHEDULE TO "INDUSTRIAL COMMERCIAL SPECIAL ZONE
NO. 34 (MCSp. 34)"
McGAUGHEY AVENUE

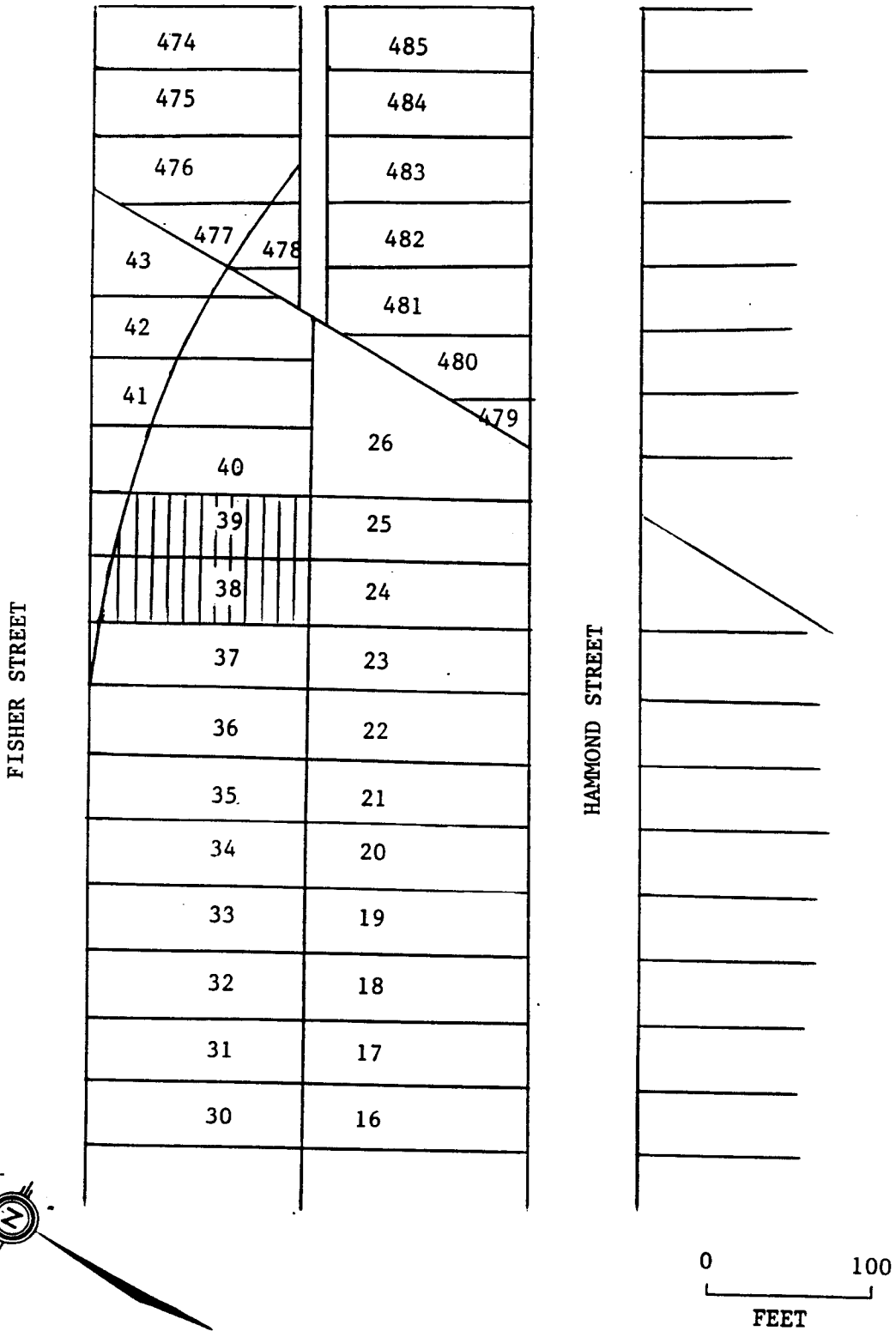


11.4.35 Industrial Commercial Special Zone No. 35 (MC Sp.35)

- 11.4.35.1 The property description of this "Industrial Commercial Special Zone No. 35 (MC Sp.35)" is part of Lot 38 and 39, Plan 76 along Fisher Street in the City of North Bay as shown on the attached Schedules and Schedule "B-51".
- 11.4.35.2a) No person shall use land, or use, erect, or construct any building or structure in this "Industrial Commercial Special Zone No. 35 (MC Sp.35)", except for the following uses:
- warehousing, storage and retail sales of flooring and textile products;
 - home renovations and improvement shops;
 - auto dealerships and service establishments;
 - service establishments that are not obnoxious;
 - banks;
 - hotels and motels;
 - public garages;
 - restaurants and taverns;
 - service stations and gas bars;
 - all those uses permitted in the "Light Industrial One (M.1)" zone;
 - one (1) apartment unit shall be permitted for an essential workman or caretaker within the main building.
- 11.4.35.2b) The regulations for this "Industrial Commercial Special Zone No. 35 (MC Sp.35)" are as follows:
- i) The minimum rear yard setback shall be four and two-tenths (4.2) metres.
- 11.4.35.3 The use of land or buildings in this "Industrial Commercial Special Zone No. 35 (MC Sp.35)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

SCHEDULE TO "INDUSTRIAL COMMERCIAL SPECIAL ZONE
NO. 35 (MCSp. 35)"

McGAUGHEY AVENUE



11.4.36 Restricted Industrial Special Zone No. 36 (M.5 Sp.36)

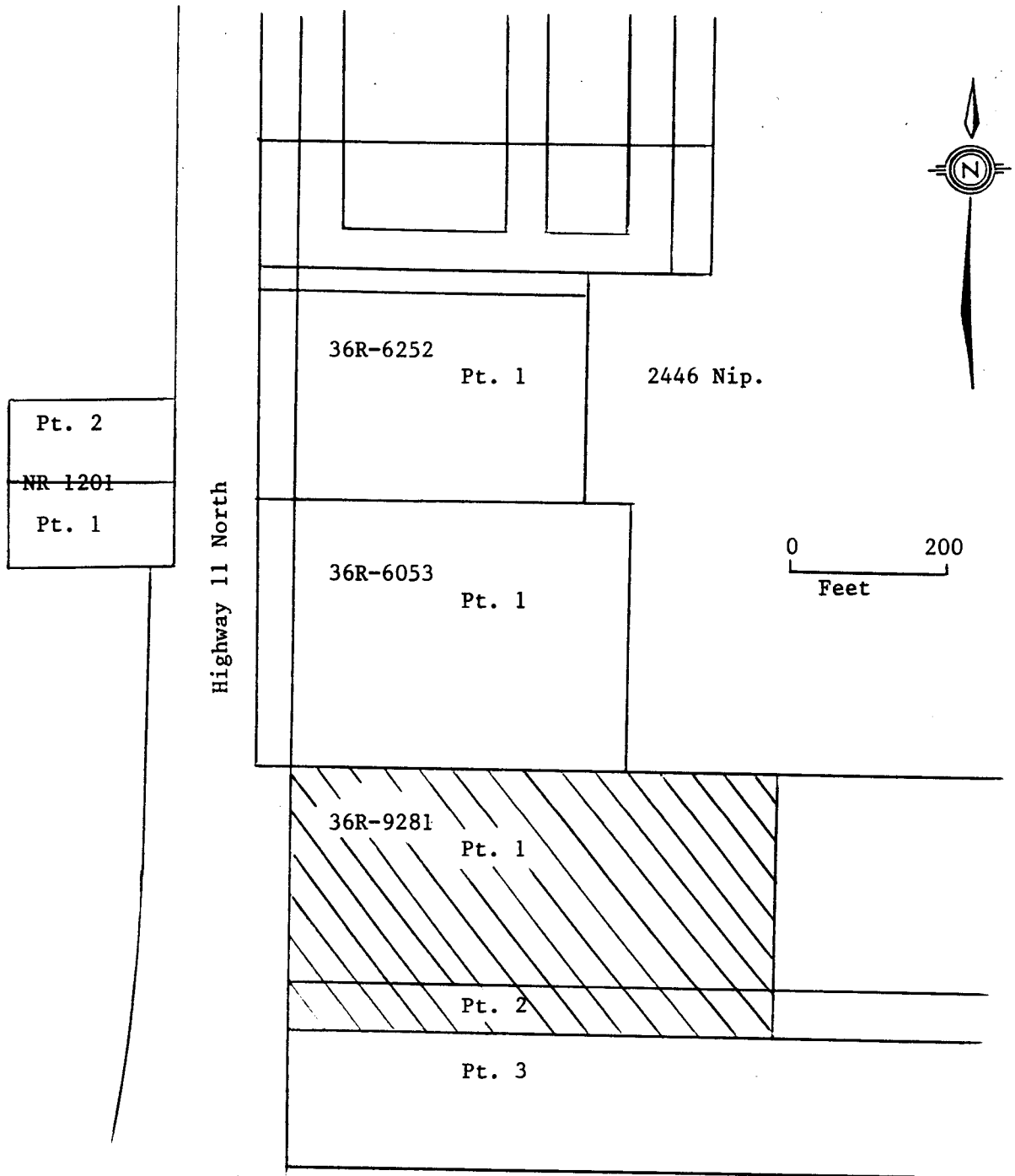
11.4.36.1 The property description of this "Restricted Industrial Special Zone No. 36 (M.5 Sp.36)" is the westerly 600 feet of Parts 1 and 2, Plan 36R-9281, part Lot 20, Concession 1 along Highway 11 North in the City of North Bay as shown on the attached Schedules and Schedule "C-7".

11.4.36.2 No person shall use land, or use, erect, or construct any building or structure in this "Restricted Industrial Special Zone No. 36 (M.5 Sp.36)", except for the following uses:

- bulk sales establishments;
- construction contractor yards;
- heavy equipment storage;
- transportation and communications, and utility yards and terminals;
- warehouse uses;
- wholesale uses;
- any use permitted in a Light Industrial Three (M.3) zone which does not immediately require full Municipal services, subject to an agreement between the prospective industry and the City;
- one (1) apartment unit shall be permitted for a caretaker or essential workman, provided that the said unit is located within the main building.

11.4.36.3 The use of land or buildings in this "Restricted Industrial Special Zone No. 36 (M.5 Sp.36)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

SCHEDULE TO "RESTRICTED INDUSTRIAL SPECIAL ZONE NO. 36 (M.5 Sp.36)"



11.4.37 Light Industrial Three Special Zone No. 37 (M3 Sp.37)

11.4.37.1 The property description of this "Light Industrial Three Special Zone No. 37 (M3 Sp.37)" is Lots 83-85, 90-94, 98-100, and part Lots 81, 82, 95-97, 112-115, Plan M-36 and that part of the old Main Street, designated as Parts 1, 2, 4, and 5, Plan 36R-2791 along Main Street West in the City of North Bay as shown on the attached Schedules and Schedules "B-40" and "B-41".

11.4.37.2a) No person shall use land, or use, erect, or construct any building or structure in this "Light Industrial Three Special Zone No. 37 (M3 Sp.37)" except for the following uses:

- Those uses permitted in a "Light Industrial Two (M2)" zone requiring outdoor storage.
- The use of land, building or structure designed for the purpose of manufacturing, assembling, processing, preparing, inspecting or ornamenting, finishing, treating, altering, repairing, warehousing, storing or adapting for sale any goods, substances or things, and the storage of building and construction equipment and materials where such operations do not involve the emission of air or water pollutants that exceed the standards set by the appropriate Provincial Regulatory Authority. This does not include forest product industries, metal fabricating, refineries, mills, foundries, chemical plants or similar heavy industries. It also does not include a mine, pit, quarry or oil wells.
- Bulk sales establishments;
- heavy equipment sales and service;
- heavy equipment storage;

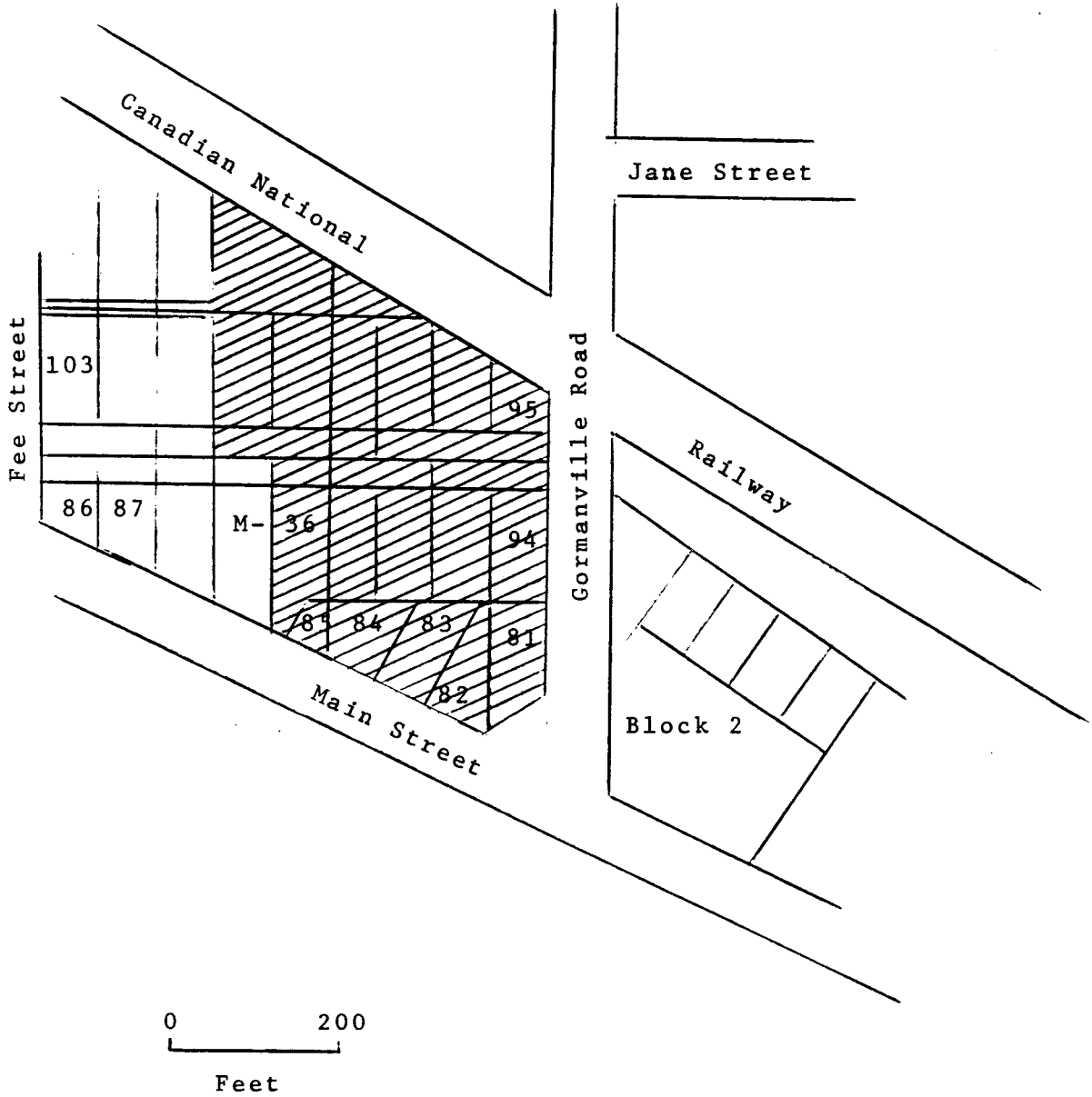
- transportation and communications and utility yards and terminals;
- warehouse and storage uses;
- administrative offices associated with and integral with the main use;
- one (1) apartment unit within the main building for an essential workman or caretaker.

11.4.37.2b) The regulations for this "Light Industrial Three Special Zone No. 37 (M3 Sp. 37)" are as follows:

- i) The setback from the front lot line shall be a minimum of thirteen and five-tenths (13.5) metres.
- ii) the easterly side yard setback shall be a minimum of seven and zero-tenths (7.0) metres.

11.4.37.3 The use of land or building in this "Light Industrial Three Special Zone No. 37 (M3 Sp.37)" zone shall conform to all other regulations of this By-law, except as hereby expressly varied.

SCHEDULE TO "LIGHT INDUSTRIAL THREE SPECIAL ZONE NO. 37 (M3 SP.37)"



11.4.38 Industrial Business Park Special Zone No. 38 (MBP Sp.38)

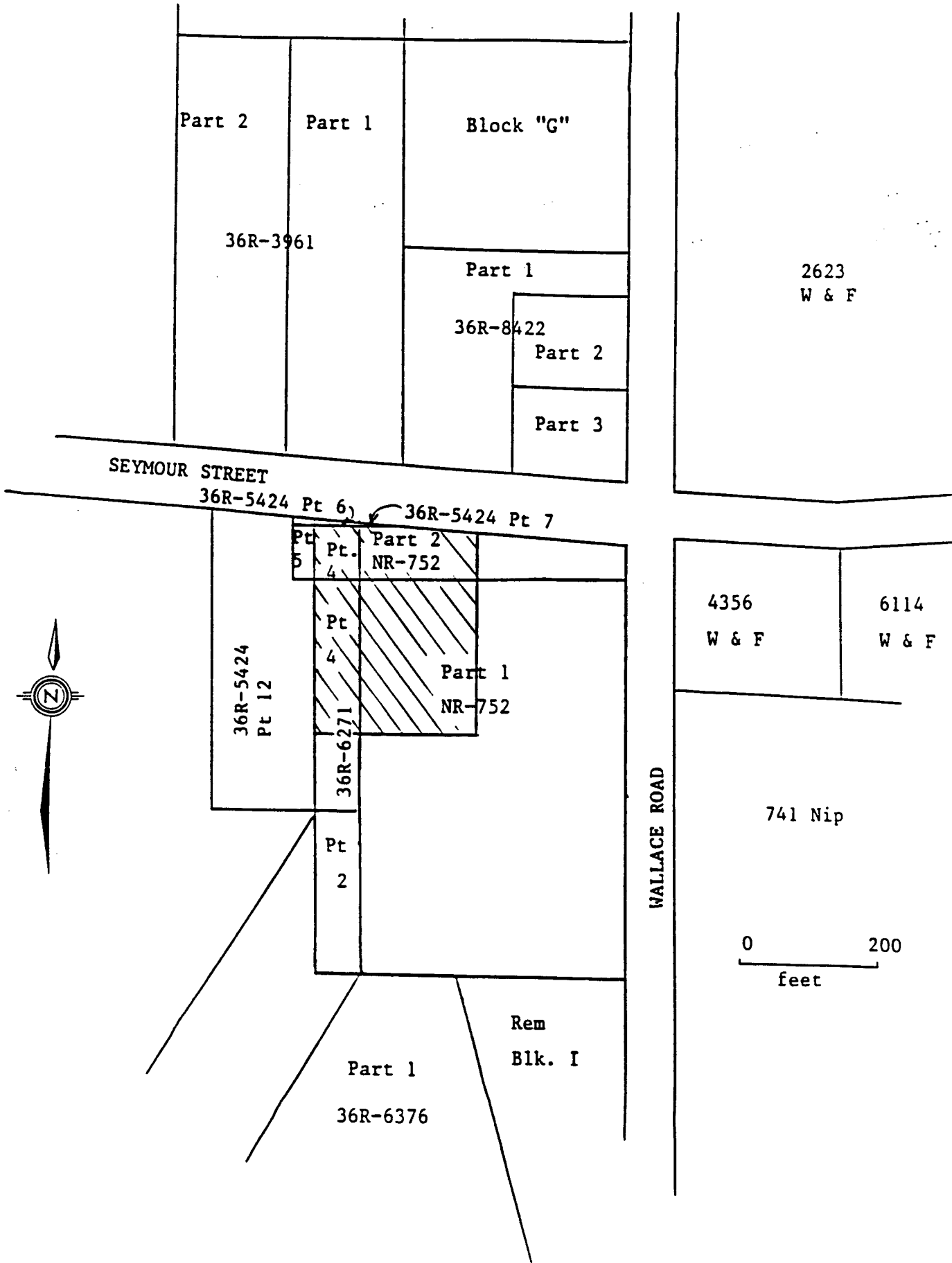
11.4.38.1 The property description of this "Industrial Business Park Special Zone No. 38 (MBP Sp.38)" is part of Parts 1, 2, 3 and Part 4, Plan NR-752 and Parts 6 and 7, Plan 36R-5424 along Seymour Street in the City of North Bay as shown on the attached Schedules and Schedule "B-53".

11.4.38.2 a) No person shall use land, or use, erect, or construct any building or structure in this "Industrial Business Park Special Zone No. 38 (MBP Sp. 38)" except for the following uses:

- computer, electronic or data processing business;
- corporate administrative offices;
- research and development facilities;
- laboratory;
- scientific, technological or communications establishments;
- architecture, engineering, surveying, planning or design offices;
- veterinary clinic;
- instructional services;
- garden centre;
- all those uses permitted in the Light Industrial One (M1) zone;
- accessory office and business establishments;
- accessory day-care facilities;
- accessory convenience stores;
- accessory restaurants.

11.4.38.3 The use of land or building in this "Industrial Business Park Special Zone No. 38 (MBP Sp.38)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

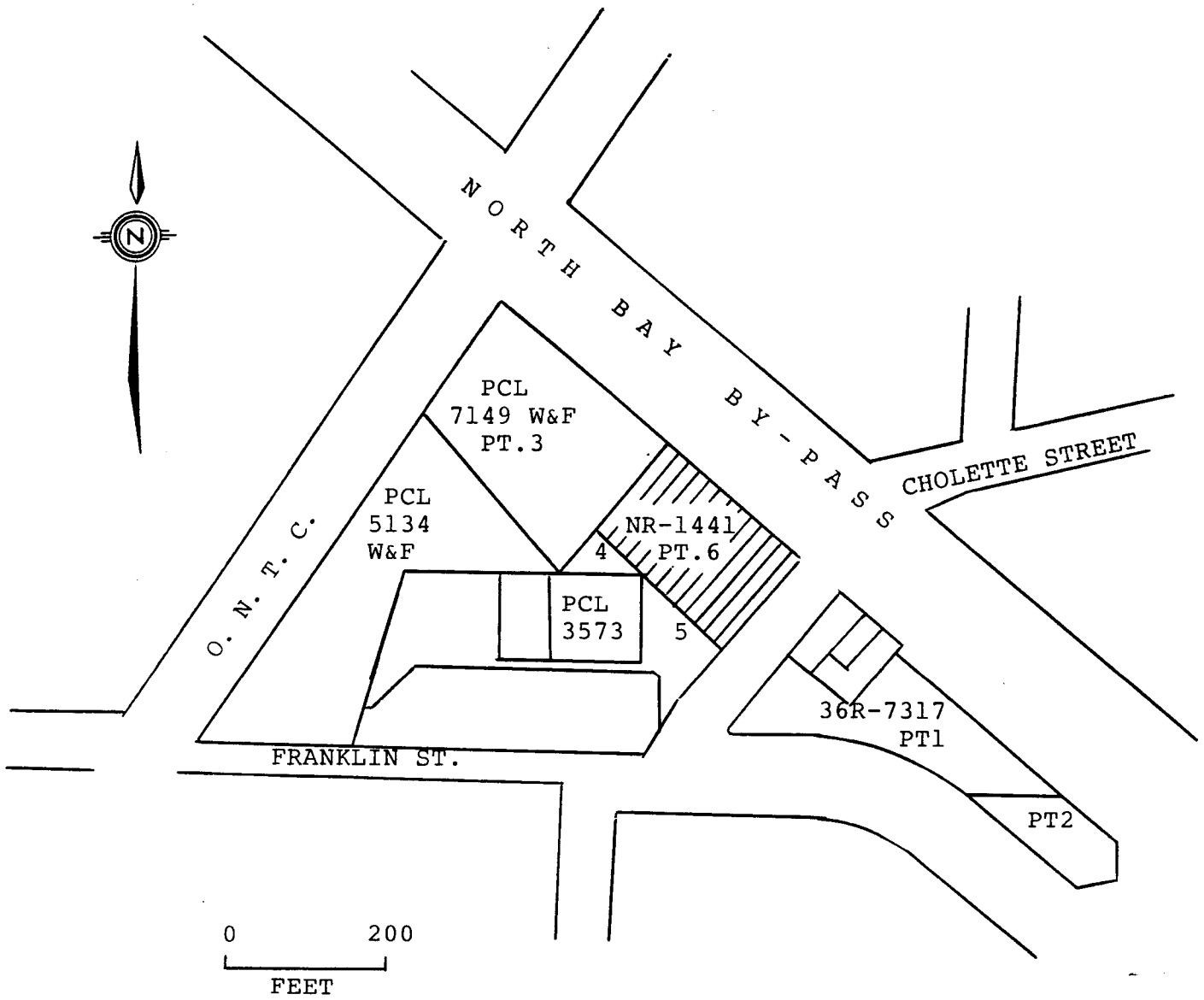
SCHEDULE TO "INDUSTRIAL BUSINESS PARK SPECIAL ZONE. NO. 38
(MBP SP.38)"



11.4.39 Industrial Commercial Special Zone No. 39 (MC Sp.39)

- 11.4.39.1 The property description of this "Industrial Commercial Special Zone No. 39 (MC Sp.39)" is Part 6, Plan NR 1441 along Drury Street in the City of North Bay as shown on the attached Schedules and Schedule "B-52".
- 11.4.39.2 a) No person shall use land, or use, erect, or construct any building or structure in this "Industrial Commercial Special Zone No. 39 (MC Sp.39)" except for the following uses:
- furniture sales showroom and warehouse;
 - warehousing, storage and retail sales of flooring and textile products;
 - home renovation and improvement shops;
 - auto dealerships and service establishments;
 - service establishments that are not obnoxious;
 - banks;
 - hotels and motels;
 - public garages;
 - restaurants and taverns;
 - service stations and gas bars;
 - all those uses permitted in the "Light Industrial One (M1)" zone;
 - one (1) apartment unit shall be permitted for an essential workman or caretaker within the main building.
- 11.4.39.2 b) The regulations for this "Industrial Commercial Special Zone No. 39 (MC Sp.39)" are as follows:
- i) the minimum front yard setback shall be four and five-tenths (4.5) metres;
 - ii) the minimum westerly side yard shall be nil;
 - iii) the minimum rear yard shall be seven and zero-tenths (7.0) metres.
- 11.4.39.3 The use of land or building in this "Industrial Commercial Special Zone No. 39 (MC Sp.39)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

SCHEDULE TO "INDUSTRIAL COMMERCIAL SPECIAL ZONE NO. 39
(MC Sp. 39)"



11.4.40 Restricted Industrial Special Zone No. 40 (M5 Sp.40)

- 11.4.40.1 The property description of this "Restricted Industrial Special Zone No. 40 (M5 Sp.40)" is Part 1, Plan 36R-8072, Part Lot 21, Concession 2 along Highway 11 North in the City of North Bay and shown on the attached Schedules and Schedule "C-10".
- 11.4.40.2 No person shall use land, or use, erect, or construct any building or structure in this "Restricted Industrial Special Zone No. 40 (M5 Sp.40)" except for the following uses:
- a maximum 185.8 square metre industrial building to be used for warehousing, display and sale of windows and doors and accessory hardware. Said industrial building may also be used for a wood-working shop associated with a home renovation and improvement business including the storage and repair of the owner/operator's business and personal vehicles;
 - a single detached dwelling;
 - all uses of the subject lands shall be conducted by the owner/resident of said lands;
 - all permitted uses shall be conducted within an enclosed building with no outside storage permitted.
- 11.4.40.3 The use of land or building in this "Restricted Industrial Special Zone No. 40 (M5 Sp.40)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

SCHEDULE TO RESTRICTED INDUSTRIAL SPECIAL ZONE NO. 40(MSP40)

BERKLEY BOULEVARD

		M	-3	2	2		PCL 4806 W & F
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PCL
2137
W & F

PCL 6371 W & F

PCL 5811 W & F

PT 1
36 R-8072



0 200
FEET

HIGHWAY 11 NORTH

36R-5448 PT 2

11.4.41 Industrial Commercial Special Zone No. 41 (MC Sp.41)

11.4.41.1 The property description of this "Industrial Commercial Special Zone No. 41 (MC Sp.41)" is Plan M-189, Lots 620, 621, Part Lots 618, 619 and Plan NR-840, Pts. 1 and 5, Parcels 8476 W&F and 8788 W&F along McGaughey Avenue in the City of North Bay as shown on the attached Schedules and Schedule "B-52".

11.4.41.2(a) No person shall use land, or use, erect, or construct any building or structure in this "Industrial Commercial Special Zone No. 41 (MC Sp.41)" except for the following uses:

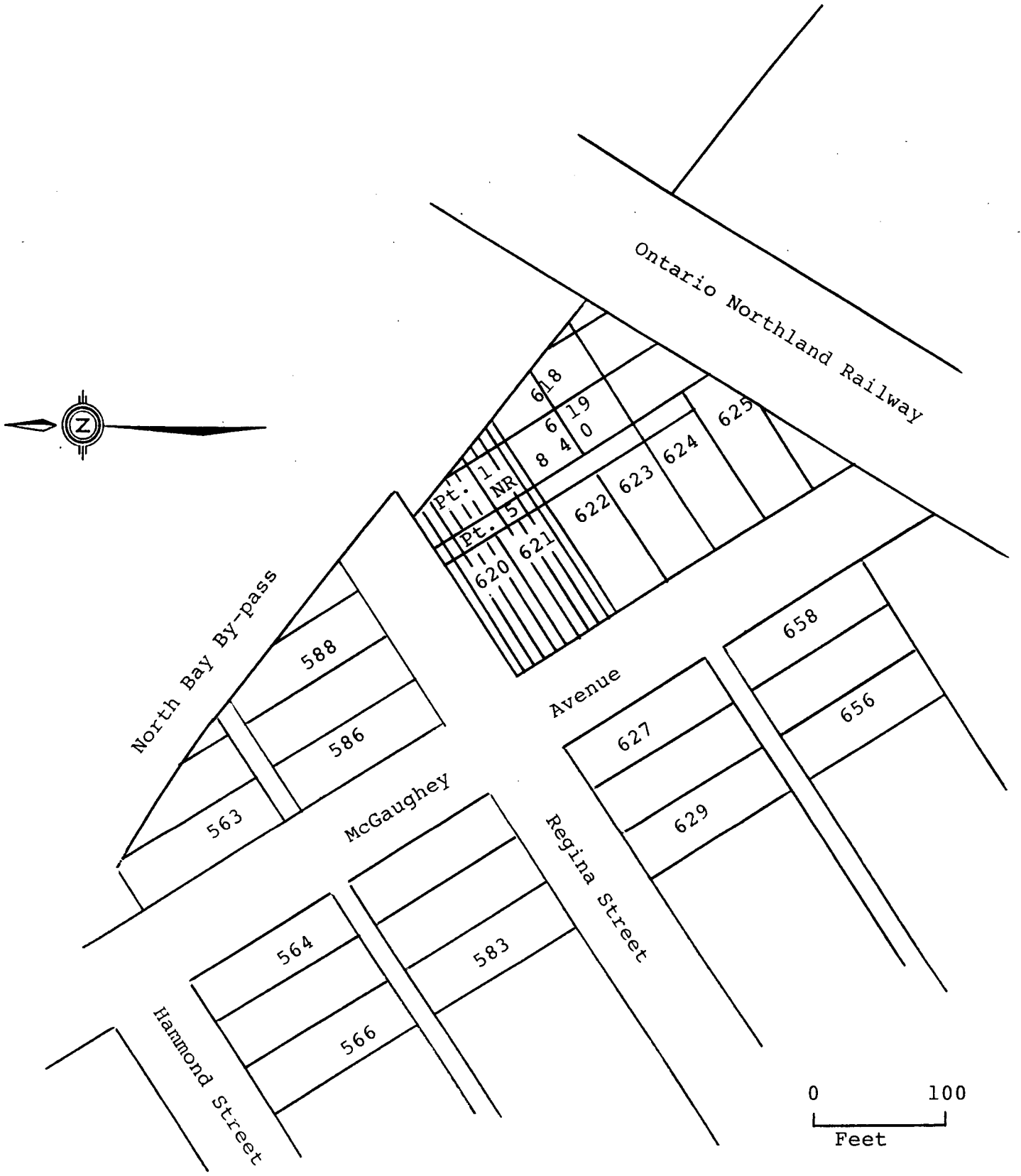
- auto dealerships and service establishments;
- banks;
- hotels and motels;
- public garages;
- restaurant and taverns;
- service stations and gas bars;
- all those uses permitted in the "Light Industrial One (M1)" zone;
- one (1) apartment unit shall be permitted for an essential workman or caretaker within the main building.

11.4.41.2(b) The regulations for this "Industrial Commercial Special Zone No. 41 (MC Sp.41)" are as follows;

- i) The minimum front yard setback shall be nil;
- ii) the minimum northerly side yard setback shall be nil.

11.4.41.3 The use of land or building in this "Industrial Commercial Special Zone No. 41 (MC Sp.41)" zone shall conform to all other regulations of this By-law, except as hereby expressly varied.

SCHEDULE TO "INDUSTRIAL COMMERCIAL SPECIAL ZONE NO. 41 (MC Sp.41)"



11.4.43 Light Industrial Three Special Zone No. 43 (M3 Sp.43)

11.4.43.1 The property description of this "Light Industrial Three Special Zone No. 43 (M3 Sp.43)" is Plan 89, Part Lots 16 to 20, Plan 15, Part Lots 66 to 70, R.C.P. 4, Lots 2, 3, 4 including Plan 36R-10000, Part 1 and part of the unopened portions of the Main Street and Rock Street road allowances along Main Street in the City of North Bay as shown on the attached Schedules and Schedule "B-41".

11.4.43.2(a) No person shall use land or use, erect, or construct any building or structure in this "Light Industrial Three Special Zone No. 43 (M3 Sp.43)" except for the following uses:

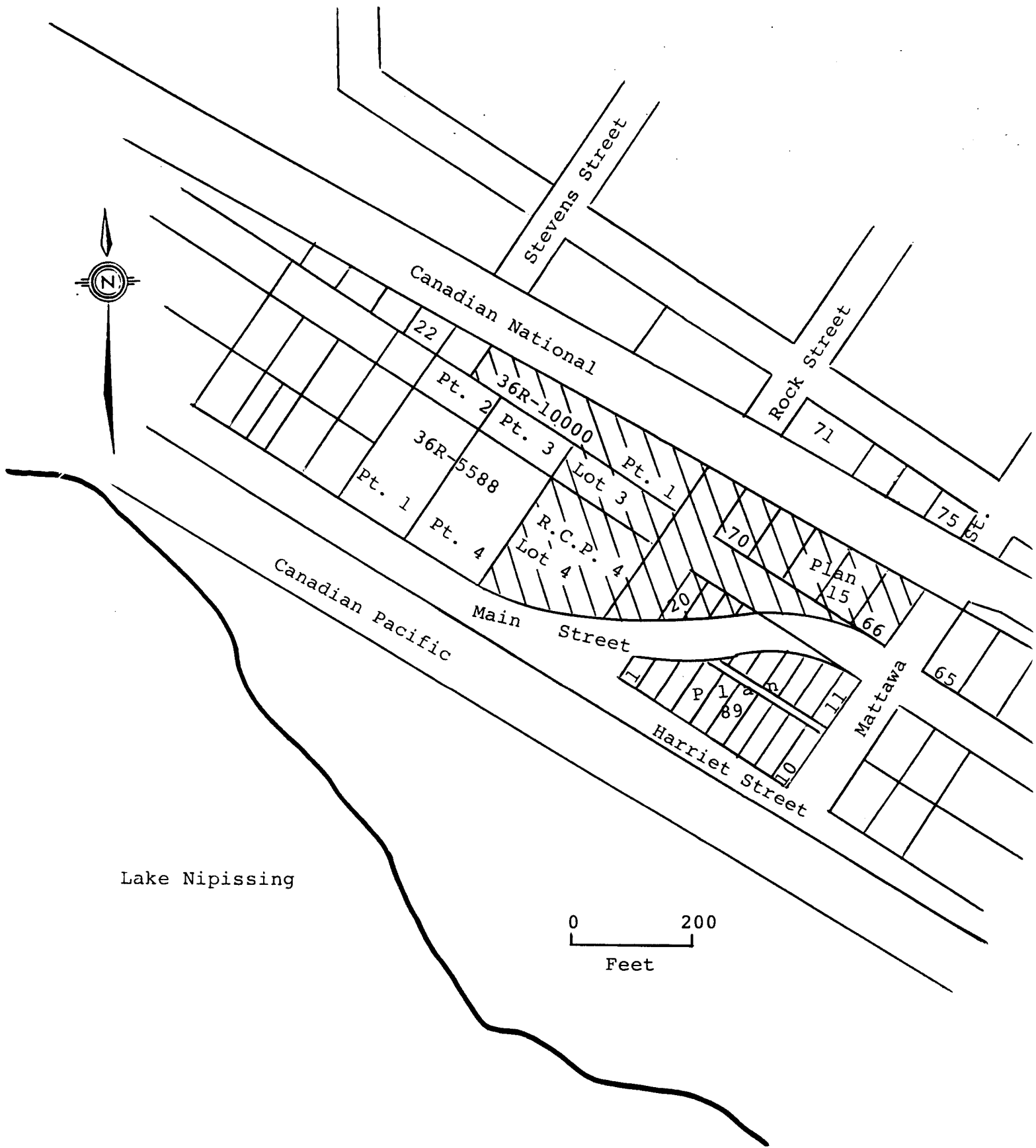
- Those uses permitted in a "Light Industrial Two (M2)" zone requiring outdoor storage.
- The use of land, building or structure designed for the purpose of manufacturing, assembling, processing, preparing, inspecting or ornamenting, finishing, treating, altering, repairing, warehousing, storing or adapting for sale any goods, substances or things, and the storage of building and construction equipment and materials where such operations do not involve the emission of air or water pollutants that exceed the standards set by the appropriate Provincial Regulatory Authority. This does not include forest product industries, metal fabricating, refineries, mills, foundries, chemical plants or similar heavy industries. It also does not include a mine, pit, quarry or oil wells.
- Bulk sales establishments;
- heavy equipment sales and service;
- heavy equipment storage;
- warehouse and storage uses;
- administrative offices associated with and integral with the main use;
- one (1) apartment unit within the main building for an essential workman or caretaker;
- outdoor storage is permitted, subject to the provisions of Section 7.4.2.5.

11.4.43.2(b) The regulations for this "Light Industrial Three Special Zone No. 43 (M3 Sp.43)" are as follows:

- i) the minimum front yard setback for any building or structure contained within Lot 66, Plan 15 shall be seven and six-tenths (7.6) metres;
- ii) the minimum exterior side yard setback for any building or structure contained within Lot 66, Plan 15 shall be six and five-tenth (6.5) metres.

11.4.43.3 The use of land or building in this "Light Industrial Three Special Zone No. 43 (M3 Sp.43)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

SCHEDULE TO "LIGHT INDUSTRIAL THREE SPECIAL ZONE NO. 43 (M3 Sp.43)"



11.4.44 Industrial Commercial Special Zone No. 44 (MC Sp.44)

11.4.44.1 The property description of this "Industrial Commercial Special Zone No. 44 (MC Sp.44)" is part of Part 1, Plan 36R-7414 along Lakeshore Drive and Ferris Drive in the City of North Bay as shown on the attached Schedules and Schedule "B-81".

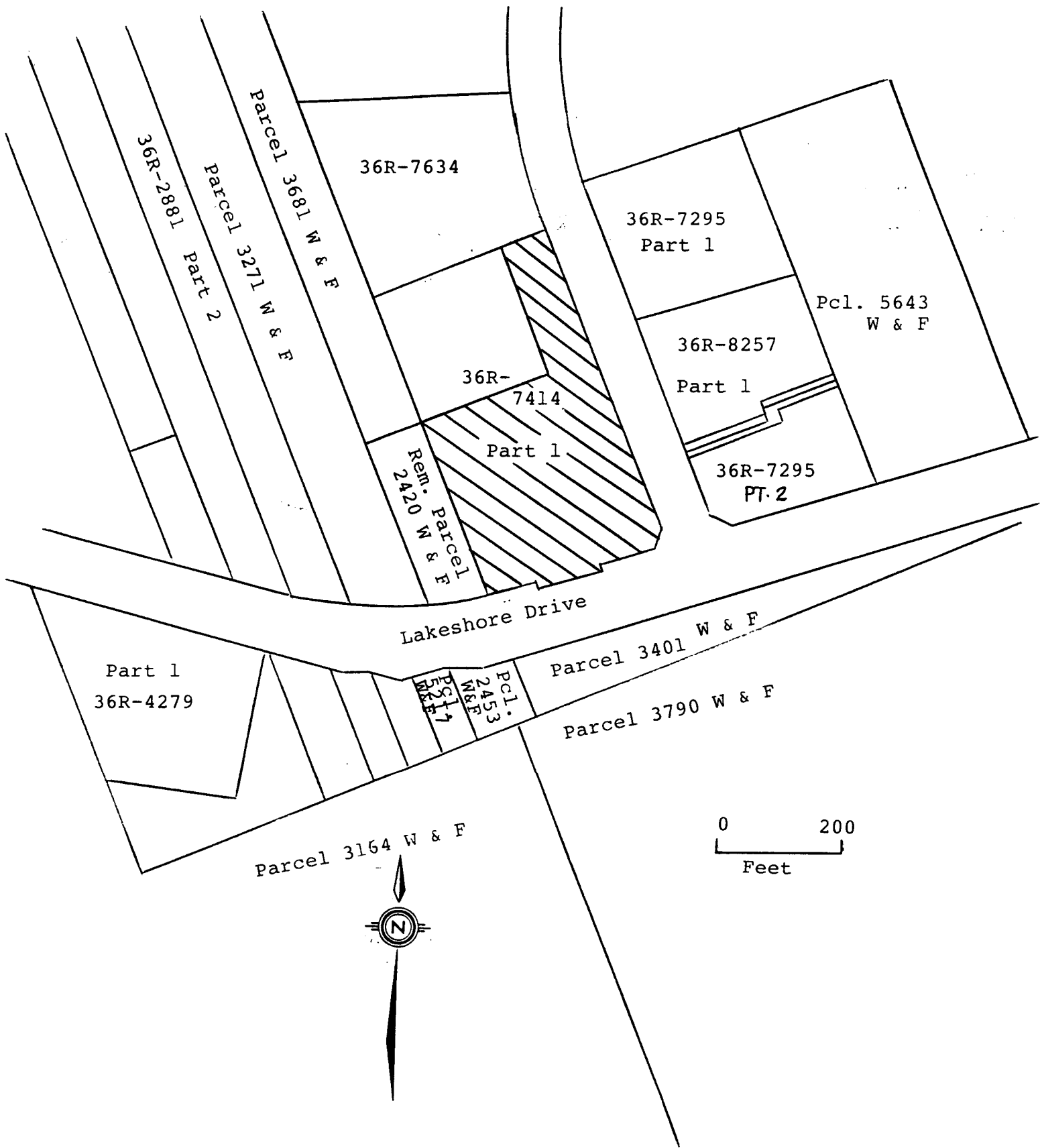
11.4.44.2(a) No person shall use land, or use, erect, or construct any building or structure in this "Industrial Commercial Special Zone No. 44 (MC Sp.44)" except for the following uses:

- automobile sales, leasing and service establishments;
- banks;
- builder's supply yards and stores;
- convenience stores;
- farmer's market;
- flea market;
- heavy equipment sales and service;
- hotels and motels;
- landscaping and nursery operations;
- manufacturing and sale of crafts;
- printing and photographic services;
- public garages;
- recreational vehicles and equipment sales and service;
- repair garages;
- restaurants and taverns;
- service stations and/or gas bars;
- all those uses permitted in the "Light Industrial Two (M2)" zone;
- one (1) apartment unit shall be permitted for an essential workman or caretaker within the main building.

11.4.44.2(b) No outside storage shall be permitted in the front or exterior side yard on any land contained within "Industrial Commercial Special Zone No. 44 (MC Sp.44)".

11.4.44.3 The use of land or building in this "Industrial Commercial Special Zone No. 44 (MC Sp.44)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

SCHEDULE TO "INDUSTRIAL COMMERCIAL SPECIAL ZONE NO. 44 (MC SP.44)"



11.5 RURAL SPECIAL ZONES

11.5.1 Rural Special Zone No. 1 (A. Sp.1)

11.5.1.1 The property description of this "Rural Special Zone No. 1 (A. Sp.1)" zone is:

Part 1, Plan NR-828 along Marsh Drive in the City of North Bay as shown on the attached Schedule and Schedule "C-7".

11.5.1.2 a) No person shall use land or erect or construct any building or structure in this "Rural Special Zone No. 1 (A. Sp.1)" zone except for the following uses:

- private club;
- accessory residential dwelling unit for the resident owner, either as part of the main building or detached.

11.5.1.2 b) The regulations for this "Rural Special Zone No. 1 (A. Sp.1)" zone are as follows:

- i) Minimum lot area shall be eight-tenths of one hectare (0.8 hectares).
- ii) Maximum lot coverage shall be fifteen percent (15%).
- iii) The minimum lot frontage shall be eighty-eight (88) metres.
- iv) The minimum front yard setback shall be fifteen (15) metres.
- v) The minimum side yard setback shall be seven and six-tenths (7.6) metres.
- vi) The minimum rear yard setback shall be fifteen (15) metres.

11.5.1.3 The use of land or buildings in this "Rural Special Zone No. 1 (A. Sp.1)" zone shall conform to all other regulations of this By-law, except as hereby expressly varied.

SCHEDULE TO "RURAL SPECIAL ZONE NO. 1 (A. Sp.1)"

CON. II

CON. I

LOT 20

LOT 19

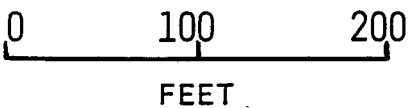
MARSH DRIVE

PART OF
PARCEL 6258 W & F

TRANSCANADA PIPELINES

PART 1
NR - 828

RIGHT OF WAY



11.5.2 Rural Special Zone No. 2 (A. Sp.2)

11.5.2.1 The property description of this "Rural Special Zone No. 2 (A. Sp.2)" is:

Part of Parcel 6493 Nipissing being Part of Lot 2, Concession "C" in the City of North Bay as shown on the attached Schedule and Schedule "C-5".

11.5.2.2 a) No person shall use land or erect or construct any building or structure in this "Rural Special Zone No. 2 (A. Sp.2)", except for the following uses:

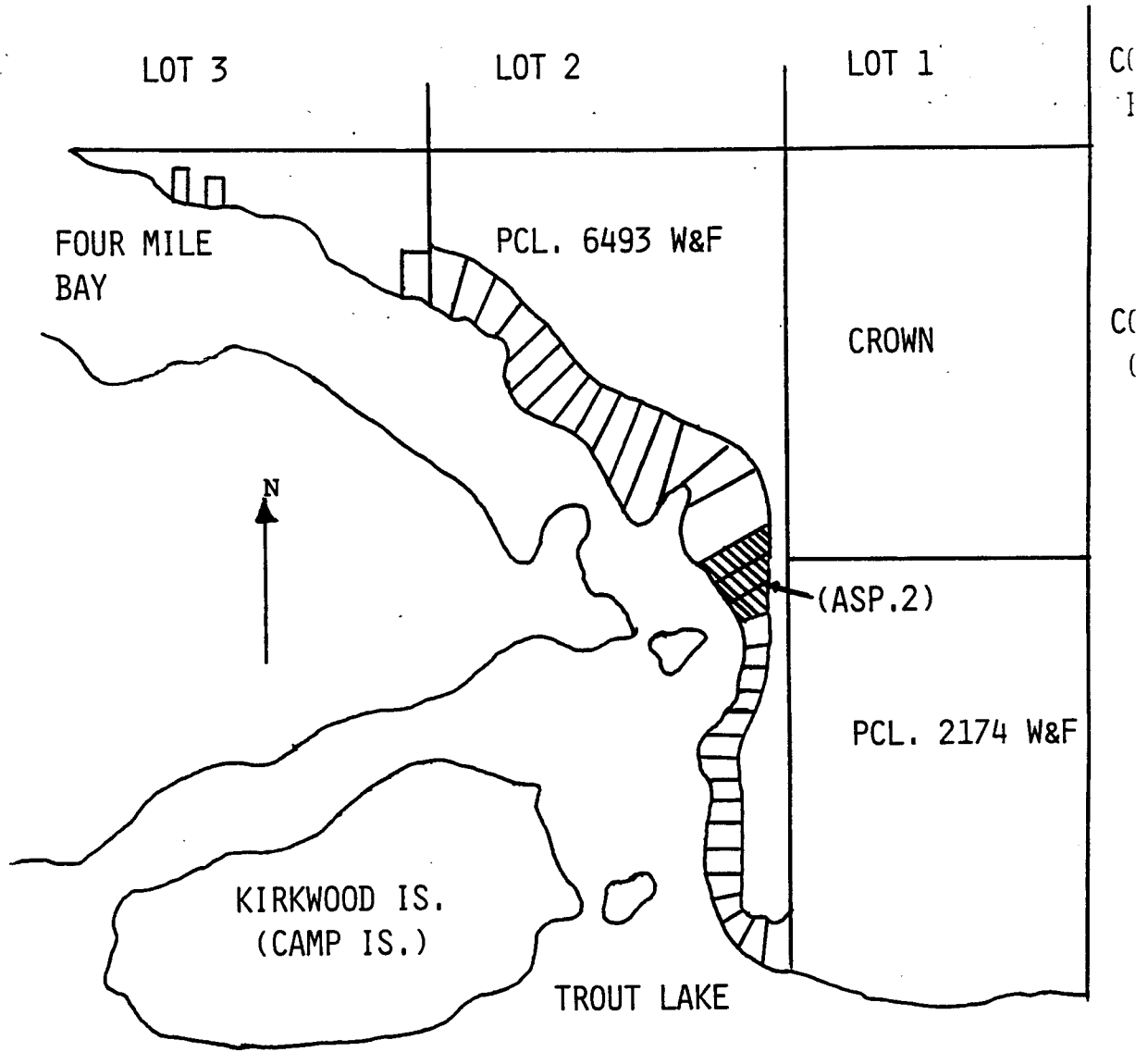
- single detached cottage;
- public or private park and beach.

11.5.2.2 b) The regulations for this "Rural Special Zone No. 2 (A. Sp.2)" are as follows:

- i) The minimum lot area shall be four-tenths (0.4) hectares.
- ii) The minimum lot frontage shall be sixty-one (61) metres.
- iii) The minimum front yard setback shall be thirty (30) metres.
- iv) The minimum rear yard setback shall be twelve (12) metres.
- v) The minimum side yard setback shall be six (6) metres.

11.5.2.3 The use of land or buildings in this "Rural Special Zone No. 2 (A. Sp.2)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

SCHEDULE TO "RURAL SPECIAL ZONE NO. 2(ASP.2)"



11.5.3 Rural Residential Estate Special Zone No. 3 (RRE Sp.3)

11.5.3.1 The property description of this "Rural Residential Estate Special Zone No. 3 (RRE Sp.3)" zone is Parts of Lot 12, Plan M-563 along Tower Drive, Smith Road and Hazelton Lane in the City of North Bay as shown on the attached Schedule and Schedule "C-6".

11.5.3.2 a) No person shall use land or use, erect, or construct any building or structure in this "Rural Residential Estate Special Zone No. 3 (RRE Sp.3)" zone, except for the following uses:

- single detached dwelling;
- local park and playground;
- accessory uses to the above;
- home occupations in accordance with Section 3.36.

11.5.3.2 b) The regulations for this "Rural Residential Estate Special Zone No. 3 (RRE Sp.3)" zone are as follows:

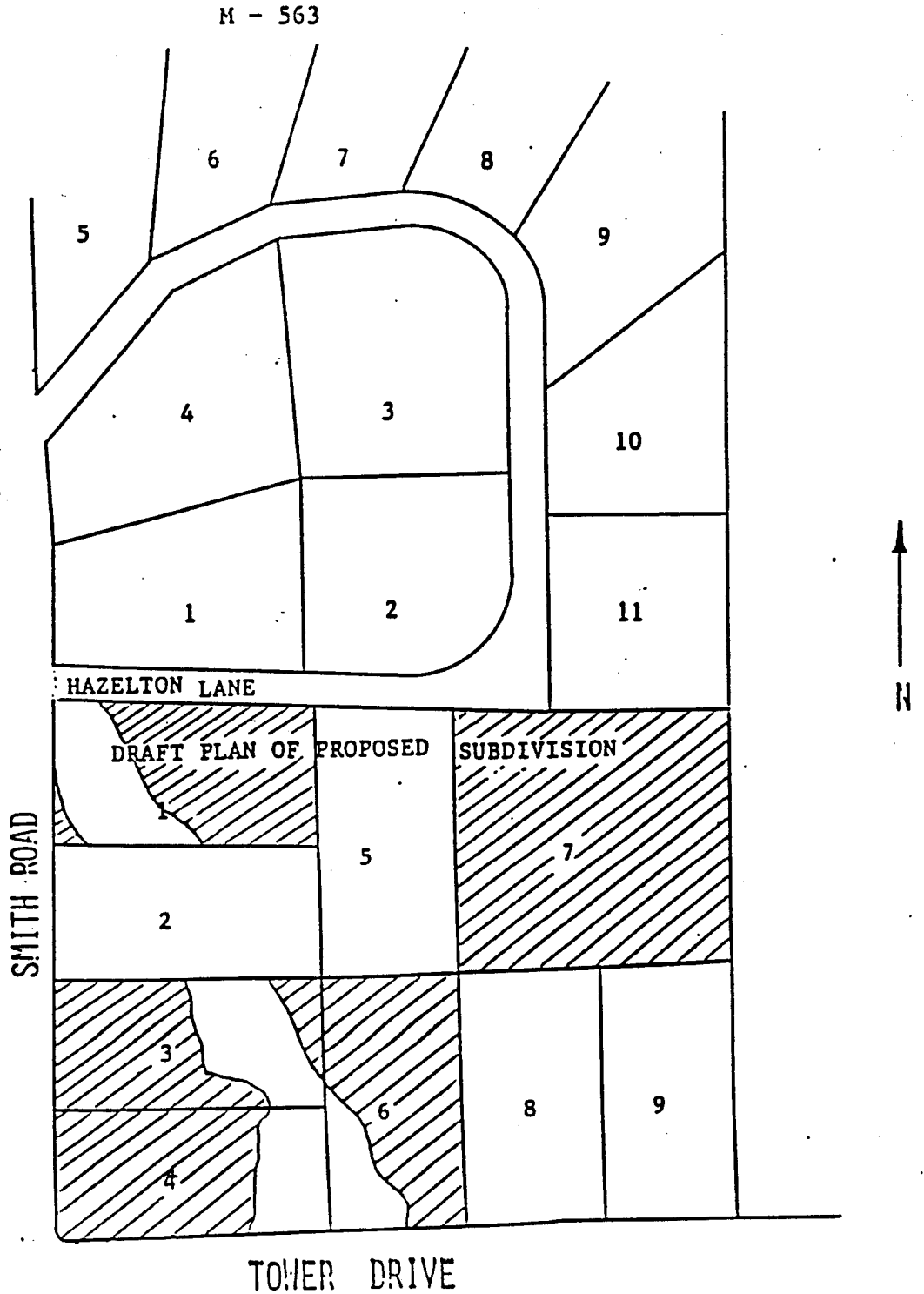
- i) Minimum lot area shall be one and two-tenths (1.2) hectares.
- ii) Minimum lot frontage shall be seventy-six (76) metres.
- iii) Minimum lot frontage for proposed Lot 7, being a portion of Lot 12, Plan M-563 shall be fifty-six (56) metres.
- iv) Minimum front yard shall be fifteen (15) metres.
- v) Minimum rear yard shall be fifteen (15) metres.
- vi) Minimum side yard shall be fifteen (15) metres.
- vii) Minimum floor area shall be ninety-three (93) square metres.
- viii) Maximum lot coverage shall be five (5) percent.

11.5.3.2 b) ix) Maximum height of main building shall be ten and five-tenths (10.5) metres.

x) Minimum setback of thirty (30) metres to the top of Doran Creek bank for septic systems.

11.5.3.3 The use of land or buildings in this "Rural Residential Estate Special Zone No. 3 (RRE Sp.3)" zone shall conform to all other regulations of this By-law, except as hereby expressly varied.

SCHEDULE TO "RURAL RESIDENTIAL ESTATE SPECIAL ZONE NO. 3 (RRE SP.3)"



11.5.4 Rural Mobile Home Special Zone No. 4 (RMH Sp.4)

11.5.4.1 The property description of this "Rural Mobile Home Special Zone No. 4 (RMH Sp.4)" is Part of the south one-half of Lot 35, Concession 13 in the former Township of West Ferris along Riverbend Road in the City of North Bay as shown on the attached Schedules and Schedule "C-2".

11.5.4.2 a) No person shall use land, or use, erect, or construct any building or structure in this "Rural Mobile Home Special Zone No. 4 (RMH Sp.4)", except for the following uses:

- a Rural Mobile Home Park having not more than twenty-four (24) mobile home units;
- local park and playgrounds;
- accessory uses to the above;
- home occupations in accordance with Section 3.36.

11.5.4.2 b) The regulations for this "Rural Mobile Home Special Zone No. 4 (RMH Sp.4)" are as follows:

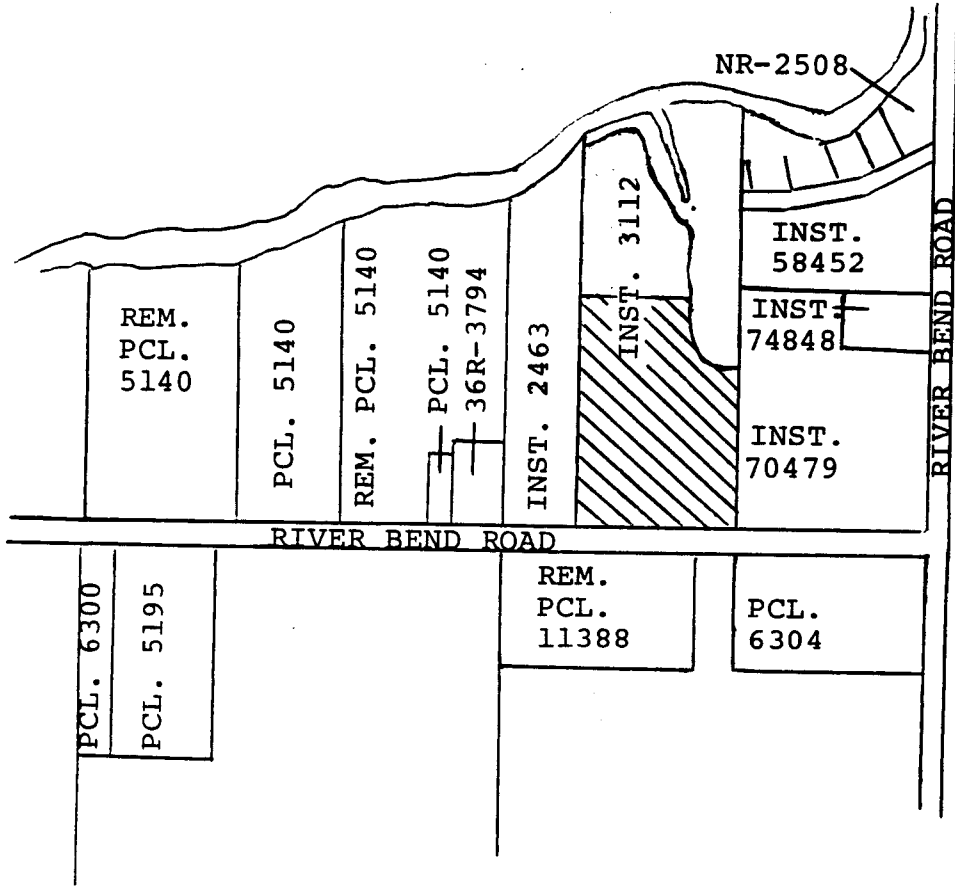
- i) Minimum lot area for a single mobile home unit shall be three hundred and twenty-five (325) square metres.
- ii) Minimum lot area for a double mobile home unit shall be three hundred and seventy-two (372) square metres.
- iii) Minimum lot frontage for a single mobile home unit shall be ten and five-tenths (10.5) metres.
- iv) Minimum lot frontage for a double mobile home unit shall be thirteen and seven-tenths (13.7) metres.
- v) Minimum front yard shall be six (6) metres.

- 11.5.4.2 b) vi) Minimum side yard shall be one and two-tenths (1.2) metres.
- vii) On any lot where there is no attached garage or carport, one side yard shall have a minimum width of three (3) metres.
- viii) Minimum rear yard shall be seven and six-tenths (7.6) metres.
- ix) Where a lot fronts on the seven and six-tenths (7.6) metre buffer strip required by this By-law, the minimum rear yard shall be three (3) metres.
- x) Minimum floor area per dwelling unit shall be fifty-six (56) square metres.
- xi) Maximum lot coverage shall be thirty-five percent (35%).
- xii) Minimum area of the lands shall be one (1) hectare.
- xiii) Maximum number of mobile home units on the lands shall be twenty-four (24).
- xiv) No lot shall be used for a mobile home for sub-surface sewage disposal and on-site water supply without the approval of the Ministry of the Environment. No communal water supply and sewage disposal system shall be permitted for the development without the approval of the Ministry of the Environment.
- xv) No less than five percent (5%) of the total site area, excluding the buffer area of the lands, shall be used exclusively for playground purposes.

11.5.4.2 b) xvi) There shall be a buffer area of at least seven and six-tenths (7.6) metres in which no lots, building, or structures shall be permitted.

11.5.4.3 The use of land or buildings in this "Rural Mobile Home Special Zone No. 4 (RMH Sp.4)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

SCHEDULE TO "RURAL MOBILE HOME SPECIAL ZONE NO. 4
(R.M.H. Sp.4)"



0 500
Feet

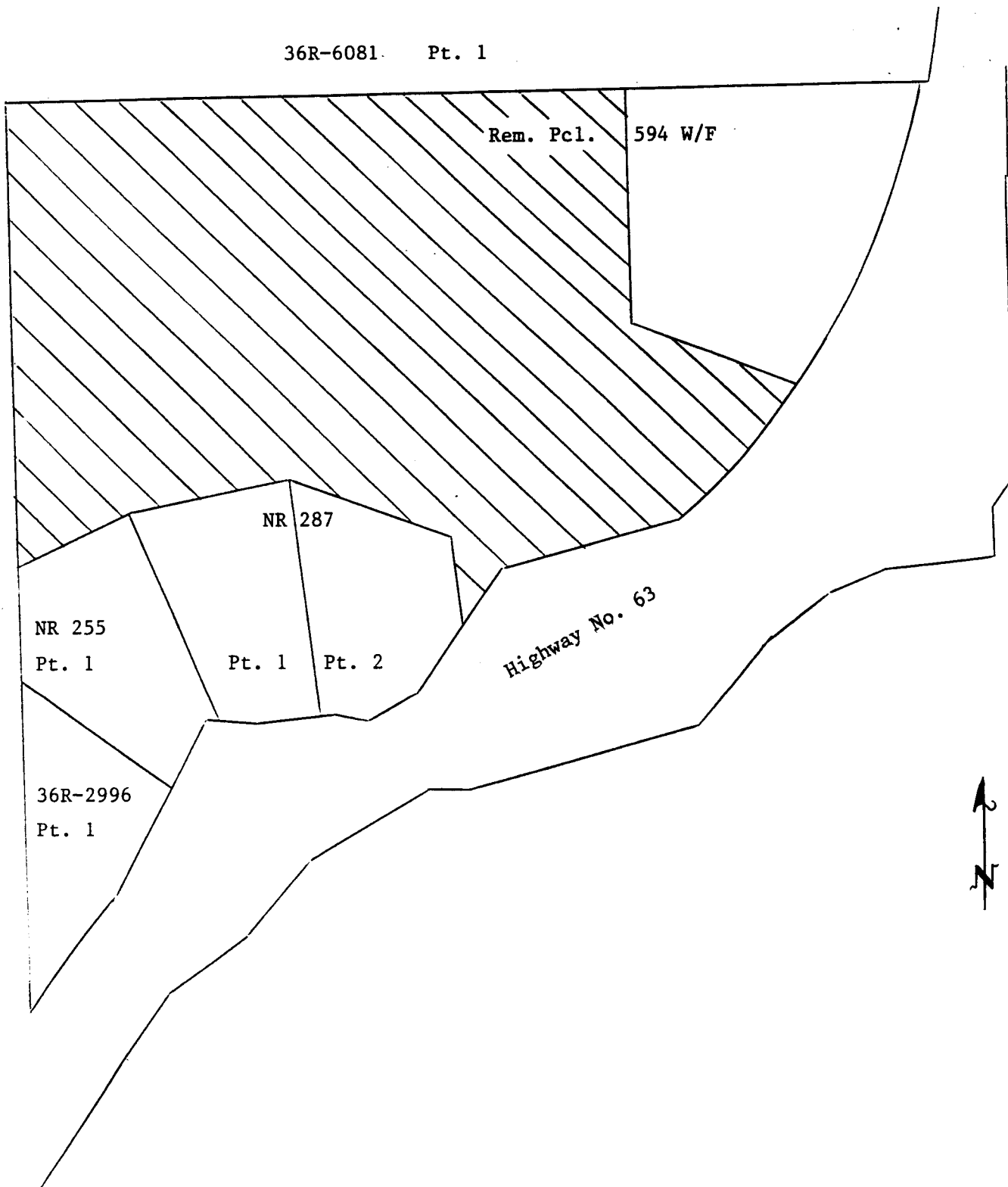
11.5.5 Rural Extractive Industrial Special Zone No. 5
(RME Sp. 5)

- 11.5.5.1 The property description of this "Rural Extractive Industrial Special Zone No. 5 (RME Sp.5)" is Part of the remainder of Parcel 594 in the west one-half of Lot 7, Conc. "A" along Highway No. 63 in the City of North Bay as shown on the attached Schedules "A", "B" and "C" and Schedule "C.5".
- 11.5.5.2 a) No person shall use land, or use, erect or construct any building or structure in this "Rural Extractive Industrial Special Zone No. 5 (RME Sp.5)", except for the following uses:
- pit;
 - quarry;
 - any building and equipment necessary for the extraction of sand, gravel or stone.
- 11.5.5.2 b) The regulations for this "Rural Extractive Industrial Special Zone No. 5 (RME Sp.5)" are as follows:
- i) Minimum lot area shall be not less than five (5) hectares.
 - ii) Minimum lot frontage shall be one hundred and eighty and zero-tenths (180.0) metres.
 - iii) No person shall operate a pit or quarry or carry out any excavations as part of a pit or quarry operation within:
 - a) seven and six-tenths (7.6) metres of any boundary or property line of any adjacent zone, or
 - b) seven and six-tenths (7.6) metres of the front lot line.

11.5.5.3

The use of land or buildings in this "Rural Extractive Industrial Special Zone No. 5 (RME Sp.5)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

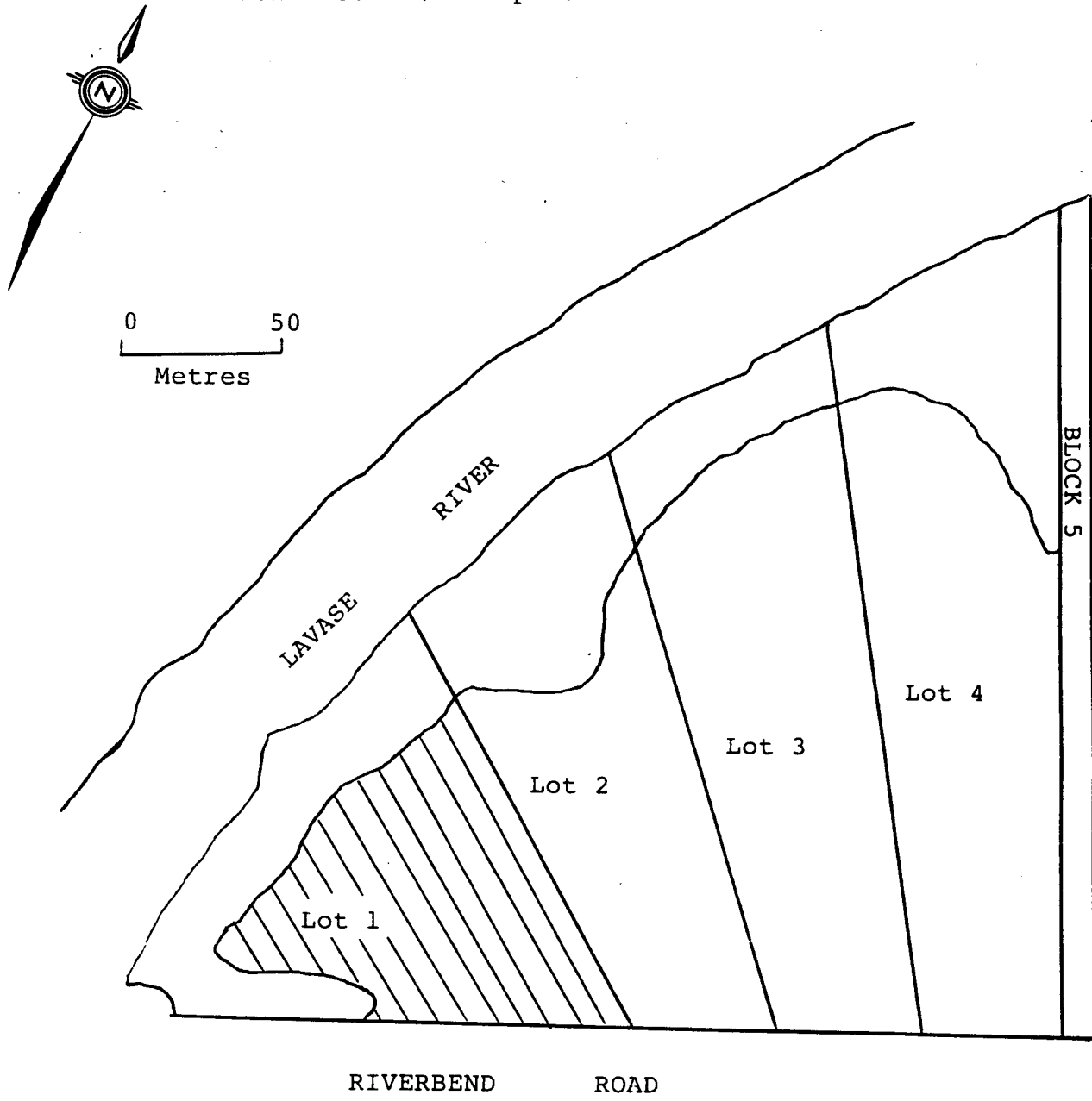
SCHEDULE TO "RURAL EXTRACTIVE INDUSTRIAL SPECIAL ZONE NO. 5 (RME SP.5)"



11.5.6 Rural Residential Lakefront Special Zone No. 6 (RRL Sp.6)

- 11.5.6.1 The property description of this "Rural Residential Lakefront Special Zone No. 6 (RRL Sp.6)" is Part of Lot 1, as shown on J.E. Walker Ltd., O.L.S., Drawing File No. 5893 as amended January 15, 1997 along Riverbend Road in the City of North Bay as shown on the attached Schedules "A", "B", "D" and Schedule "C-2".
- 11.5.6.2 a) No person shall use land, or use, erect, or construct any building or structure in this "Rural Residential Lakefront Special Zone No. 6 (RRL Sp. 6)" except for the following uses:
- single detached dwellings;
 - local park and playground;
 - accessory uses to the above;
 - home occupations in accordance with Section 3.36.
- 11.5.6.2 b) The regulations for this "Rural Residential Lakefront Special Zone No. 6 (RRL Sp.6)" are as follows:
- i) the minimum front yard setback shall be twenty-five and zero-tenths (25.0) metres;
 - ii) the minimum lot area shall be one (1) hectare.
- 11.5.6.3 The use of land or building in this "Rural Residential Lakefront Special Zone No. 6 (RRL Sp. 6)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

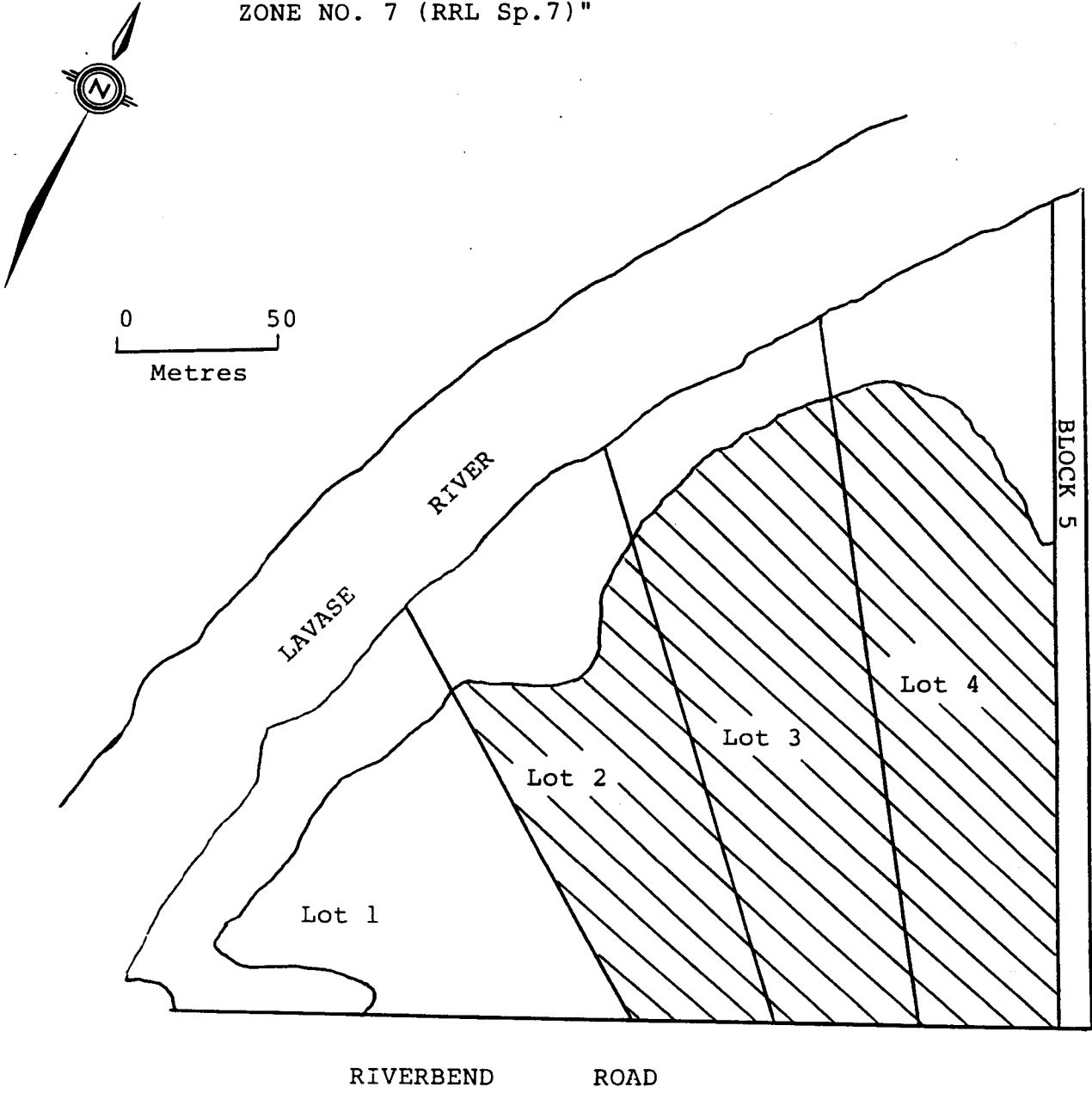
SCHEDULE TO "RURAL RESIDENTIAL LAKEFRONT SPECIAL
ZONE No. 6 (RRL Sp.6)"



11.5.7 Rural Residential Lakefront Special Zone No. 7 (RRL Sp.7)

- 11.5.7.1 The property description of this "Rural Residential Lakefront Special Zone No. 7 (RRL Sp.7)" is as shown on J.E. Walker, O.L.S., Drawing File No. 5893 as amended January 15, 1997, Part of Lots 2, 3 and 4 along Riverbend Road in the City of North Bay as shown on the attached Schedules "A", "B" and "E" and Schedule "C-2".
- 11.5.7.2 a) No person shall use land, or use, erect, or construct any building or structure in this "Rural Residential Lakefront Special Zone No. 7 (RRL Sp. 7)" except for the following uses:
- single detached dwellings;
 - local park and playground;
 - accessory uses to the above;
 - home occupations in accordance with Section 3.36.
- 11.5.7.2 b) The regulations for this "Rural Residential Lakefront Special Zone No. 7 (RRL Sp. 7)" are as follows:
- i) minimum lot area shall be one (1) hectare;
 - ii) minimum front yard shall be the greater of thirty (30) metres from the front property line or fifteen (15) metres from the twenty-five year floodline;
 - iii) no main floor of any habitable building and accessory buildings or structure shall be constructed and no external openings such as doors, windows, vent, passageway or any other opening shall be permitted in any habitable buildings or structures below the Flood Datum or structures below the Flood Datum Elevation (FDE) for Lake Nipissing of 197.55 MASL Canadian Geodetic Datum (CGD).
- 11.5.7.3 The use of land or building in this "Rural Residential Lakefront Special Zone No. 7 (RRL Sp. 7)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

SCHEDULE TO "RURAL RESIDENTIAL LAKEFRONT SPECIAL
ZONE NO. 7 (RRL Sp.7)"



11.6 INSTITUTIONAL SPECIAL ZONES

11.6.1 Institutional Special Zone No. 1 (N. SP.1)

11.6.1.1 The property description of this "Institutional Special Zone No. 1 (N. Sp.1) is:

Lots 345 to 390 and Lots 423 to 437 inclusive, Plan No. 93 including parts of unopened Richardson Street and those laneways included therein as shown on the attached Schedule and Schedule "B-51".

11.6.1.2 a) No person shall use land or erect or construct any building or structure in this "Institutional Special Zone No. 1 (N. Sp.1)", except for the following uses:

- cemeteries;
- colleges, universities and private schools;
- government lands and buildings;
- hospitals;
- museums;
- recreational facilities owned and operated by a Public Authority;
- sanitariums;
- welfare institutions;
- retail sales;
- buildings or structures accessory to the foregoing.

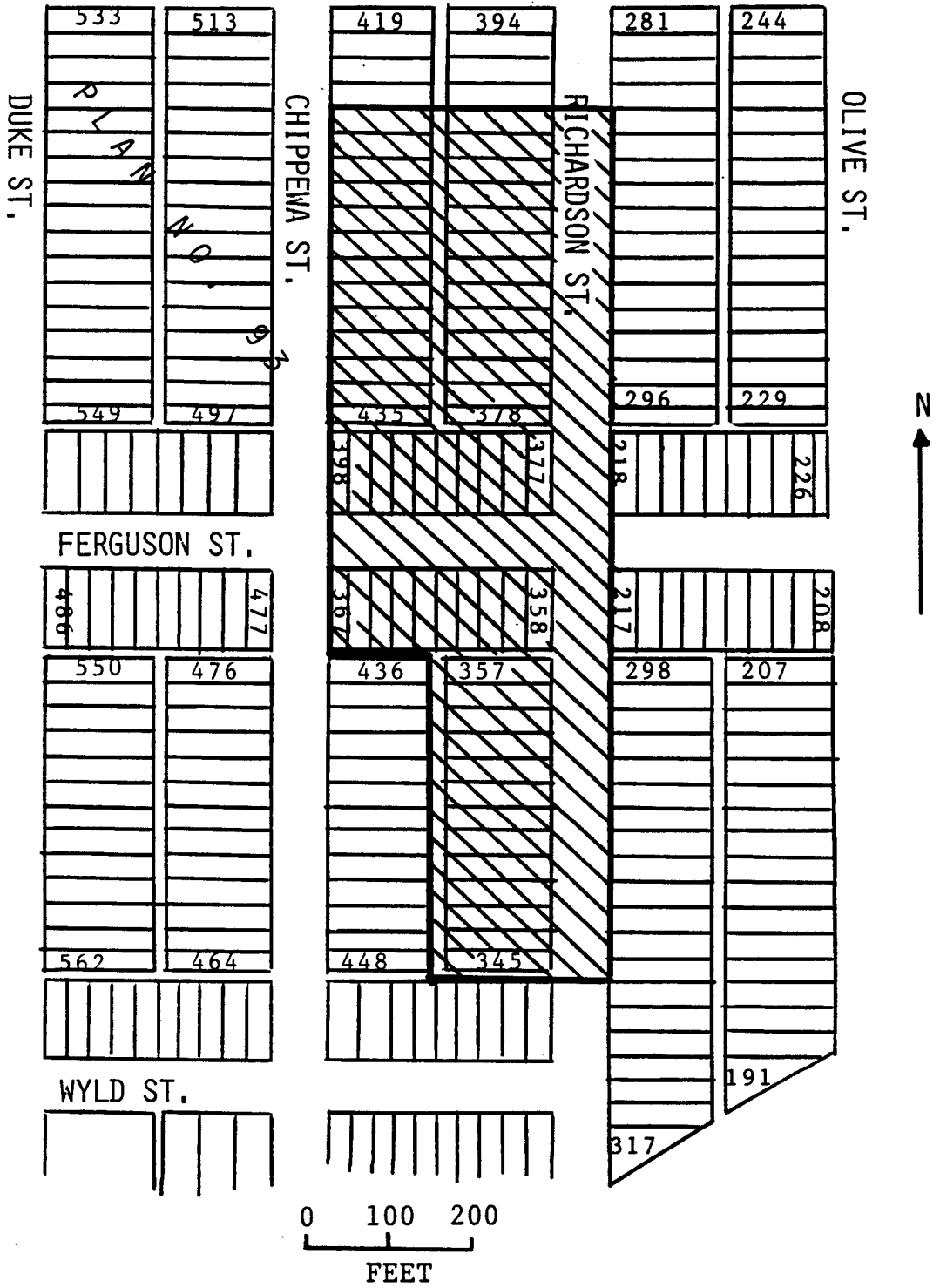
11.6.1.2 b) The regulations for this "Institutional Special Zone No. 1 (N. Sp.1)" are as follows:

- i) There shall be no minimum lot area.
- ii) There shall be no minimum lot frontage.
- iii) The minimum front side and rear yard shall be seven and six-tenths (7.6) metres or half the height of the building, whichever is greater.
- iv) The maximum lot coverage shall not exceed fifty (50) percent.

11.6.1.3

The use of land or buildings in this "Institutional Special Zone No. 1 (N. Sp.1)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

SCHEDULE TO "INSTITUTIONAL SPECIAL ZONE NO. 1(NSP.1)"



11.6.2 Institutional Special Zone No. 2 (N. Sp.2)

11.6.2.1 The property description of this "Institutional Special Zone No. 2 (N. Sp.2)" is:

Parts 3 and 4, Plan 36R-3508 along Wallace Road in the City of North Bay as shown on the attached Schedule and Schedules "B-45" and "B-53".

11.6.2.2 a) No person shall use land or erect or construct any building or structure in this "Institutional Special Zone No. 2 (N. Sp.2)" except for the following uses:

- cemeteries;
- colleges, university and private schools;
- government lands and buildings;
- hospitals;
- museums;
- recreational facilities owned and operated by a Public Authority;
- sanitariums;
- welfare institutions;
- retail sales;
- buildings or structures accessory to the foregoing.

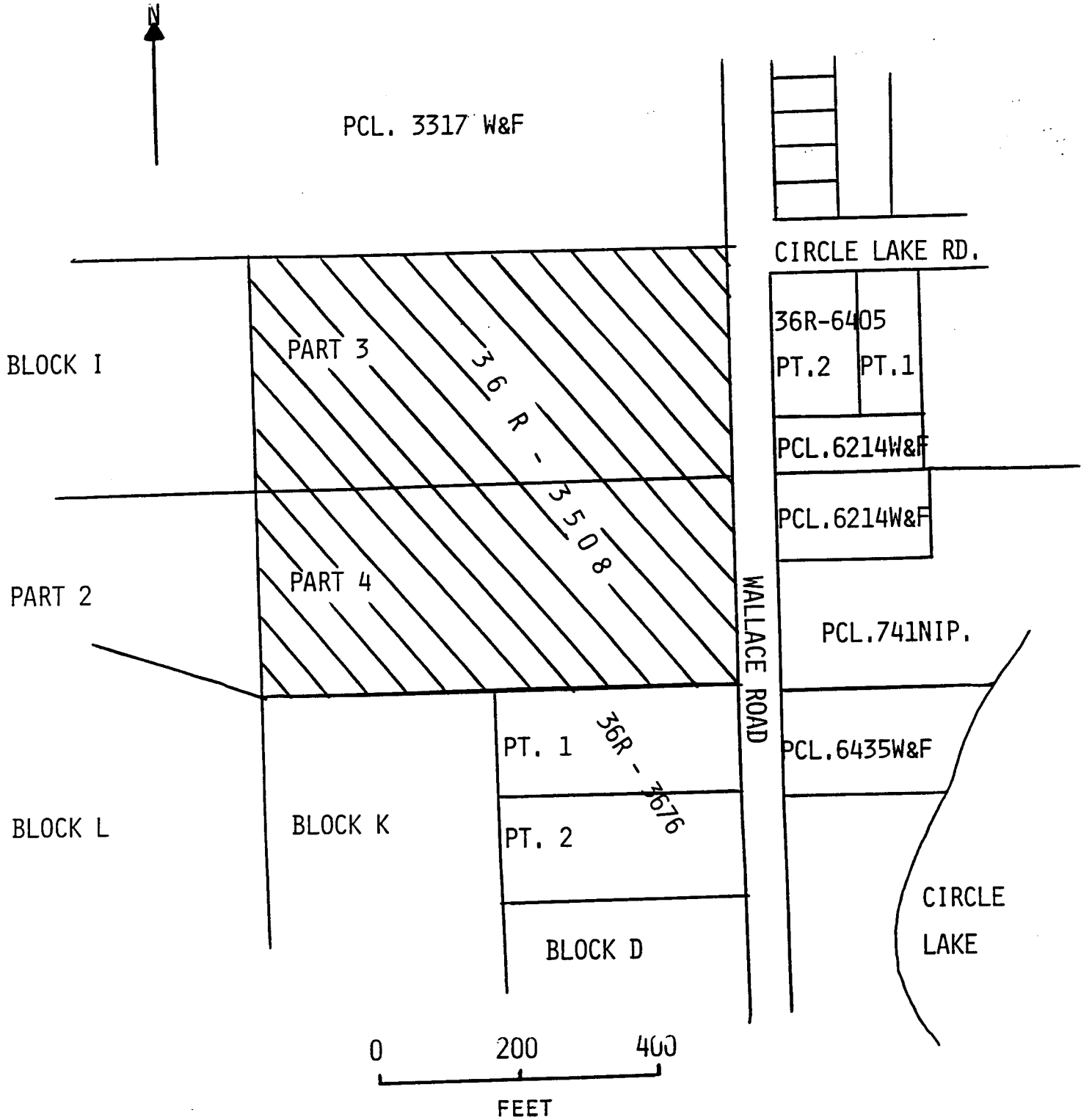
11.6.2.2 b) The regulations for this "Institutional Special Zone No. 2 (N. Sp.2)" are as follows:

- i) There shall be no minimum lot area.
- ii) There shall be no minimum lot frontage.
- iii) The minimum front, side and rear yard shall be seven and six-tenths (7.6) metres or half the height of the building, whichever is greater.
- iv) The maximum lot coverage shall not exceed fifty (50) percent.

11.6.2.3

The use of land or buildings in this "Institutional Special Zone No. 2 (N. Sp.2)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

SCHEDULE TO "INSTITUTIONAL SPECIAL ZONE NO. 2(NSP.2)"



OPEN SPACE SPECIAL ZONES

11.7 OPEN SPACE SPECIAL ZONES

11.7.1 Floodway Special Zone No. 1 (0.1 Sp.1)

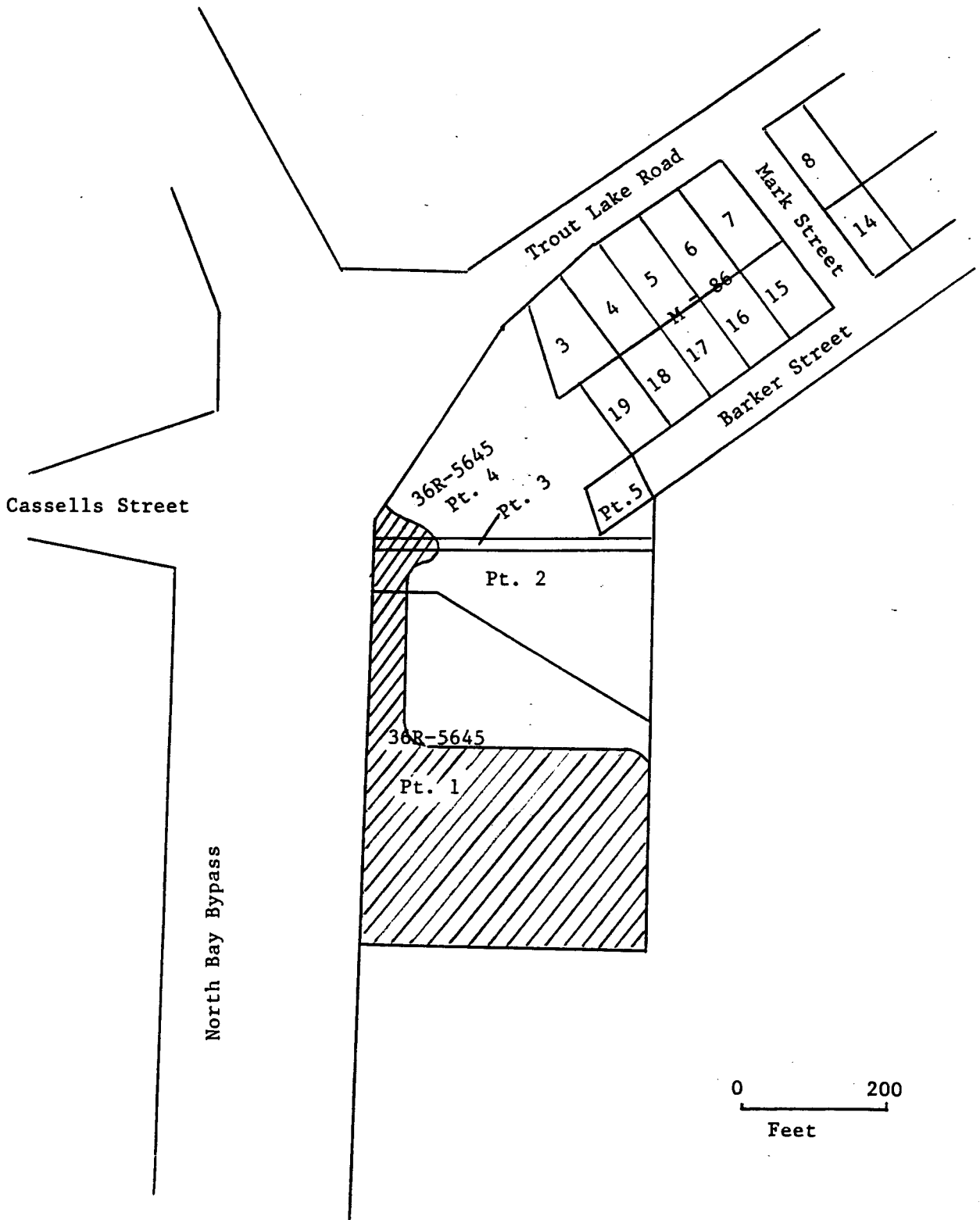
11.7.1.1 The property description of this "Floodway Special Zone No. 1 (0.1 Sp.1)" is Part of Parts 1 to 4, Plan 36R-5645 along the North Bay Bypass in the City of North Bay as shown on the attached Schedules and Schedules "B-44" and "B-52".

11.7.1.2 No person shall use land, or use, erect, or construct any building or structure in this "Floodway Special Zone No. 1 (0.1 Sp.1)" except for the following uses:

- commercial parking areas;
- marinas, boathouses, docks;
- public and/or private parks;
- agricultural and related uses excluding buildings and structures;
- roads, bridges, railways and/or other public services of approved hydrological design;
- structural works for flood and/or erosion-sedimentation control.

11.7.1.3 The use of land or buildings in this "Floodway Special Zone No. 1 (0.1 Sp.1)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

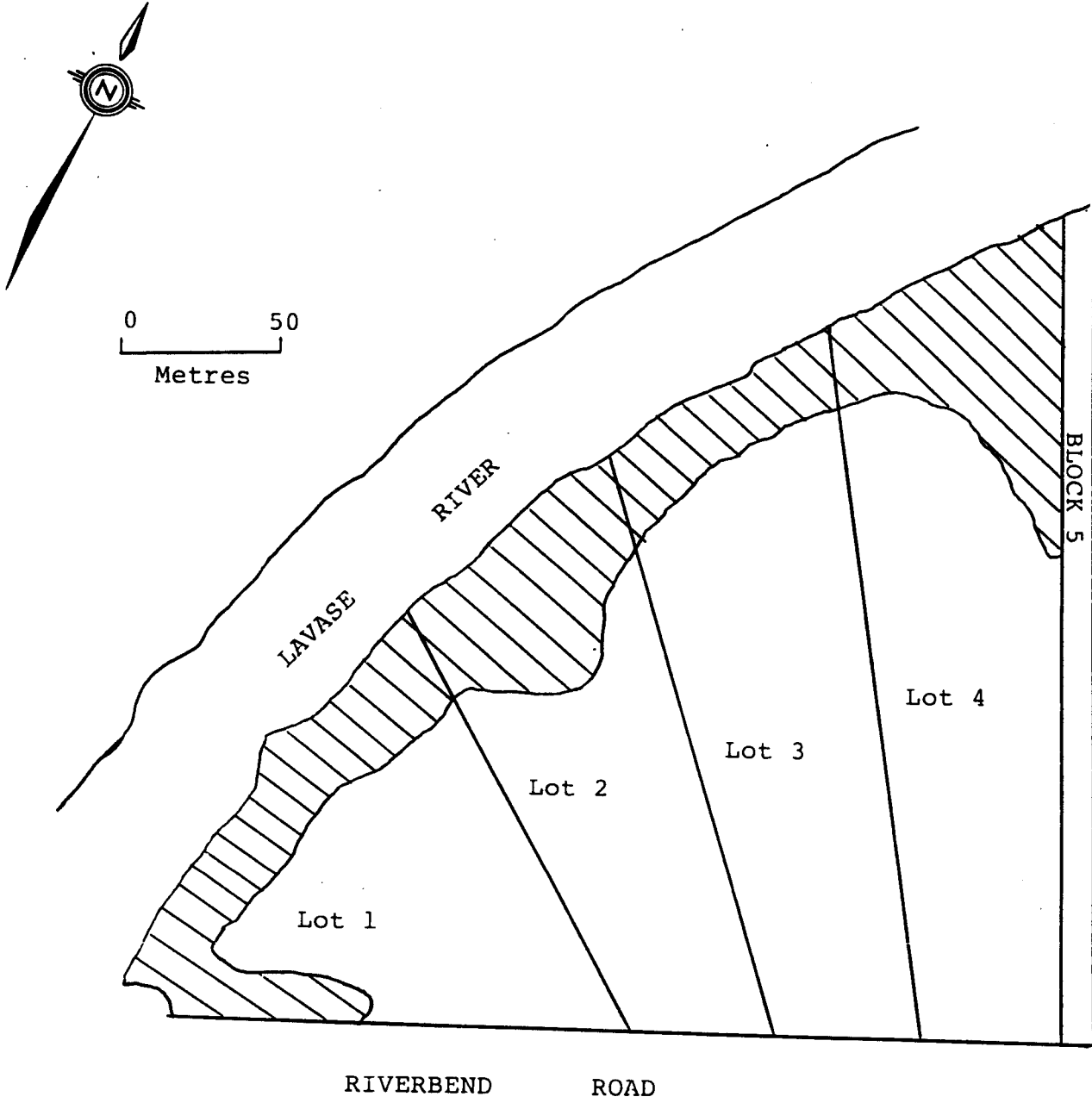
SCHEDULE TO "FLOODWAY SPECIAL ZONE NO. 1 (0.1 SP.1)"



11.7.2 **Floodway Special Zone No. 2 (0.1 Sp. 2)**

- 11.7.2.1 The property description of this "Floodway Special Zone No. 2 (0.1 Sp. 2)" is Part of Lots 1 to 4, as shown on J.E. Walker Ltd., O.L.S., Drawing File No. 5893 as amended January 15, 1997 along Riverbend Road in the City of North Bay as shown on the attached Schedules "A", "B", "C" and Schedule "C-2".
- 11.7.2.2 No person shall use land, or use, erect, or construct any building or structure in this "Floodway Special Zone No. 2 (0.1 Sp. 2)" except for the following uses:
- docks;
 - public and/or private parks;
 - agricultural and related uses excluding buildings and structures;
 - roads, bridges, railways and/or other public services of approved hydrological design;
 - structural works for flood and/or erosion-sedimentation control.
- 11.7.2.3 The use of land or buildings in this "Floodway Special Zone No. 2 (0.1 Sp. 2)" shall conform to all other regulations of this By-law, except as hereby expressly varied.

SCHEDULE TO "FLOODWAY SPECIAL ZONE NO. 2 (0.1 Sp.2)"



SECTION 12 - BY-LAW APPROVAL

2.1 This By-law takes effect from the date of passage by Council and comes into force upon approval by The Ontario Municipal Board. EFFECTIVE DATE

READ A FIRST TIME IN OPEN COUNCIL THIS 19TH DAY OF FEBRUARY 1980.

READ A SECOND TIME IN OPEN COUNCIL THIS 3RD DAY OF MARCH 1980.

READ A THIRD TIME IN OPEN COUNCIL AND FINALLY ENACTED AND PASSED THIS 3RD DAY OF MARCH , 1980.

MAYOR

[Signature]

CITY CLERK

